

**NOTICE OF PLANNING & ZONING COMMISSION SPECIAL MEETING**

**City of Cumming**

**November 10, 2020 – 7:00 p.m.**

Cumming City Hall – Electronically\*

649 N 44th Street

Cumming, Iowa 50061

- I. ROLL CALL**
- II. APPROVAL OF AGENDA** as presented and/or amended.
- III. CONSENT ITEMS**
  - A. August 25, 2020 Meeting Minutes
- IV. PUBLIC COMMENT**
- V. ACTION/DISCUSSION ITEMS**
  - A. Site Plan/Public Improvements – Kum & Go
  - B. Selection of Officers
- VI. PUBLIC COMMENT**
- VII. UPCOMING PLANNING & ZONING MEETING:**
  - A. Regular meeting – November 24, 2020 at 7:00 p.m. at City Hall
- VIII. ADJOURN**

\*[This meeting may also be held electronically through the Zoom App.](#) If you would like to participate or view this meeting please download the app and choose “Join Meeting” up to 10 minutes prior. The meeting ID is: **879 6041 3323**. Password: **748238**. If you would like to join by telephone please call: 312-626-6799 and enter the Meeting ID and Password when prompted.

Please keep your microphone muted unless you are called upon to speak during public comment. The standard rules of order apply during this meeting.

**City of Cumming**  
**Planning and Zoning Commission Meeting**  
**October 27, 2020 Minutes**

The Cumming Planning and Zoning Commission held scheduled meeting on October 27, 2020 at 7:00 p.m at the Cumming City Hall

The meeting was called to order by Vice-Chair, Karen McKinney, at 7:10 p.m.

**I. ROLL CALL**

Present: Jill Stanford, Matt Daniels, Karen McKinney, Holly De Hamer, Ethan Roos, John Botts,

Absent: John Botts, Don Paulin

**II. APPROVAL OF AGENDA**

Roos moved – Stanford second - unanimously approved

**III. CONSENT ITEMS**

September 22, 2020 Meeting Minutes

Daniels moved – Roos second - unanimously approved

**IV. PUBLIC COMMENT**

none

**V. ACTION/DISCUSSION ITEMS**

**A. Spangler Site Plan/Public Improvements**

Table Discussion: Motion Daniels -- Roos Second- unanimously approved

**B. Spangler Plat 1 – Preliminary Plat**

Approve with conditions to meet county and city regulations

Roos Motion Daniels Second- unanimously approved

**C. No Parking South Side – All Old Cumming Streets**

Motion to include the following:

N. Callison Avenue, on the south side from North 44<sup>th</sup> Street to North 43<sup>rd</sup> street

N. Callison Avenue, on the south side, from North 43<sup>rd</sup> to the east end of the street

N. Dawson Avenue, on the south side from North 44<sup>th</sup> Street to North 43<sup>rd</sup> street

N. Dawson Avenue, on the south side, from North 43<sup>rd</sup> to the east end of the street

Motion Daniels second Stanford- unanimously approved

**VI. Upcoming Planning A Zoning Meeting**

A. Regular meeting November 24, 2020 at 7:00 P.M. at City Hall

**VII. ADJOURN:**

Roos moved – Daniels second – unanimously approved –Adjourned 7:50 PM



October 29, 2020

City of Cumming  
ATTN: Bob Fagen, City Administrator  
PO Box 100  
Cumming, Iowa 50061

RE: Kum & Go 0198 – Site Plan Submittal #2

Dear Mr. Fagen:

We have received and reviewed the comments from the City of Cumming, dated September 28, 2020, regarding the previously submitted Site Plan and Public Improvements. Revisions and responses, written in bold type, are as follows:

Site Plan - General

1. The Preliminary Plat area including the Kum & Go site is in the process of being rezoned from A-1 to C-1 District.  
**This comment is duly noted.**
2. The final plat of the subdivision should be approved by the City and recorded prior to approval of the site plan. The subdivision legal description should be used on the site plan. Initially a metes and bounds legal description should be included on the site plan. Then, indicate on the site plan that the future legal description will be designated as Lot 1, Spangler Plat 1.  
**The legal description on the Site Plan cover sheet has been revised to reflect the future description.**
3. The names of adjoining property owners and/or subdivisions should be shown on the plat.  
**Names of adjoining property owners have been added to site plan.**

Site Plan - Sheet C1.1

4. The turning radii footprint of trucks, in particular at the driveways leading to the proposed public street and at the intersection of the public street with Cumming Avenue, should be shown on the site plan. Refer to further review comments under "PUBLIC IMPROVEMENTS" of this letter.  
**Trucks will be restricted to the north driveway (passenger vehicles only will use the southern driveway). A separate turning movement exhibit, which shows the truck movements at the driveway leading to the proposed public street is included with this submittal.**  
**The turning radii footprint of trucks has been changed to a Three-Centered Compound Curve to accommodate better truck turning movements. A turning movement exhibit has been included with this submittal for your reference.**
5. It appears that a future public sidewalk is intended to be provided along the east side of the public street but not on the west side. A crossing from the Kum & Go site easterly to the sidewalk also is provided. The City may want to consider requiring a sidewalk on the west side of the public street as well or possibly defer the requirement until future development occurs north of the site.  
**We request that the sidewalks in the ROW be deferred as future until adjacent development occurs and other sidewalks will be present to connect to.**
6. All elevations should be converted from City of West Des Moines datum to NAVD88 by adding 774.01. City of West Des Moines Datum does not apply to this project.  
**Vertical Datum has been changed to NAVD88 datum.**

Site Plan - Sheet C3.1

7. The detention basin should be identified and labeled as private.



**Detention basin has been labeled as private.**

8. Detailed information should be provided for the private detention basin, including outlet structure, 100 year ponding elevation, emergency spillway location, width and elevation, top of berm elevation and emergency spillway overflow drainage route and erosion protection. Erosion protection should be provided for the emergency spillway on the back side of the berm using rip-rap or TRM.

**Detailed information for the basin has been added to the Utility Plan. TRM was added.**

9. It is suggested that the water main serving the on-site hydrant be 8-inch in lieu of 6-inch main due to the length of the dead-end main.

**Water service hydrant lead has been change to 8-inch.**

Site Plan - Sheet L1.1

10. While it appears that buffer landscaping is not required when adjoining other C-1 development, it is suggested some screening be provided of the truck parking and gas dispensing area from Cumming Avenue and I-35.

**Additional plantings have been added to the south side of the truck fueling area.**

Public Improvements – Sheet 1

11. City of West Des Moines vertical datum does not apply to this project. Please convert from City of West Des Moines datum to NAVD88 by adding 774.01 to correspond with sewer improvements and other public improvements for Cumming Avenue.

**Vertical Datum has been changed to NAVD88 datum.**

Public Improvements - Sheet 2

12. The Comprehensive Plan does not clearly address the functional classification of the street (Lot A). The preliminary plat appears to indicate that Lot A is to be a minor collector having 70 feet of right-of-way and 31 feet of pavement width. It appears 37 feet is provided for a left turn lane at the intersection with Cumming Avenue. This may need to be widened somewhat in the intersection area for truck turning movements. The County may have input on this in their review of the Cumming Avenue Improvements.

**The turning radii footprint of trucks has been changed to a Three-Centered Compound Curve to accommodate better truck turning movements. A turning movement exhibit has been included with this submittal for your reference.**

13. The public street serving the Kum & Go site should have pavement thickness of 8-inch PCC in lieu of 7-inch PCC. The 8-inch PCC will be consistent with the 8-inch PCC pavement provided on-site for the trucks and the commercial development anticipated to occur in the adjoining area.

**Pavement thickness has been changed to 8-inch thickness.**

Public Improvements - Sheet 3

14. Under the “Estimate Reference Information” references to the City of Urbandale should be corrected. Also refer to the 2020 SUDAS Standard Specifications.

**Estimate reference information has been updated.**

Public Improvements - Sheet 5

15. As indicated in the Site Plan review comments, the turning radii footprint of trucks at the driveways leading to the proposed public street and at the intersection of the public street with Cumming Avenue, should be reviewed and verified. The turning radii may impact pavement width and the location of paving markings, including the location of stop bar and the stop sign.



**The turning radii footprint of trucks has been changed to a Three-Centered Compound Curve to accommodate better truck turning movements. Pavement markings have been updated.**

Public Improvements - Sheet 9

16. As noted previously, it is recommended the pavement of the public road should be 8-inch PCC, including KT-2 and L-2 joints. The CD joints as shown are appropriate for an 8-inch thick pavement.

**Joint types have been updated per recommendations.**

Enclosed with this submittal, you will find the following:

1. Revised Site Plan Drawings (PDF via e-mail)
2. Revised Public Improvement Drawings (PDF via e-mail)
3. Revised Storm Water Management Plan (PDF via e-mail)
4. Building Elevations (PDF via e-mail)
5. Autoturn Exhibit for Street Intersection (PDF via e-mail)
6. Autoturn Exhibit for North Driveway (PDF via e-mail)

We request that this project be placed on the soonest possible Planning & Zoning Commission meeting agenda.

Please let us know if you have any questions or need anything else.

Sincerely,

CIVIL DESIGN ADVANTAGE

Keith Weggen, ASLA

Copy: Britni Andreassen, Kum & Go  
File

**From:** [Tony Bellizzi](#)  
**To:** [Keith Weggen](#); [Angie Ritchie \(deputyclerk@cumming.iowa.gov\)](mailto:angie.ritchie@cumming.iowa.gov)  
**Cc:** [Bob Fagen](#)  
**Subject:** Kum & Go Site Plan and Public Improvements  
**Date:** Tuesday, November 3, 2020 12:18:26 PM  
**Attachments:** [Kum & Go Revised Site Plan and Public Imps Review Comments.pdf](#)

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Hi Keith and Angie,

Attached are review comments for the Kum & Go Revised Site Plan and Public Improvement Construction Drawings.

Essentially all of our comments on the Site Plan have been addressed.

The only substantive remaining comment on the public improvement construction drawings is the pavement width to accommodate truck movements. It would be beneficial to extend the slightly wider 37-39' pavement width passed the Kum & Go entrances to better accommodate turning movements.

If you have any questions, please let me know.

Thanks,  
Tony

**Anthony J. Bellizzi, P.E.**  
**Vice President - Civil**



**VEENSTRA & KIMM, INC.**  
**3000 Westown Parkway**  
**West Des Moines, Iowa 50266-1320**  
**Office: 515-225-8000**  
**Mobile: 515-249-5497**  
**Email: [tbellizzi@v-k.net](mailto:tbellizzi@v-k.net)**



November 3, 2020

Angie Ritchie  
Deputy City Clerk  
City of Cumming  
649 N. 44<sup>th</sup> Street  
P.O. Box 100  
Cumming, Iowa 50061-0100

CUMMING, IOWA  
KUM & GO  
REVISED SITE PLAN AND PUBLIC IMPROVEMENTS

Veenstra & Kimm, Inc. has reviewed the revised site plan and public improvements of Kum & Go and offer the following comments:

SITE PLAN

Sheets 1 – Autoturn Exhibit

1. In reviewing the turning radii of truck movements as shown that a continuous left turn lane should be considered to provide three lanes of traffic. This street will carry considerably more traffic when the Lot 2 is developed to the east, and the street is extended north to serve future commercial and residential development. The continuous left turn lane will keep the southbound truck movement within the left turn lane rather than into the northbound lane and will allow additional stacking for multiple trucks/vehicles.

Sheet C1.1 – C.2.1

1. The elevations have been converted to the NAVD88 datum used by the City of Cumming.

Sheet C3.1

1. The detention basin is labeled as private.

2. The detention basin information is shown regarding the outlet structure, 100 year ponding elevations, emergency spillway and erosion protection of the emergency spillway. It appears the 15-inch storm outlet pipe from the detention basin also should be labeled as private.
3. The size of the private water main has been increased from 6-inch to 8-inch pipe.

#### Sheet L1.1

1. Some landscaping has been provided along the east side and west side of the site.

#### PUBLIC IMPROVEMENTS

#### Sheet 2

1. As noted previously, it is suggested that a third continuous left turn lane be added a minimum 12 feet wide for a total three lane pavement width of 37 feet. The continuous left turn lane may be wider to 14 feet wide as suggested by the Manual on Uniform Traffic Control Devices (MUTCD).
2. Pavement thickness has been revised to 8 inches.

#### Sheet 6

1. As shown on the "Autoturn Exhibits" the turning radii of the trucks northbound from the east, and southbound to the west, closely hug the edge of the intersection pavement. The pavement radii should be increased to have a clearance of 2 feet between the vehicle and the edge of pavement.

#### Sheet 10

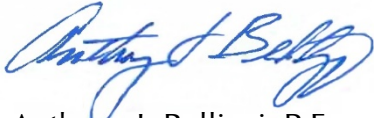
1. The RT-2 and L-2 joints are shown for the 8-inch thick pavement.



Angie Ritchie  
November 3, 2020  
Page 3

If you have any questions or comments concerning the project, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.



Anthony J. Bellizzi, P.E.

AJB:dml  
41233-044  
cc: Keith Weggen, Civil Design Advantage

PROJECT TEAM:

**OWNER/DEVELOPER/APPLICANT:**

KUM & GO L.C.  
1459 GRAND AVENUE  
DES MOINES, IA 50309  
ATTN: BRITNI ANDREASSEN  
PH: (515) 457-6083

**ENGINEER:**

CIVIL DESIGN ADVANTAGE, LLC  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
CONTACT: KEITH WEGGEN  
PH: (515) 369-4400

**LANDSCAPE ARCHITECT:**

CIVIL DESIGN ADVANTAGE, LLC  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
CONTACT: KEITH WEGGEN  
PH: (515) 369-4400

**SURVEYOR:**

CIVIL DESIGN ADVANTAGE, LLC  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
CONTACT: KEITH WEGGEN  
PH: (515) 369-4400

**TELEPHONE/CABLE:**

CENTURYLINK  
2103 EAST UNIVERSITY AVENUE  
DES MOINES, IA 50317  
CONTACT: MINDI BURGETT  
PH: (515) 263-7230

**GEOTECHNICAL ENGINEER:**

TERRACON CONSULTANTS, INC.  
600 SW 7TH STREET, SUITE M  
DES MOINES, IOWA 50309  
BRETT BRADFIELD  
PH: (515) 244-3184

**BENCH MARKS**

CITY OF WEST DES MOINES BM# 108 LOCATED AT THE INTERSECTION OF 105TH STREET AND WARREN AVENUE, NORTH OF INTERSECTION, 4 FEET WEST OF THE CENTERLINE EXTENDED, 20 FEET SOUTH OF THE EAST/WEST FENCE. ELEVATION=211.96

CITY OF WEST DES MOINES BM# 140 LOCATED AT THE NW CORNER OF ADAMS STREET AND 20TH AVENUE, 4 FEET SOUTH OF POWER POLE, 38 FEET WEST OF CENTERLINE OF 20TH AVENUE, 68 FEET NORTH OF CENTERLINE OF ADAMS STREET. ELEVATION=183.87

**PROPERTY DESCRIPTION**

LOT 1, SPANGLER PLAT 1 AN OFFICIAL PLAT IN THE CITY OF CUMMING, WARREN COUNTY, IOWA. INCLUDING 2.99 ACRES (130,375 SF).

**UTILITY WARNING**

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

**CONSTRUCTION SCHEDULE**

ANTICIPATED START DATE = OCTOBER, 1 2020  
ANTICIPATED FINISH DATE = OCTOBER, 1 2021

REFER TO GEOTECHNICAL ENGINEERING REPORT NO. 08205135 PREPARED BY TERRACON CONSULTANTS, INC. FOR GEOTECHNICAL REQUIREMENTS

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

DATE: \_\_\_\_\_  
DATE: 10/29/2020  
DATE: MARCH 2020  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_

MY LICENSE RENEWAL DATE IS JUNE 30, 2022  
PAGES OR SHEETS COVERED BY THIS SEAL:  
ALL SHEETS

**WATER:**

DES MOINES WATER WORKS  
2201 GEORGE FLAGG PARKWAY  
DES MOINES, IOWA 50321  
CONTACT: BRYAN POLLPETER  
PH: (515) 323-6204

**SANITARY SEWER:**

CITY OF CUMMING  
300 WESTOWN PARKWAY  
WEST DES MOINES, IA 20566  
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)  
(515) 225-8000

**ELECTRIC:**

MIDAMERICAN ENERGY COMPANY  
3500 104TH STREET  
URBANDALE, IA 50322  
CONTACT: CRAIG RANFELD  
PH: (515) 252-6632

**STORM SEWER:**

CITY OF CUMMING  
300 WESTOWN PARKWAY  
WEST DES MOINES, IA 20566  
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)  
(515) 225-8000

**BUILDING DEPARTMENT:**

CITY OF CUMMING  
300 WESTOWN PARKWAY  
WEST DES MOINES, IA 20566  
CONTACT: JASON VANAUSSDALL (VEENSTRA & KIMM)  
(515) 225-8000



WHERE & MEANS MORE

**GENERAL LEGEND**

**PROPOSED**

LOT LINE  
CENTER LINE  
RIGHT OF WAY  
PERMANENT EASEMENT  
TEMPORARY EASEMENT  
TYPE SW-501 STORM INTAKE  
TYPE SW-503 STORM INTAKE  
TYPE SW-401 STORM MANHOLE  
TYPE SW-301 SANITARY MANHOLE  
STORM/SANITARY CLEANOUT  
WATER VALVE  
FIRE HYDRANT ASSEMBLY  
SIGN  
DETECTABLE WARNING PANEL  
SANITARY SEWER WITH SIZE  
STORM SERVICE  
WATERMAIN WITH SIZE  
SAWCUT (FULL DEPTH)  
SILT FENCE

**EXISTING**

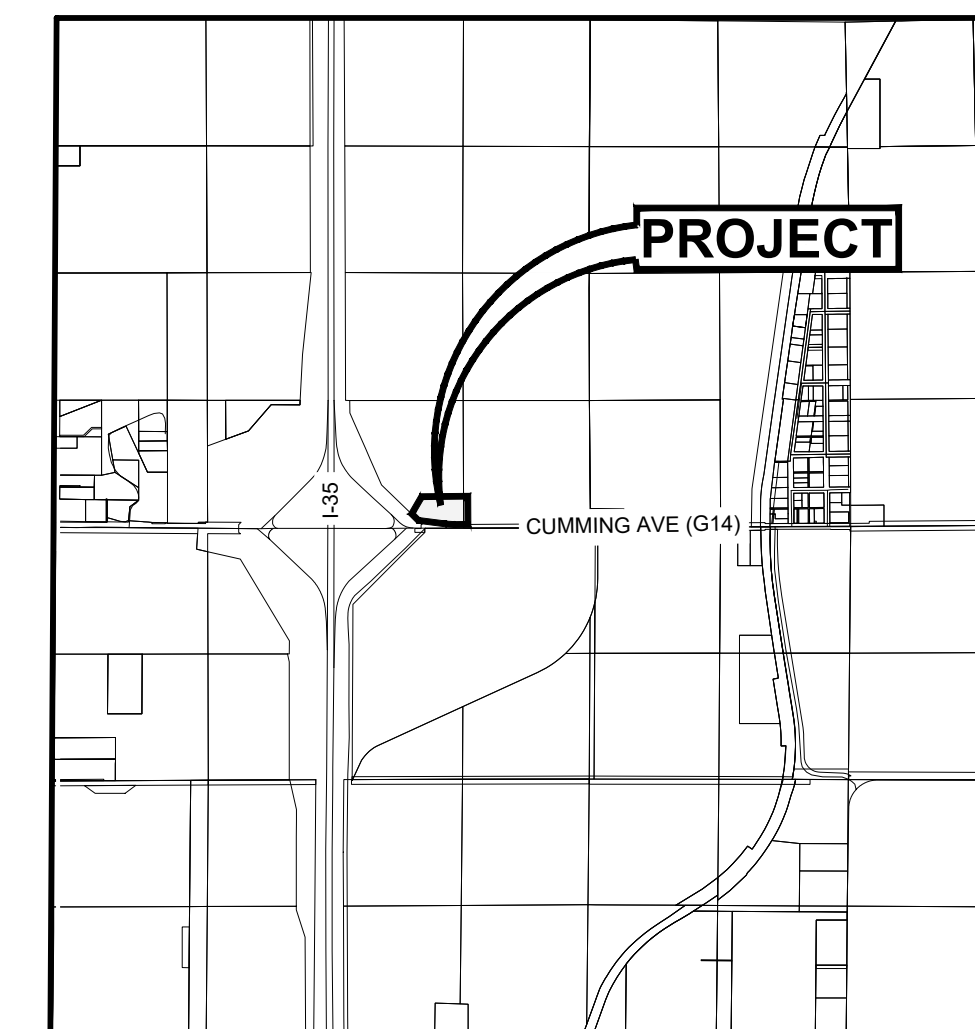
SANITARY MANHOLE  
WATER VALVE BOX  
FIRE HYDRANT  
WATER CURB STOP  
STORM SEWER MANHOLE  
STORM SEWER SINGLE INTAKE  
STORM SEWER DOUBLE INTAKE  
FLARED END SECTION  
DECIDUOUS TREE  
CONIFEROUS TREE  
DECIDUOUS SHRUB  
CONIFEROUS SHRUB  
ELECTRIC POWER POLE  
GUY ANCHOR  
STREET LIGHT  
POWER POLE W/ TRANSFORMER  
UTILITY POLE W/ LIGHT  
ELECTRIC BOX  
ELECTRIC TRANSFORMER  
ELECTRIC MANHOLE OR VAULT  
TRAFFIC SIGN  
TELEPHONE JUNCTION BOX  
TELEPHONE MANHOLE/VAULT  
TELEPHONE POLE  
GAS VALVE BOX  
CABLE TV JUNCTION BOX  
CABLE TV MANHOLE/VAULT  
BENCH MARK  
SOIL BORING  
UNDERGROUND TV CABLE  
GAS MAIN  
FIBER OPTIC  
UNDERGROUND TELEPHONE  
OVERHEAD ELECTRIC  
UNDERGROUND ELECTRIC  
SANITARY SEWER W/ SIZE  
STORM SEWER W/ SIZE  
WATER MAIN W/ SIZE

**SUBMITTAL DATES**

SUBMITTAL #1: SEPTEMBER 11, 2020  
SUBMITTAL #2: OCTOBER 29, 2020

**VICINITY MAP**

NOT TO SCALE



CUMMING, IOWA

SITE PLAN DRAWINGS  
STORE #0198  
I-35 & CUMMING AVENUE  
CUMMING, IA 50061

SHEET INDEX		
1	COVER SHEET	C0.0
2	SITE PLAN	C1.1
3	TOPOGRAPHIC SURVEY / DEMOLITION PLAN	C1.2
4-5	GRADING PLAN	C2.1-C2.2
6	EROSION & SEDIMENT CONTROL	C2.3
7	UTILITY PLAN	C3.1
8	LANDSCAPE PLAN	L1.1

SITE DATA		
STORE TYPE	INTERSTATE	
CANOPY / DISPENSER ARRANGEMENT	5 DISPENSERS (SINGLE), 3 HI-FLOW DISPENSERS	
TYPE OF USE	CONVENIENCE STORE WITH FUEL	
HEIGHT	BUILDING	21'-0"
	TOP OF BLADE WALL	22'-7"
	CANOPY	20'-10"
	DIESEL CANOPY	19'-0"
GROSS FLOOR AREA	6,015 S.F.	
GROSS CANOPY AREA	4,356 S.F.	
GROSS LOT AREA	±130,375 S.F. ±2.99 ACRES	
FAR (INCLUDING CANOPY)	0.08	
KUM & GO BUILDING COVERAGE	6,015 S.F. (4.6%)	
LANDSCAPE COVERAGE	50,095 SF (38.4%)	
PARKING/DRIVE/ COVERAGE	74,283 SF (57.0%)	
BICYCLE PARKING	N/A	
REQUIRED PARKING	STANDARD	31
	ADA	1
	TOTAL	32
PROVIDED PARKING	PARKING RATIO = 1 SPACE/ 187 GFA	
	STANDARD	25
	ADA	2
	TRUCKS	5
TOTAL	32	
PARKING RATIO = 5.4 CARS/1000 S.F.		

ZONING INFORMATION	
ZONE: C-1 HIGHWAY COMMERCIAL DISTRICT	
MINIMUM LOT AREA (SQUARE FEET)	
MINIMUM LOT WIDTH (FEET)	
SITE AREA PER UNIT (SQUARE FEET)	N/A
FRONT YARD SETBACK (FEET)	50
FRONT YARD CANOPY SETBACK (FEET)	15
LEFT SIDE YARD SETBACK (FEET)	0
RIGHT SIDE YARD SETBACK (FEET)	0
REAR YARD SETBACK (FEET)	0
BUILDING MAXIMUM HEIGHT (FEET)	35
CANOPY MAXIMUM HEIGHT (FEET)	20
MAXIMUM BUILDING COVERAGE	N/A

CONFIDENTIAL DOCUMENT.  
INFORMATION CONTAINED IN THIS DOCUMENT IS  
PROPRIETARY TO KUM & GO, L.C. AND SHALL NOT  
BE DISTRIBUTED.



1459 Grand Avenue  
Des Moines, Iowa 50309  
P: 515-226-0128  
F: 515-223-9873

0198 - CUMMING, IOWA  
I-35 & CUMMING AVENUE

COVER SHEET

KG PROJECT TEAM:  
RDR:  
SDM:  
CPM:

DATE	REVISION DESCRIPTION

DATE	REVISIONS

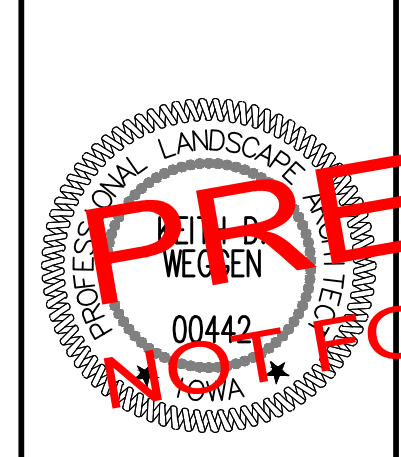
SHEET NUMBER:  
**C0.0**



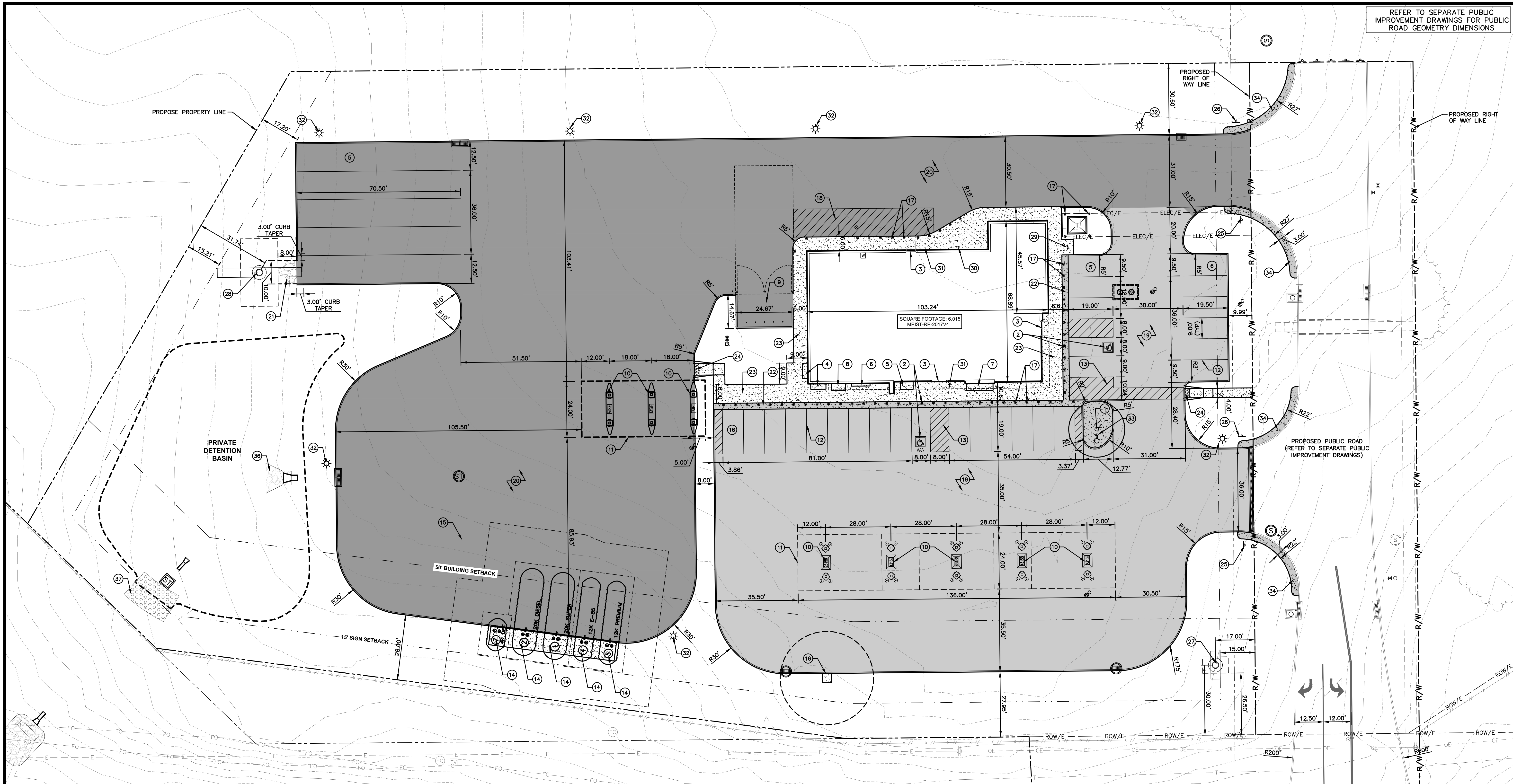
CALL 811 SEVENTY-TWO HOURS PRIOR TO  
DIGGING, GRADING OR EXCAVATING FOR THE  
MARKING OF UNDERGROUND MEMBER UTILITIES.

1-800-292-8988  
www.iowasonecall.com

FILE: H:\2020\2005259\DWG\2005259-SITE.DWG  
PLOT DATE: 10/29/2020 2:58 PM  
DRAWN BY: KEITH WEGGEN  
DATE: 10/29/2020



REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR PUBLIC ROAD GEOMETRY DIMENSIONS

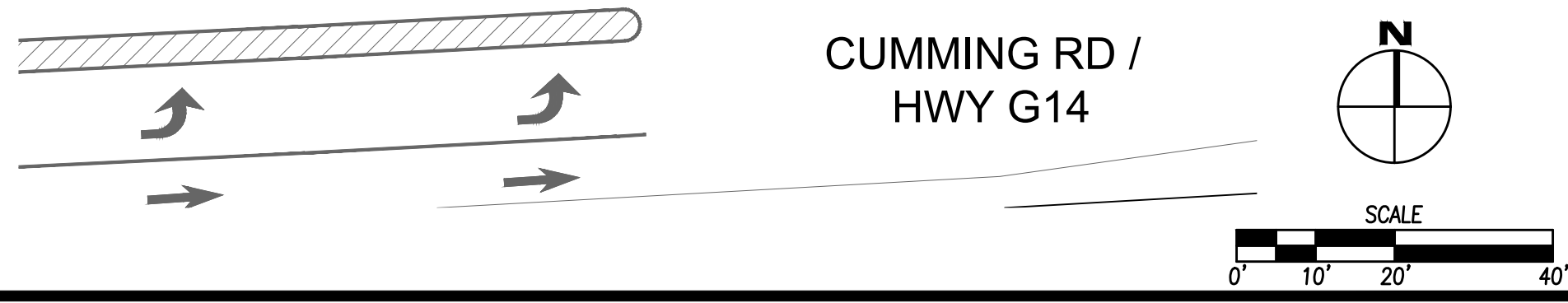


- ### FLAG NOTES
- 1 40 FOOT FLAG POLE, MAINTAIN 24 FEET CLEAR SPACE
  - 2 ACCESSIBLE PARKING SPACE WITH POLE MOUNTED ADA PARKING SIGN
  - 3 BUILDING ENTRY - SEE ARCHITECTURAL DRAWINGS
  - 4 PROPANE CAGE
  - 5 MISCELLANEOUS MERCHANDISE
  - 6 FIREWOOD
  - 7 REDBOX
  - 8 ICE MERCHANDISER
  - 9 TRASH ENCLOSURE - SEE ARCHITECTURAL DRAWINGS
  - 10 FUEL DISPENSER ISLAND
  - 11 FUEL CANOPY
  - 12 4 INCH YELLOW PARKING STRIPING
  - 13 4 INCH YELLOW PARKING STRIPING - 24 INCHES O.C. AT 45 DEGREES
  - 14 UNDER GROUND STORAGE TANK LOCATIONS
  - 15 TANK OVERDIG LIMITS
  - 16 AIR MACHINE - COORDINATE MOUNT WITH SUPPLIER
  - 17 BOLLARDS - WITH BLACK PROTECTIVE COVER
  - 18 12 FEET X 60 FEET LOADING ZONE
  - 19 STANDARD DUTY P.C.C. PAVEMENT
  - 20 HEAVY DUTY P.C.C. PAVEMENT
  - 21 GRANULAR SURFACE
  - 22 INTEGRAL COLORED PCC SIDEWALK - HEAVY BROOM FINISH - 6 INCH MINIMUM THICKNESS
  - 23 P.C.C. SIDEWALK
  - 24 DETECTABLE WARNING STRIP
  - 25 STOP SIGN FOR ACCESSING PUBLIC-RIGHT-OF-WAY
  - 26 TRUCK DIRECTIONAL SIGNAGE
  - 27 35' POLE SIGN
  - 28 100' POLE SIGN
  - 29 BOLLARD BIKE RACK - 5.00 FEET X 6.5 FEET PAD
  - 30 ELECTRICAL, TELEPHONE, IRRIGATION CONDUIT CONNECTION - METERS SHALL BE LOCATED INSIDE BUILDING
  - 31 BUILDING CANOPY OVERHANG
  - 32 AREA LIGHT
  - 33 FLAG POLE UPLIGHT
  - 34 ROLLOVER CURB
  - 35 THREE-CENTERED COMPOUND CURVE
  - 36 CLASS E, RIP-RAP
  - 37 TURF REINFORCEMENT MAT - TYPE 4

### PAVEMENT THICKNESS

1. SIDEWALK	4" P.C.C.
2. STANDARD DUTY PCC PAVEMENT	6" P.C.C.
3. HEAVY DUTY PCC PAVEMENT	8" P.C.C.
4. INTEGRAL COLORED CONCRETE	6" P.C.C.

- ### GENERAL NOTES
- THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
  - ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES AND PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWALK).
  - ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
  - PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
  - ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
  - ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
  - ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
  - PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
  - REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
  - ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
  - DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
  - THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
  - THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
  - THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
  - CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
  - ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.



**EA**  
**CIVIL DESIGN ADVANTAGE**  
 3405 SE 15TH AVE SUITE 100  
 DES MOINES, IOWA 50311  
 PH: (515) 398-4400 FAX: (515) 398-4410  
 PROJECT NO. 2020.259



1459 Grand Avenue  
 Des Moines, Iowa 50309  
 P: 515-226-0128  
 F: 515-223-9873

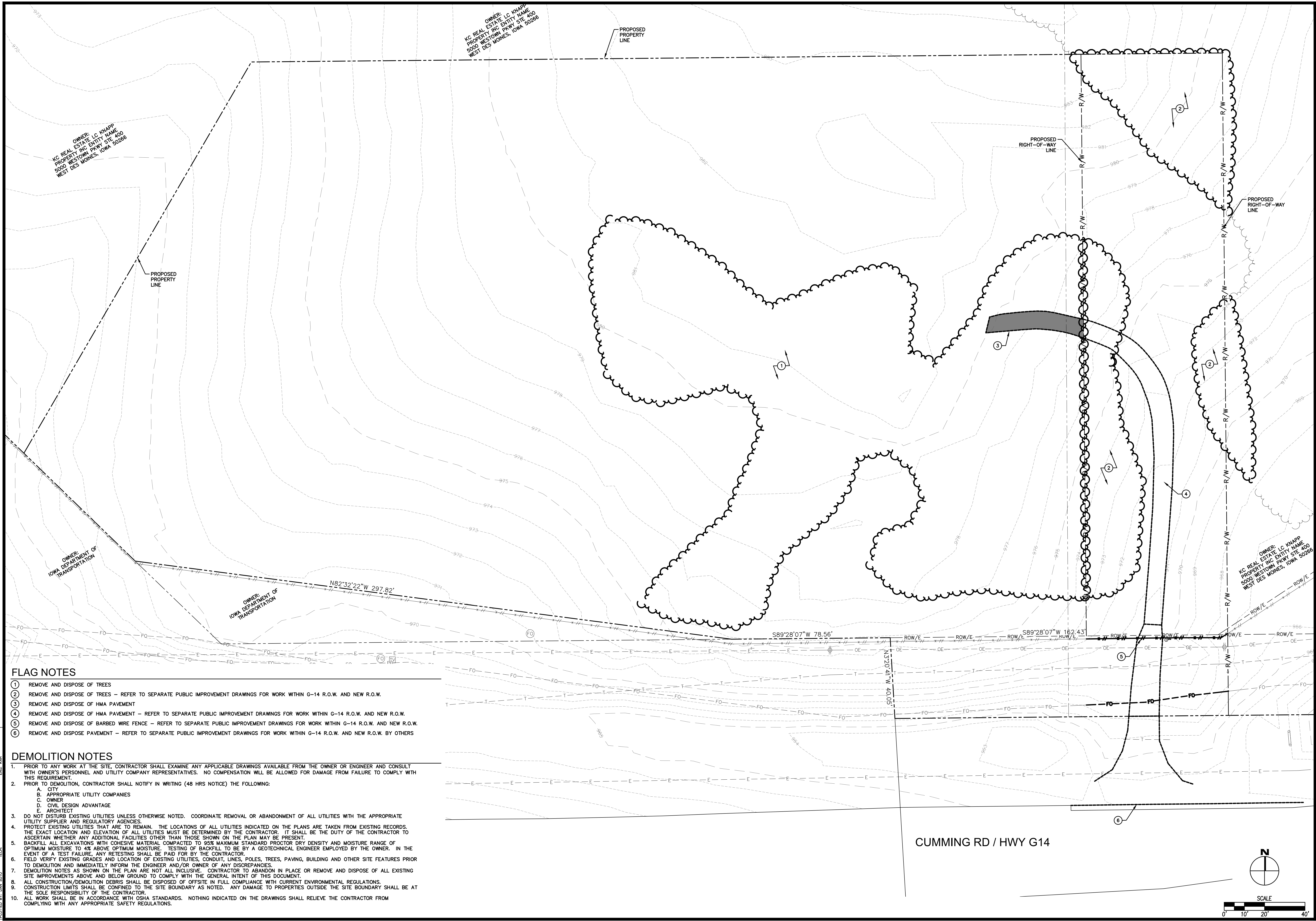
**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**SITE PLAN**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

REVISION DESCRIPTION	DATE

DATE: 10-29-2020  
 SHEET NUMBER:  
**C1.1**

FILE: H:\2020\2020259\0198\0198-SITE.DWG  
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 PLOTTER: HP DesignJet T1200  
 SCALE: 1/8" = 1'-0"



OWNER:  
KC REAL ESTATE INC  
PROPERTY INC ENTITY NAME  
5000 WESTOWN PKWY STE 400  
WEST DES MOINES, IOWA 50266

OWNER:  
KC REAL ESTATE INC  
PROPERTY INC ENTITY NAME  
5000 WESTOWN PKWY STE 400  
WEST DES MOINES, IOWA 50266

PROPOSED  
PROPERTY LINE

PROPOSED  
PROPERTY LINE

PROPOSED  
RIGHT-OF-WAY LINE

PROPOSED  
RIGHT-OF-WAY LINE

OWNER:  
IOWA DEPARTMENT OF  
TRANSPORTATION

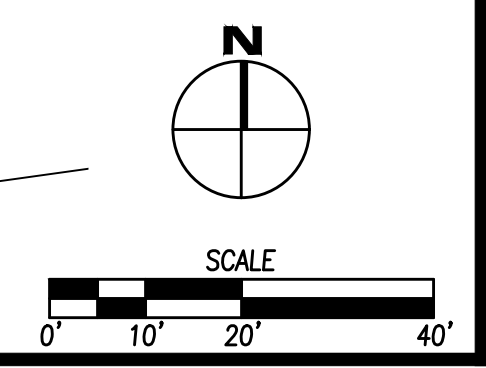
OWNER:  
IOWA DEPARTMENT OF  
TRANSPORTATION

OWNER:  
KC REAL ESTATE INC  
PROPERTY INC ENTITY NAME  
5000 WESTOWN PKWY STE 400  
WEST DES MOINES, IOWA 50266

- FLAG NOTES**
- ① REMOVE AND DISPOSE OF TREES
  - ② REMOVE AND DISPOSE OF TREES - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W.
  - ③ REMOVE AND DISPOSE OF HMA PAVEMENT
  - ④ REMOVE AND DISPOSE OF HMA PAVEMENT - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W.
  - ⑤ REMOVE AND DISPOSE OF BARBED WIRE FENCE - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W.
  - ⑥ REMOVE AND DISPOSE PAVEMENT - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W. BY OTHERS

- DEMOLITION NOTES**
1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
  2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
    - A. CITY
    - B. APPROPRIATE UTILITY COMPANIES
    - C. OWNER
    - D. CIVIL DESIGN ADVANTAGE
    - E. ARCHITECT
  3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
  4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
  5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
  6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
  7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
  8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
  9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

CUMMING RD / HWY G14



**EA**  
CIVIL DESIGN ADVANTAGE  
3405 SE 16TH AVE  
DES MOINES, IOWA 50311  
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PROJECT NO. 2005.259



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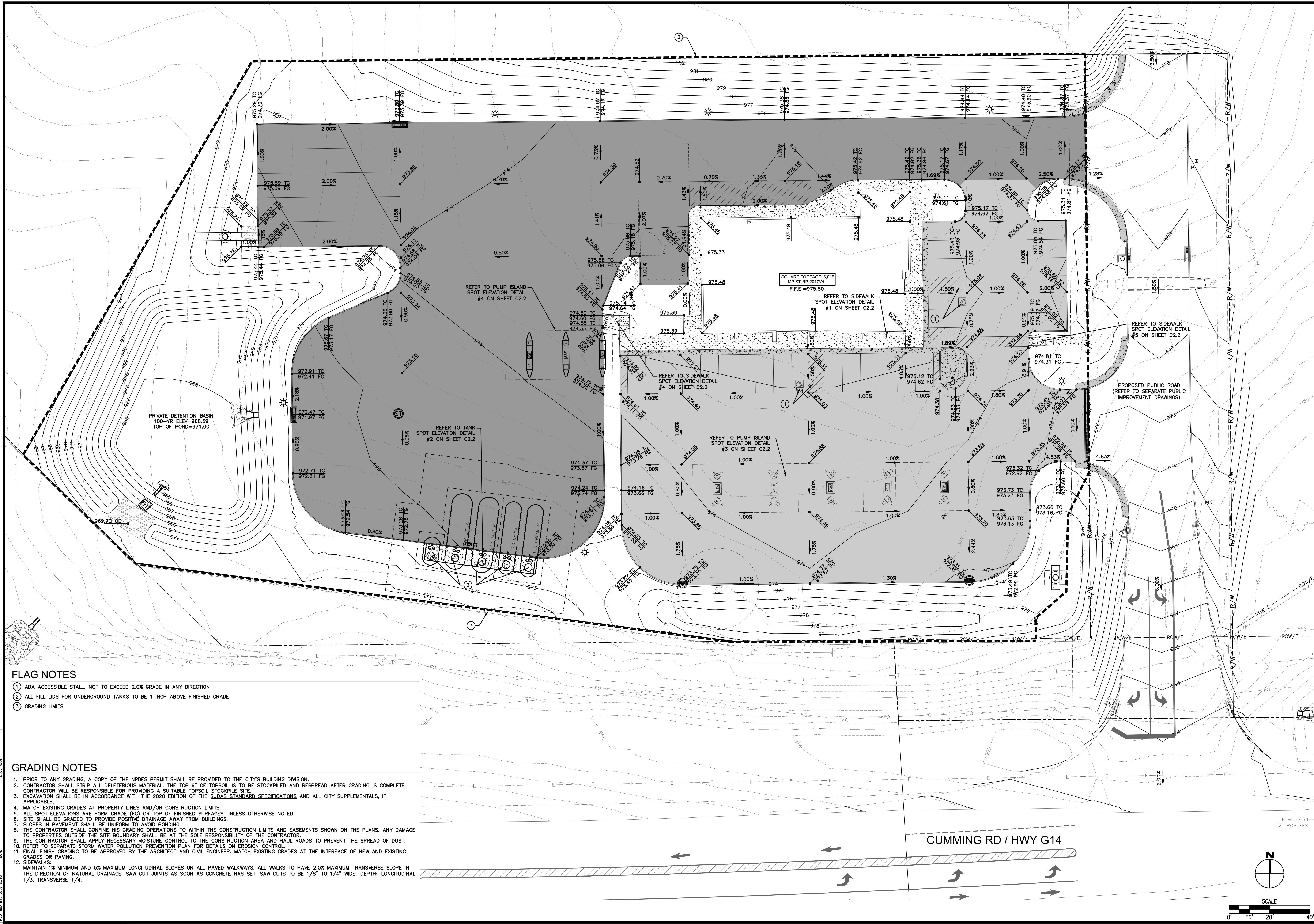
**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
TOPOGRAPHIC SURVEY & DEMOLITION PLAN

KG PROJECT TEAM:  
RDR:  
SDM:  
CPM:

DATE	REVISION DESCRIPTION	REVISIONS
10-29-2020		

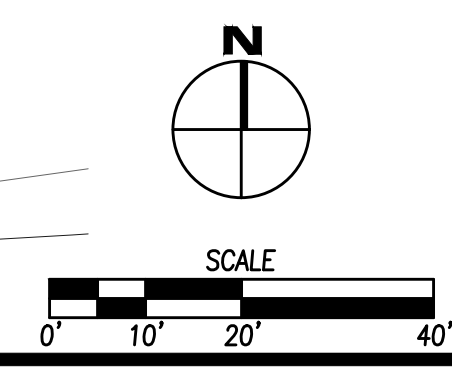
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 PLOT SIZE: 11.00 x 17.00



- FLAG NOTES**
- ① ADA ACCESSIBLE STALL, NOT TO EXCEED 2.0% GRADE IN ANY DIRECTION
  - ② ALL FILL LIDS FOR UNDERGROUND TANKS TO BE 1 INCH ABOVE FINISHED GRADE
  - ③ GRADING LIMITS

- GRADING NOTES**
1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
  2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
  3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
  4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
  5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
  6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
  7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
  8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
  10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
  11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
  12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.



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**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**GRADING PLAN**

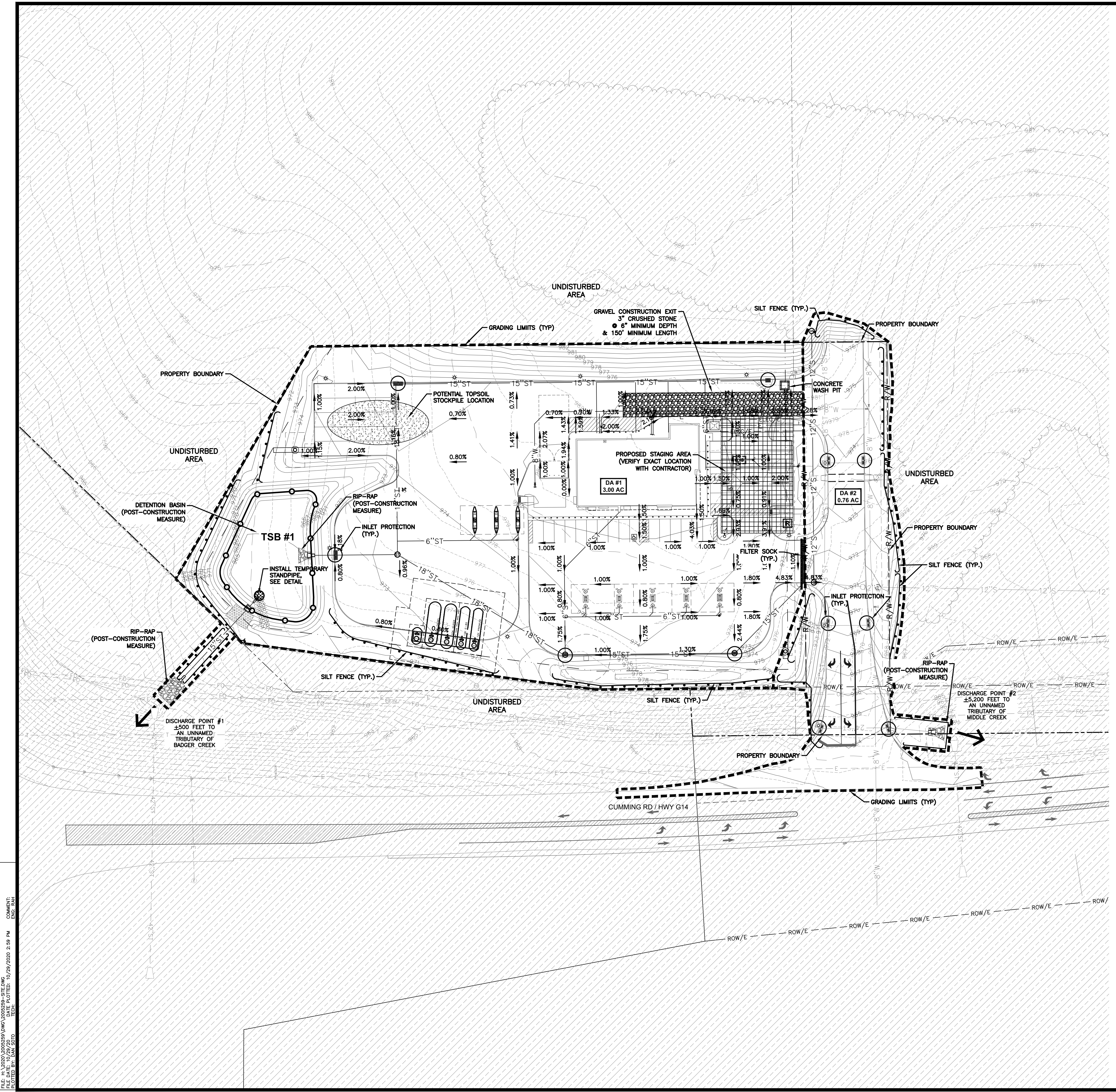
KG PROJECT TEAM:  
RDR:  
SDM:  
CPM:

DATE	REVISION DESCRIPTION
10-29-2020 <td></td>	

SHEET NUMBER:  
**C2.1**

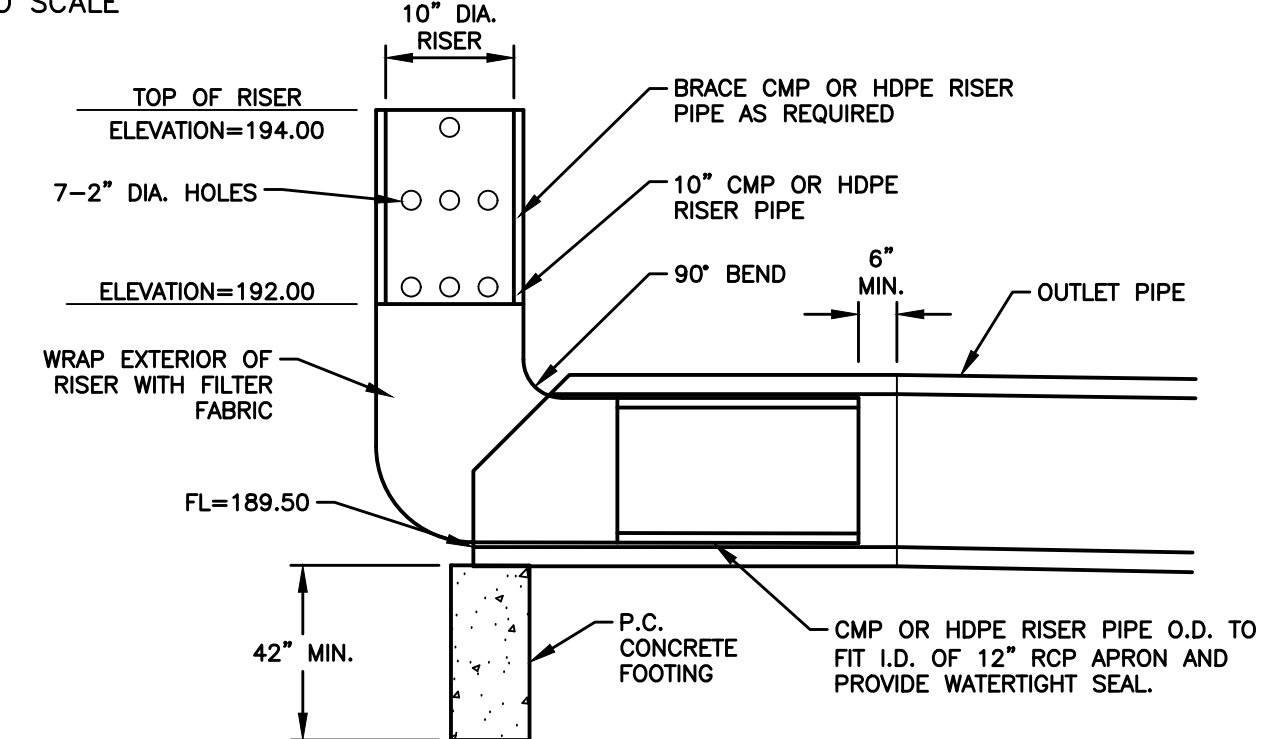
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### TEMPORARY STAND PIPE DETAIL

NOT TO SCALE



### STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1,344
2	SEEDING, FERTILIZING, AND MULCHING	AC	1.77
3	INLET PROTECTION DEVICES	EA	11
4	CONCRETE WASHOUT PIT	EA	1
5	10" PVC TEMPORARY STANDPIPE	EA	1
6	FILTER SOCK	LF	42

### NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.

### DISCHARGE POINT SUMMARY

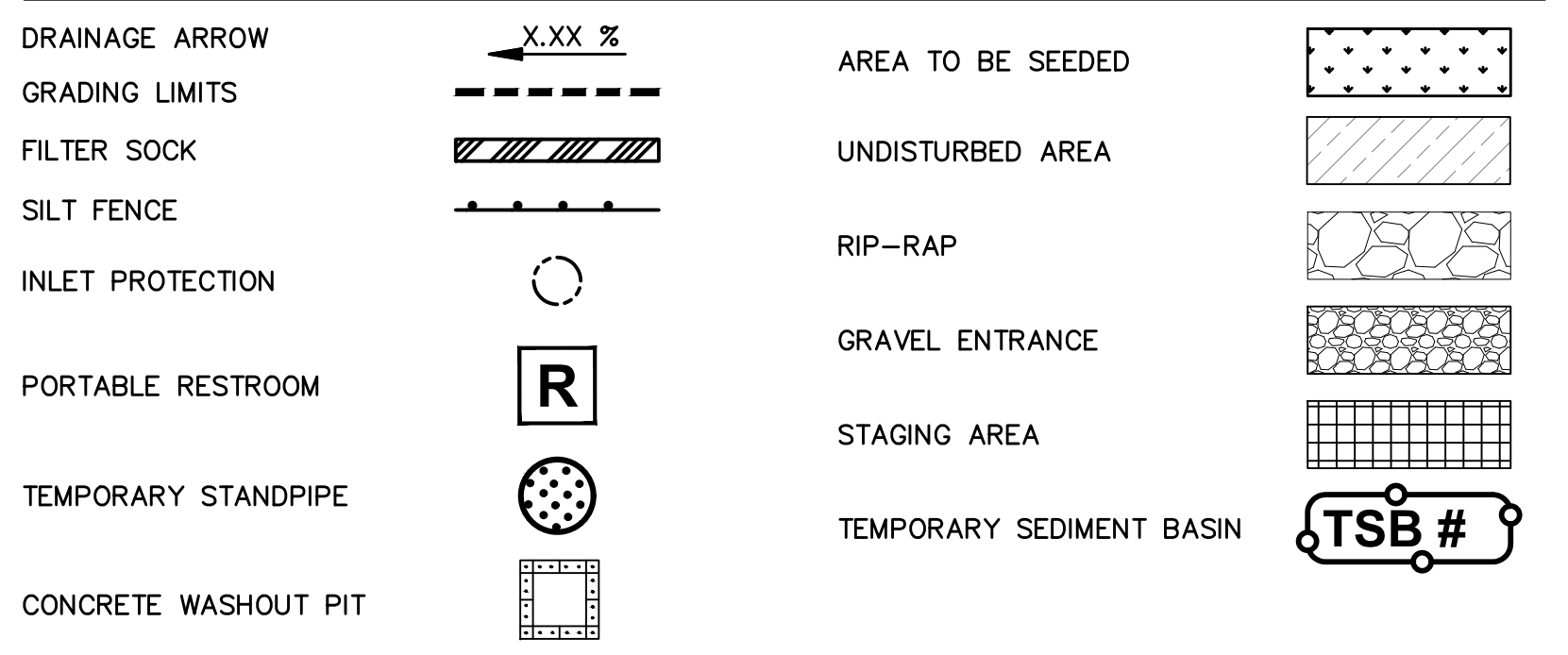
**DISCHARGE POINT #1 TO AN UNNAMED TRIBUTARY OF BADGER CREEK ±500 FT**  
TOTAL AREA DISTURBED TO DISCHARGE POINT  
STORAGE VOLUME REQUIRED (# OF ACRES\*3600 CU FT)

3.00 ACRES	10,800 CU FT
VOLUME PROVIDED IN SILT FENCE (696 LF @ 4.5 CU FT/LF OF FENCE)	3,132 CU FT
VOLUME PROVIDED IN FILTER SOCK (42 LF @ 2.0 CU FT/LF OF SOCK)	84 CU FT
VOLUME PROVIDED IN TSB #1	17,966 CU FT
TOTAL VOLUME PROVIDED	21,182 CU FT

**DISCHARGE POINT #2 TO AN UNNAMED TRIBUTARY OF MIDDLE CREEK ±5,200 FT**  
TOTAL AREA DISTURBED TO DISCHARGE POINT  
STORAGE VOLUME REQUIRED (# OF ACRES\*3600 CU FT)

0.76 ACRES	2,736 CU FT
VOLUME PROVIDED IN SILT FENCE (648 LF @ 4.5 CU FT/LF OF FENCE)	2,916 CU FT
TOTAL VOLUME PROVIDED	2,916 CU FT

### SWPPP LEGEND



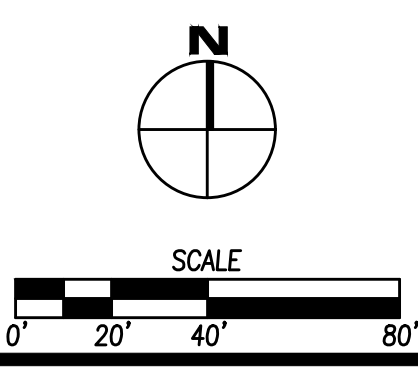
1459 Grand Avenue  
Des Moines, Iowa 50309  
P: 515-226-0128  
F: 515-223-9873

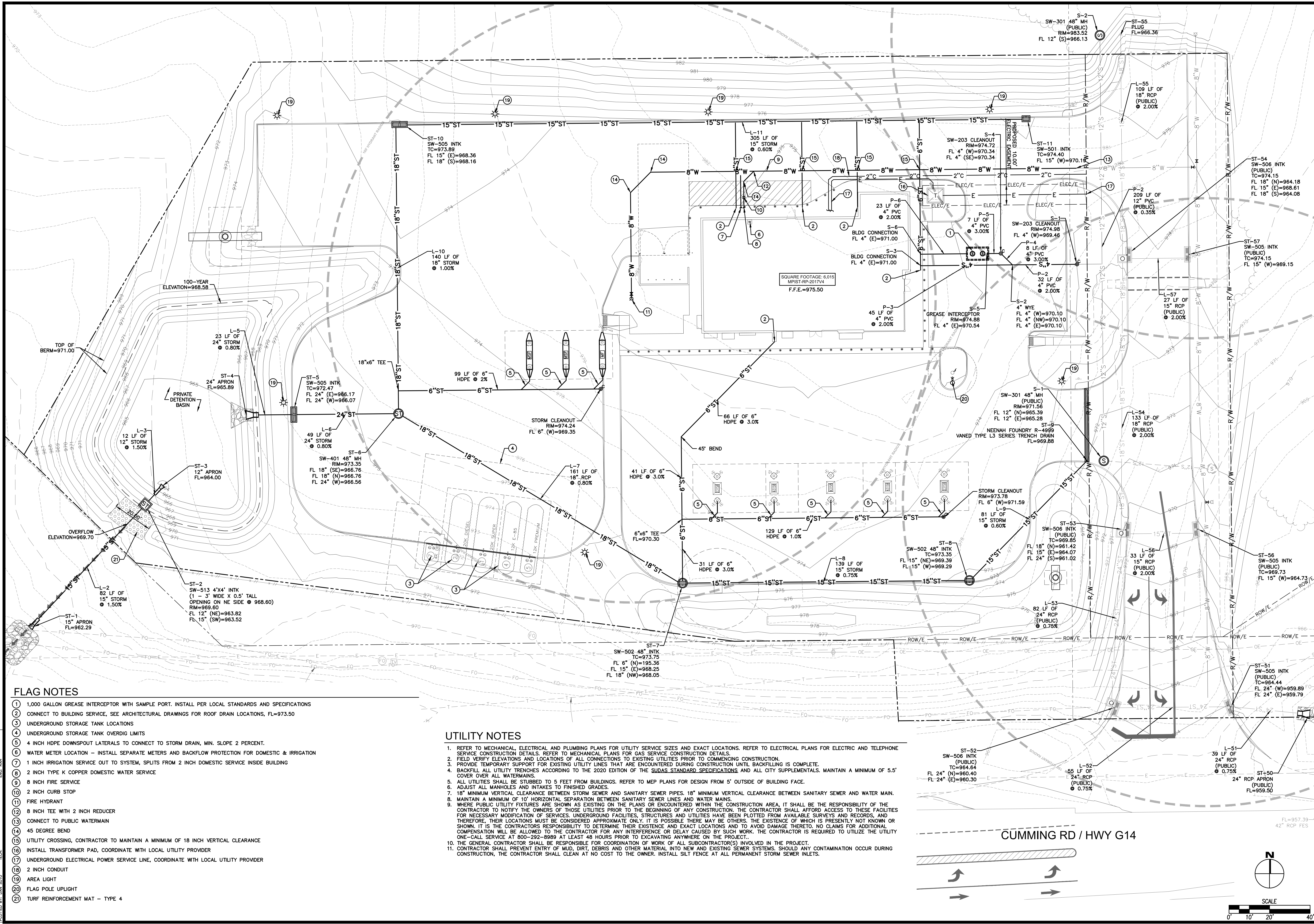
KG PROJECT TEAM:  
RDR:  
SDM:  
CPM:

REVISIONS

REVISION DESCRIPTION	DATE

DATE: 10-29-2020  
SHEET NUMBER:  
**C2.3**





- FLAG NOTES**
- 1,000 GALLON GREASE INTERCEPTOR WITH SAMPLE PORT. INSTALL PER LOCAL STANDARDS AND SPECIFICATIONS
  - CONNECT TO BUILDING SERVICE, SEE ARCHITECTURAL DRAWINGS FOR ROOF DRAIN LOCATIONS, FL=973.50
  - UNDERGROUND STORAGE TANK LOCATIONS
  - UNDERGROUND STORAGE TANK OVERDIG LIMITS
  - 4 INCH HDPE DOWNSPOUT LATERALS TO CONNECT TO STORM DRAIN, MIN. SLOPE 2 PERCENT.
  - WATER METER LOCATION - INSTALL SEPARATE METERS AND BACKFLOW PROTECTION FOR DOMESTIC & IRRIGATION
  - 1 INCH IRRIGATION SERVICE OUT TO SYSTEM, SPLITS FROM 2 INCH DOMESTIC SERVICE INSIDE BUILDING
  - 2 INCH TYPE K COPPER DOMESTIC WATER SERVICE
  - 8 INCH FIRE SERVICE
  - 2 INCH CURB STOP
  - FIRE HYDRANT
  - 8 INCH TEE WITH 2 INCH REDUCER
  - CONNECT TO PUBLIC WATERMAIN
  - 45 DEGREE BEND
  - UTILITY CROSSING, CONTRACTOR TO MAINTAIN A MINIMUM OF 18 INCH VERTICAL CLEARANCE
  - INSTALL TRANSFORMER PAD, COORDINATE WITH LOCAL UTILITY PROVIDER
  - UNDERGROUND ELECTRICAL POWER SERVICE LINE, COORDINATE WITH LOCAL UTILITY PROVIDER
  - 2 INCH CONDUIT
  - AREA LIGHT
  - FLAG POLE UPLIGHT
  - TURF REINFORCEMENT MAT - TYPE 4

- UTILITY NOTES**
1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
  2. FIELD VERIFY ELEVATIONS AND LOCATION OF AS CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
  3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
  4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2020 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
  5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
  6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
  7. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
  8. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
  9. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
  10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
  11. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS, AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.

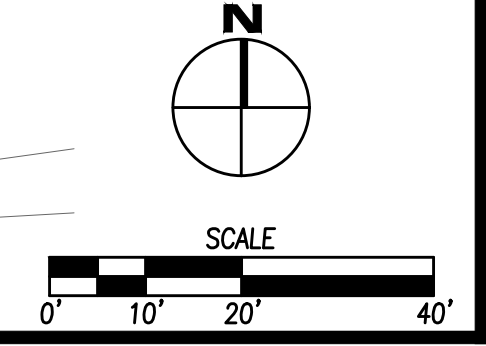
KG PROJECT TEAM:

RDR:
SDM:
CPM:

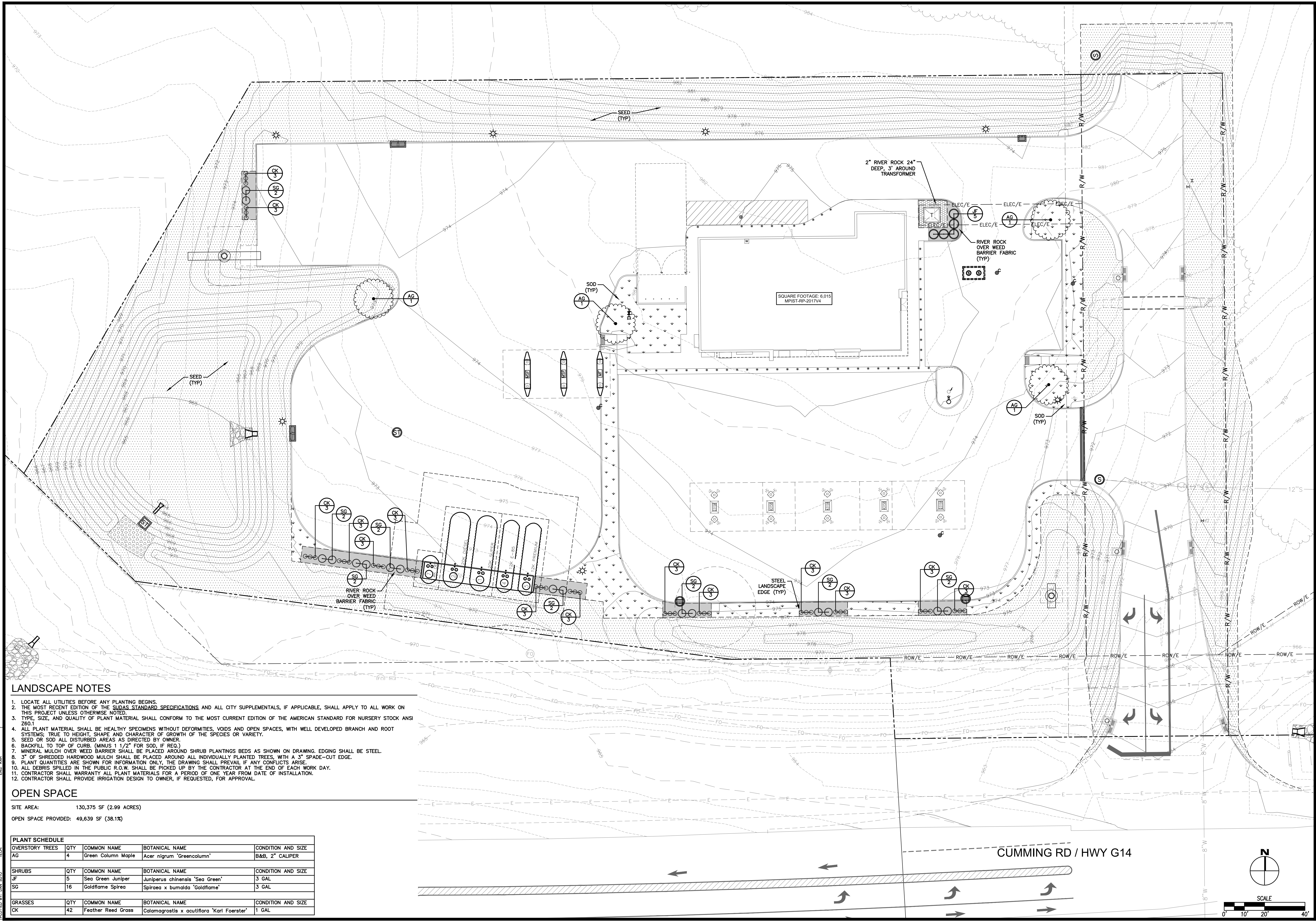
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DATE: 10-29-2020

SHEET NUMBER:  
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DATE	REVISION DESCRIPTION

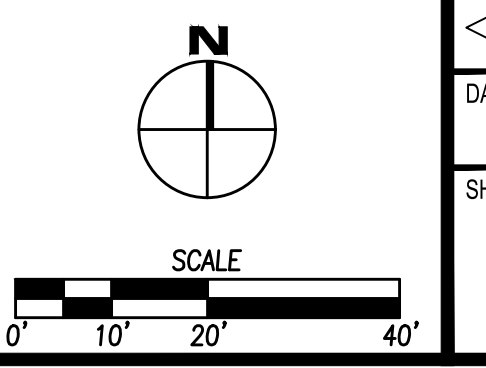
DATE: 10-29-2020  
 SHEET NUMBER:  
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**LANDSCAPE NOTES**

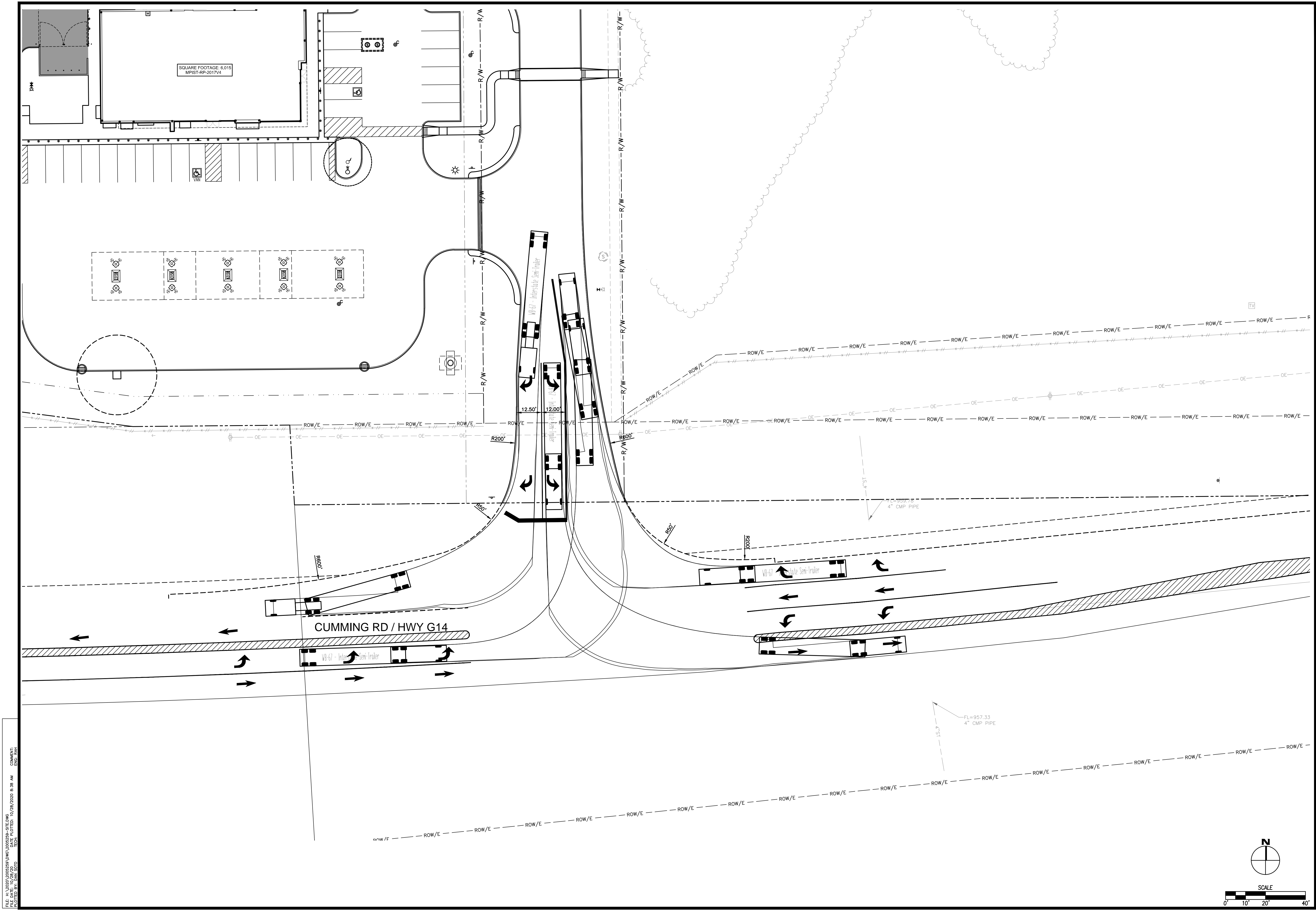
1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS. TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. MINERAL MULCH OVER WEED BARRIER SHALL BE PLACED AROUND SHRUB PLANTINGS BEDS AS SHOWN ON DRAWING. EDGING SHALL BE STEEL.
8. 3" OF SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL INDIVIDUALLY PLANTED TREES, WITH A 3" SPADE-CUT EDGE.
9. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
10. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
11. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
12. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

**OPEN SPACE**  
 SITE AREA: 130,375 SF (2.99 ACRES)  
 OPEN SPACE PROVIDED: 49,639 SF (38.1%)

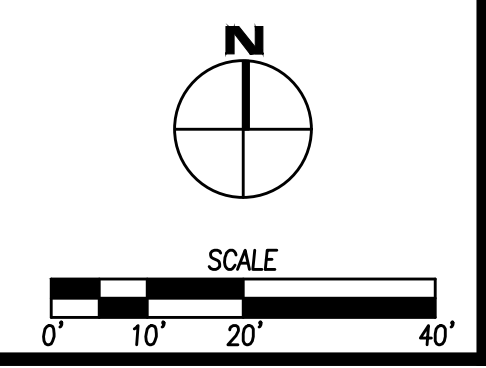
OVERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
AG	4	Green Column Maple	<i>Acer nigrum 'Greencolumn'</i>	B&B, 2" CALIPER
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
JF	5	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	3 GAL
SG	16	Goldflame Spirea	<i>Spiraea x bumalda 'Goldflame'</i>	3 GAL
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
CK	42	Feather Reed Grass	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	1 GAL



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 PLOT DATE: 10/29/2020  
 PLOT TIME: 10/29/2020  
 PLOT USER: JMM



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 COMMENT: 10/28/2020  
 DATE PLOTTED: 10/28/2020 8:39 AM  
 PLOTTER: HP DesignJet 500



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 Des Moines, Iowa 50309  
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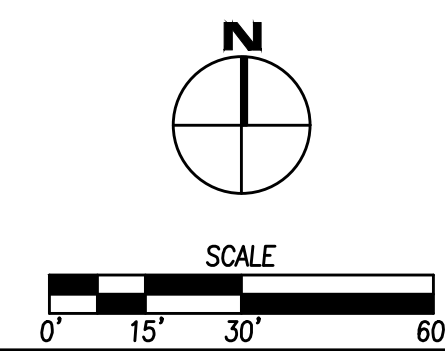
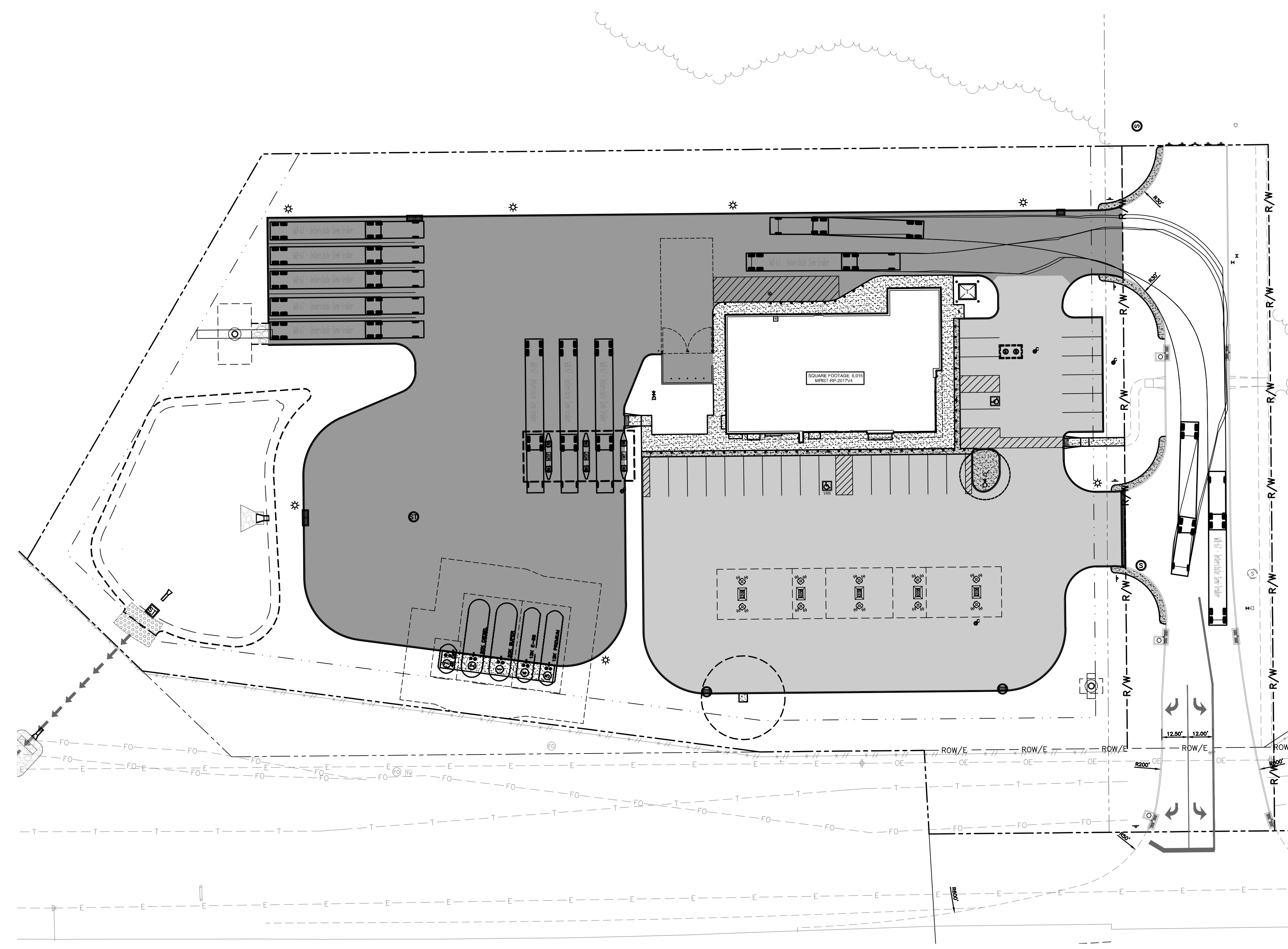
**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**AUTOTURN EXHIBIT - WB-67**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

REVISION DESCRIPTION	DATE

DATE: 10-28-2020

SHEET NUMBER:  
**1 OF 1**



REVISIONS

DATE	REVISION DESCRIPTION

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

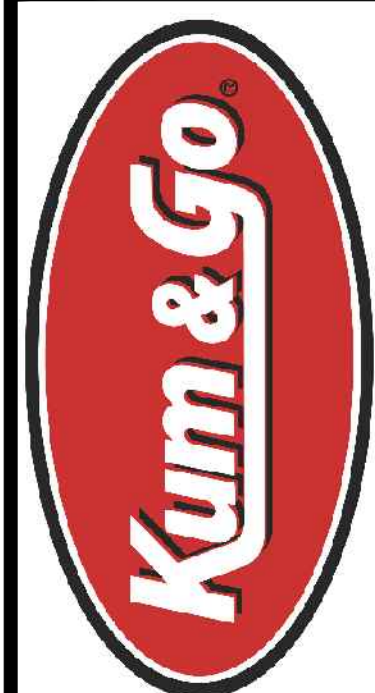
DATE: 10-29-2020

SHEET NUMBER:

1 OF 1

**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
 AUTOTURN EXHIBIT - WB-67

1459 Grand Avenue  
 Des Moines, Iowa 50309  
 P: 515-226-0128  
 F: 515-223-9873



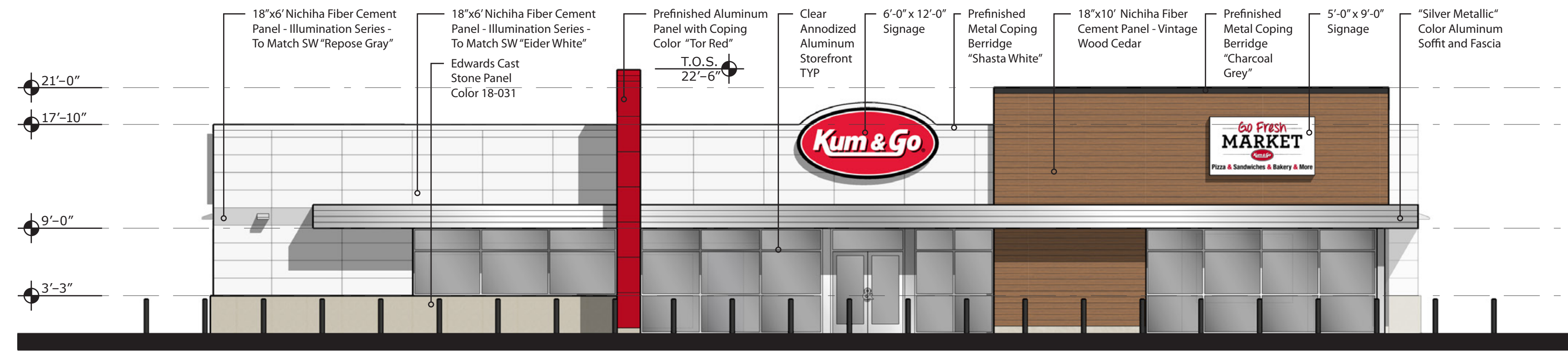
**EA**  
 CIVIL DESIGN ADVANTAGE  
 3845 SE 16th Street, Des Moines, IA 50311  
 PH: (515) 386-4400 Fax: (515) 386-4410  
 PROJECT NO. 2005.259

**Proposed Building Signage**

Location	Sign	Size	Area
South Elevation	"Kum & Go" Sign	6' x 12'	57 SF
	"Go Fresh Market" Sign	5' x 9'	45 SF
East Elevation	No Signage	---	0 SF
North Elevation	No Signage	---	0 SF
West Elevation	"Kum & Go" Sign	6' x 12'	57 SF
<b>Total</b>			<b>159 SF</b>

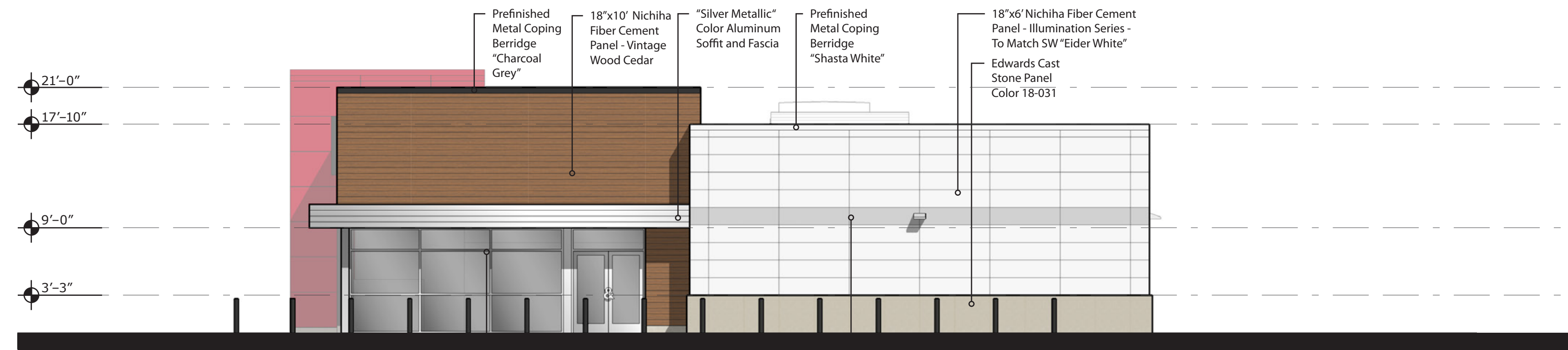
**Proposed Building Glazing**

Location	Overall Wall Area	Glazing Area	% of Elevation
North Elevation	1504 SF	--- SF	0%
South Elevation	1982 SF	552 SF	27.8%
West Elevation	1019 SF	--- SF	0%
East Elevation	1288 SF	234 SF	18.1%
<b>Total</b>	<b>5793 SF</b>	<b>786 SF</b>	<b>14%</b>



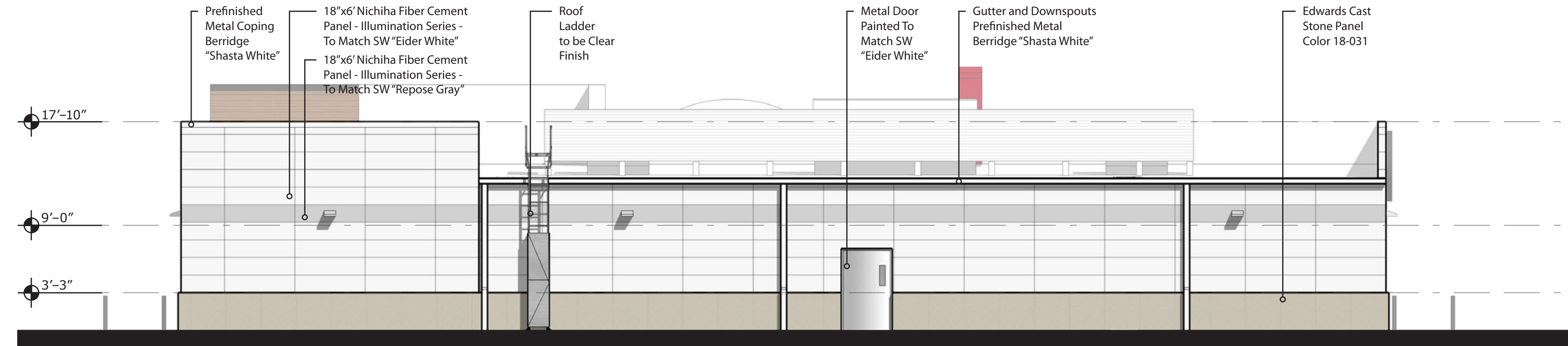
**South Elevation**

NTS



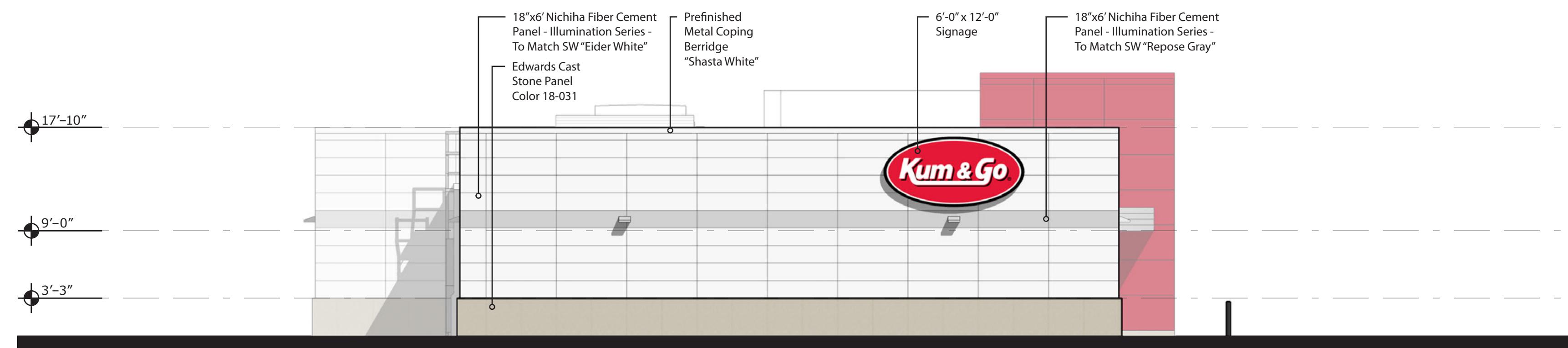
**East Elevation**

NTS



**North Elevation**

NTS

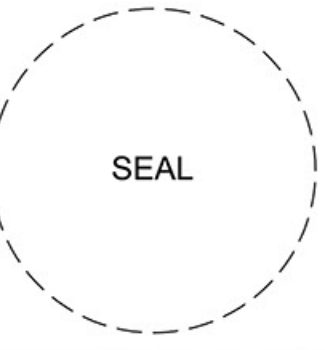


**West Elevation**

NTS

**brr**

ARCHITECT OF RECORD:  
BRR ARCHITECTURE, INC  
813 METCALF AVENUE  
SUITE 300  
OVERLAND PARK, KS 66204  
www.brrarch.com  
TEL: 913-262-9055  
FAX: 913-262-9044



1459 Grand Avenue  
Des Moines, Iowa  
50309  
P:515-457-6247

#0198 - CUMMING, IOWA  
I-35 & CUMMING AVENUE  
EXTERIOR ELEVATIONS

KG PROJECT TEAM:  
RDM:  
SDM:  
CPM:

REVISION DESCRIPTION	DATE

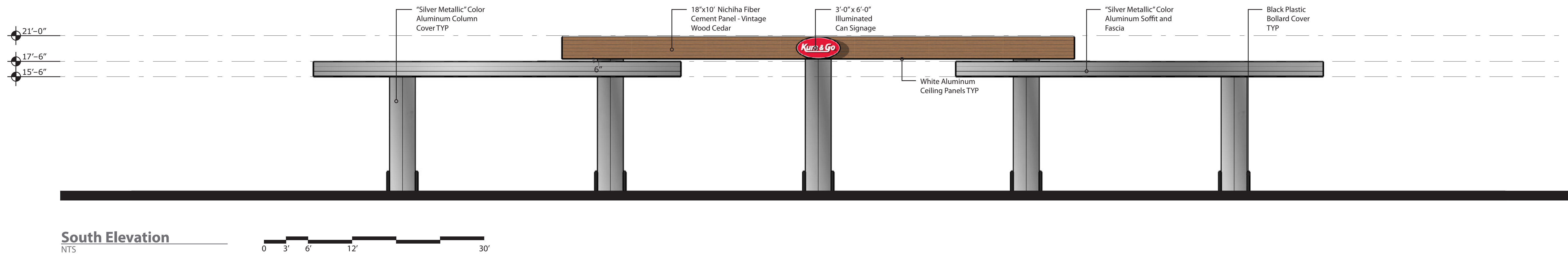
DATE: 10/09/2020

SHEET NUMBER:

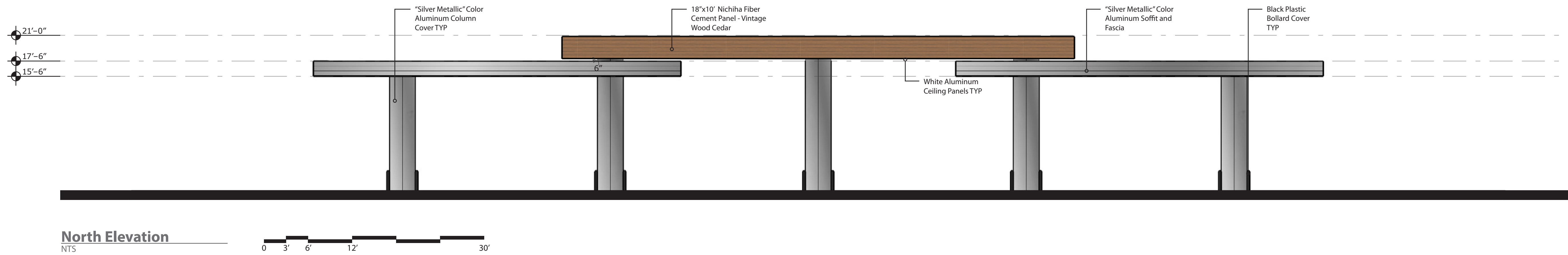
REVISIONS

**Proposed Canopy Signage**

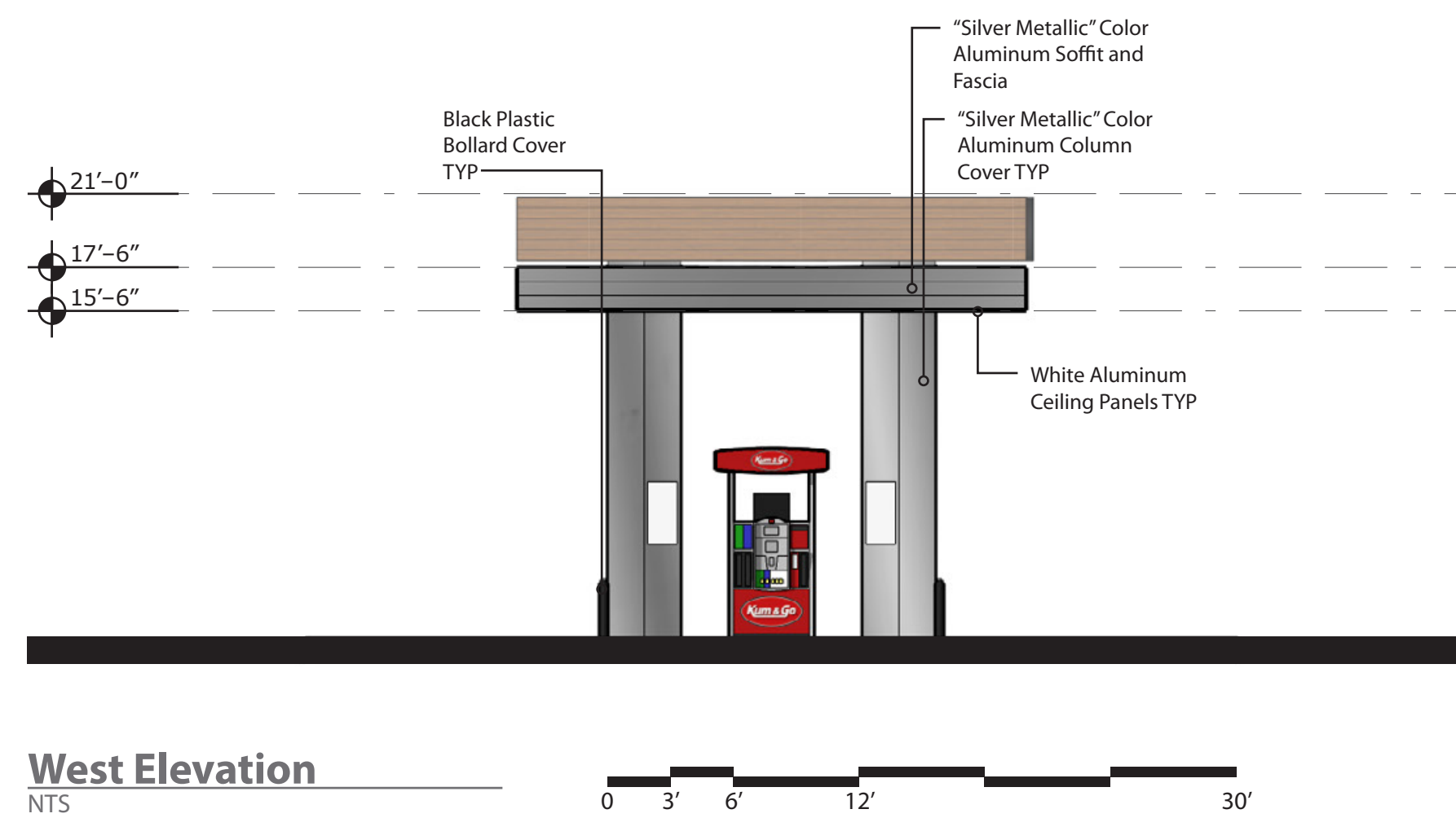
Location	Sign	Size	Area
South Elevation	"Kum & Go" Sign	3' x 6'	14 SF
North Elevation	No Signage	---	0 SF
West Elevation	No Signage	---	0 SF
East Elevation	No Signage	---	0 SF
<b>Total</b>			<b>14 SF</b>



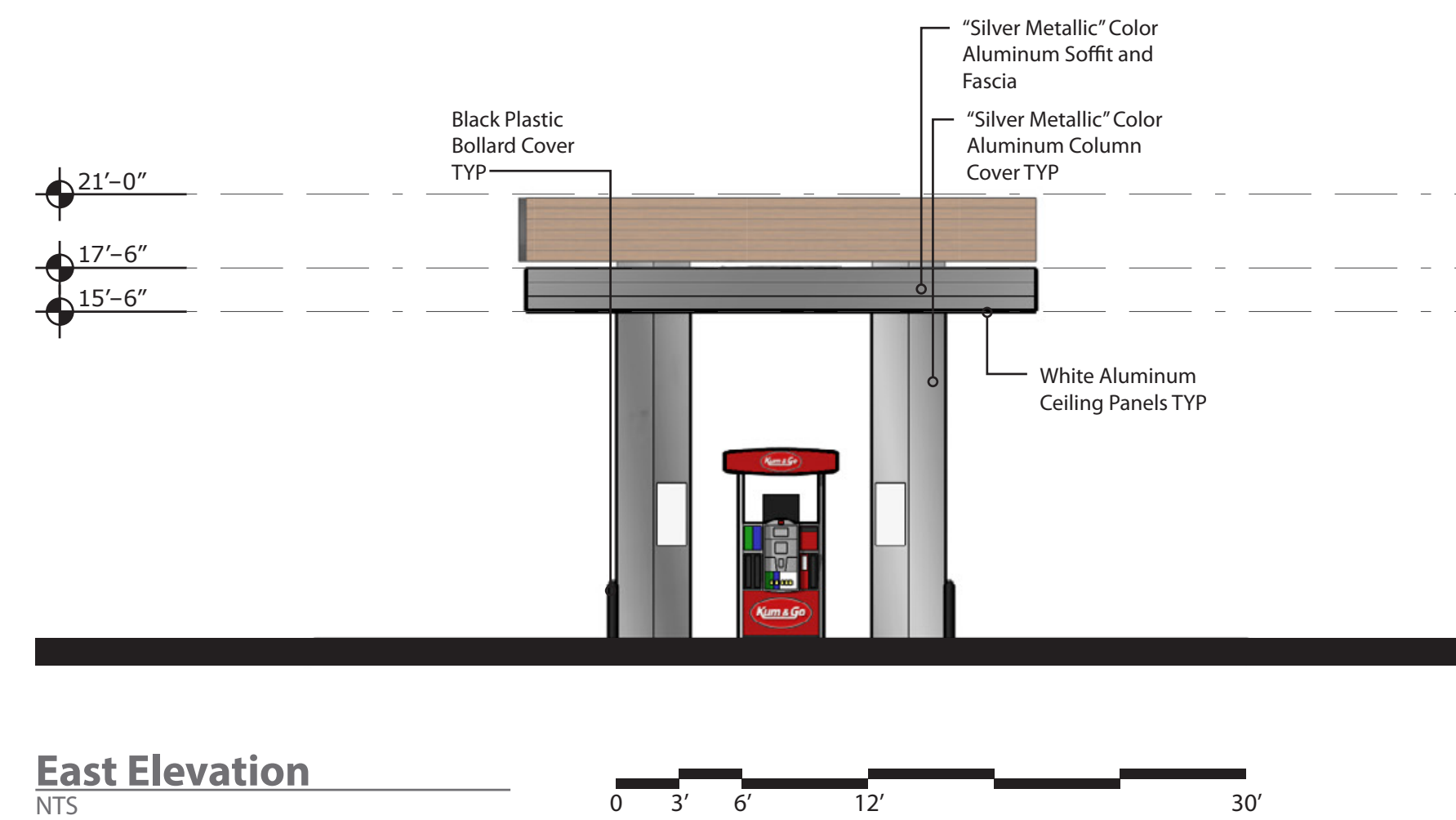
**South Elevation**  
NTS



**North Elevation**  
NTS



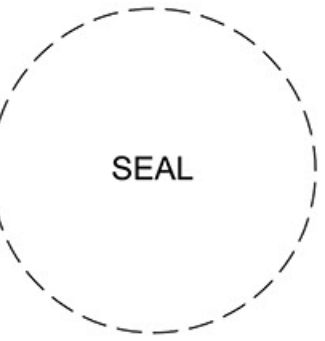
**West Elevation**  
NTS



**East Elevation**  
NTS

**brr**

ARCHITECT OF RECORD:  
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50309  
P:515-457-6247

#0198 - CUMMING, IOWA  
I-35 & CUMMING AVENUE  
CANOPY ELEVATIONS

KG PROJECT TEAM:  
RDM:  
SDM:  
CPM:

REVISION DESCRIPTION	DATE

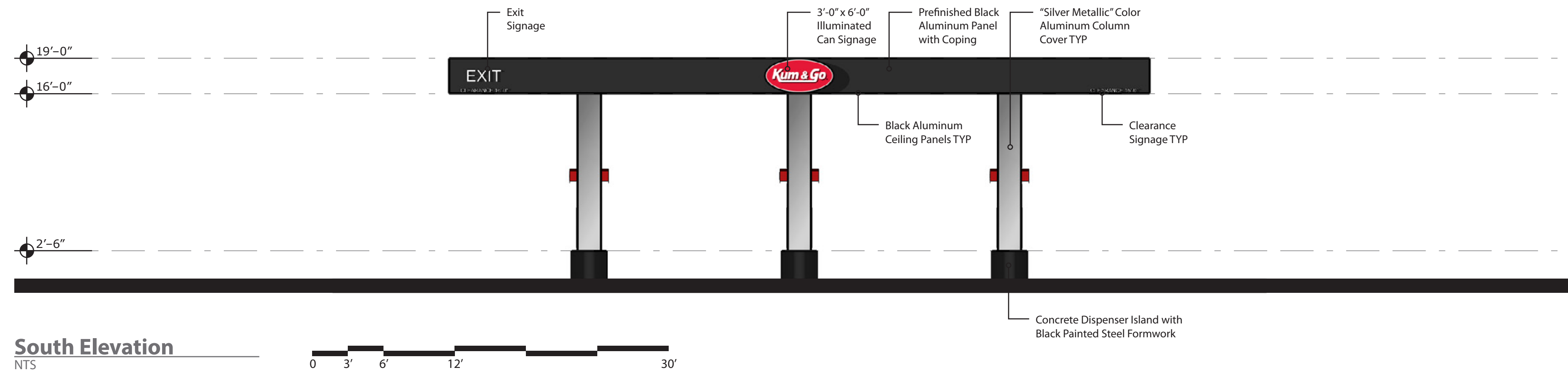
DATE: 10/09/2020

SHEET NUMBER:

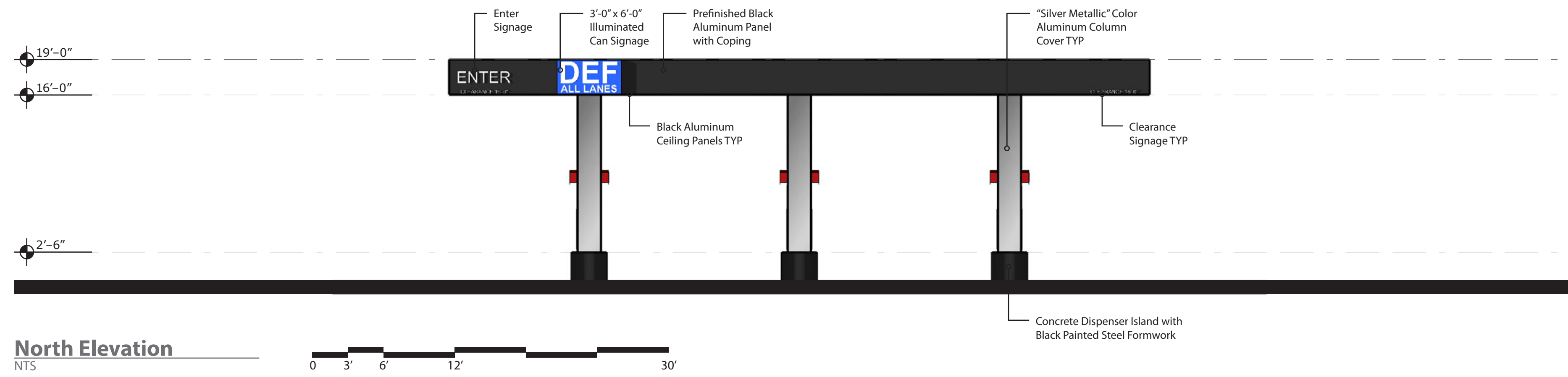
REVISIONS

**Proposed Canopy Signage**

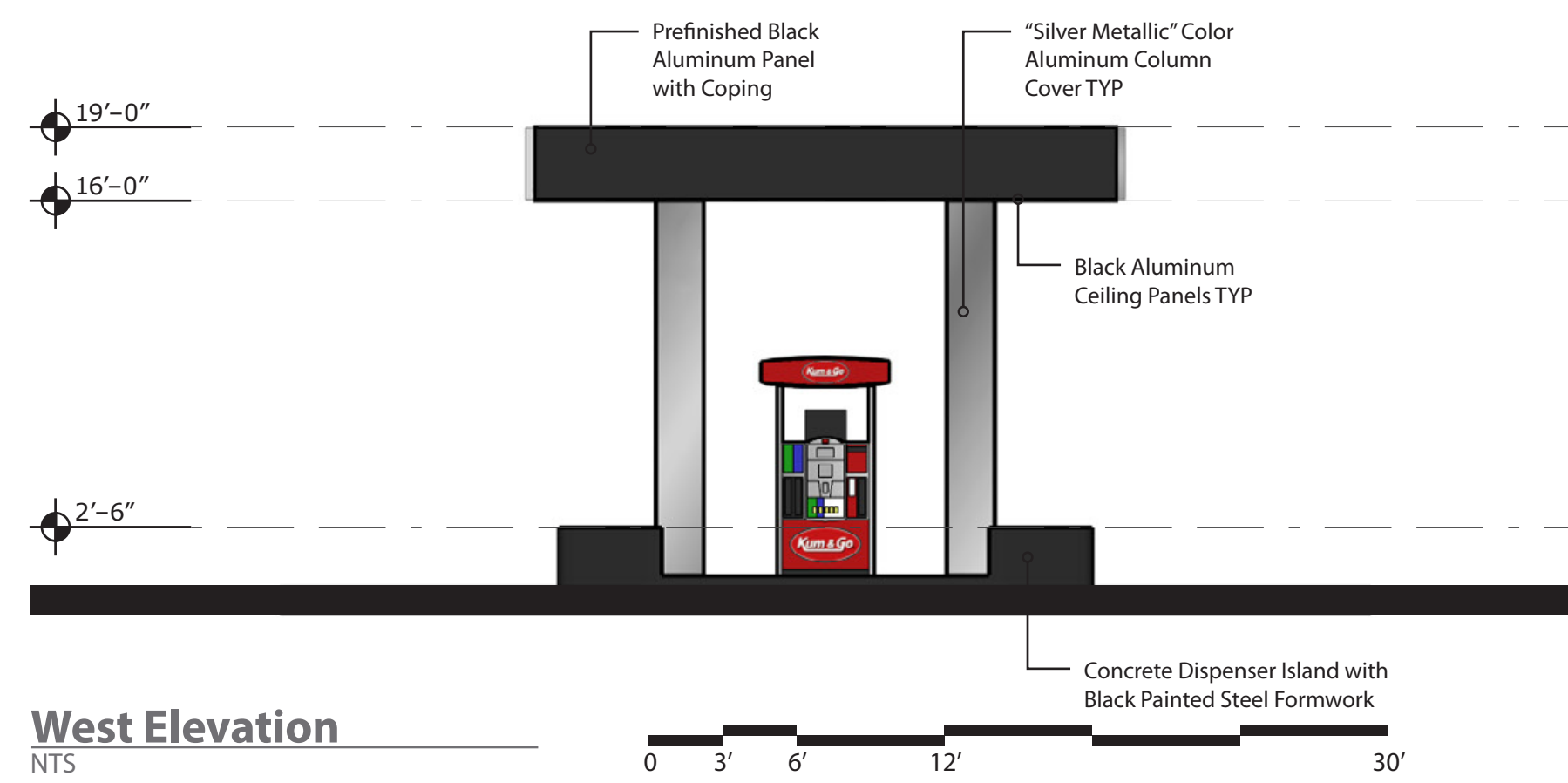
Location	Sign	Size	Area
South Elevation	"Kum & Go" Sign	3'x 6'	18 SF
North Elevation	"DEF" Sign	3'x 6'	18 SF
West Elevation	No Signage	---	0 SF
East Elevation	No Signage	---	0 SF
Total			36 SF



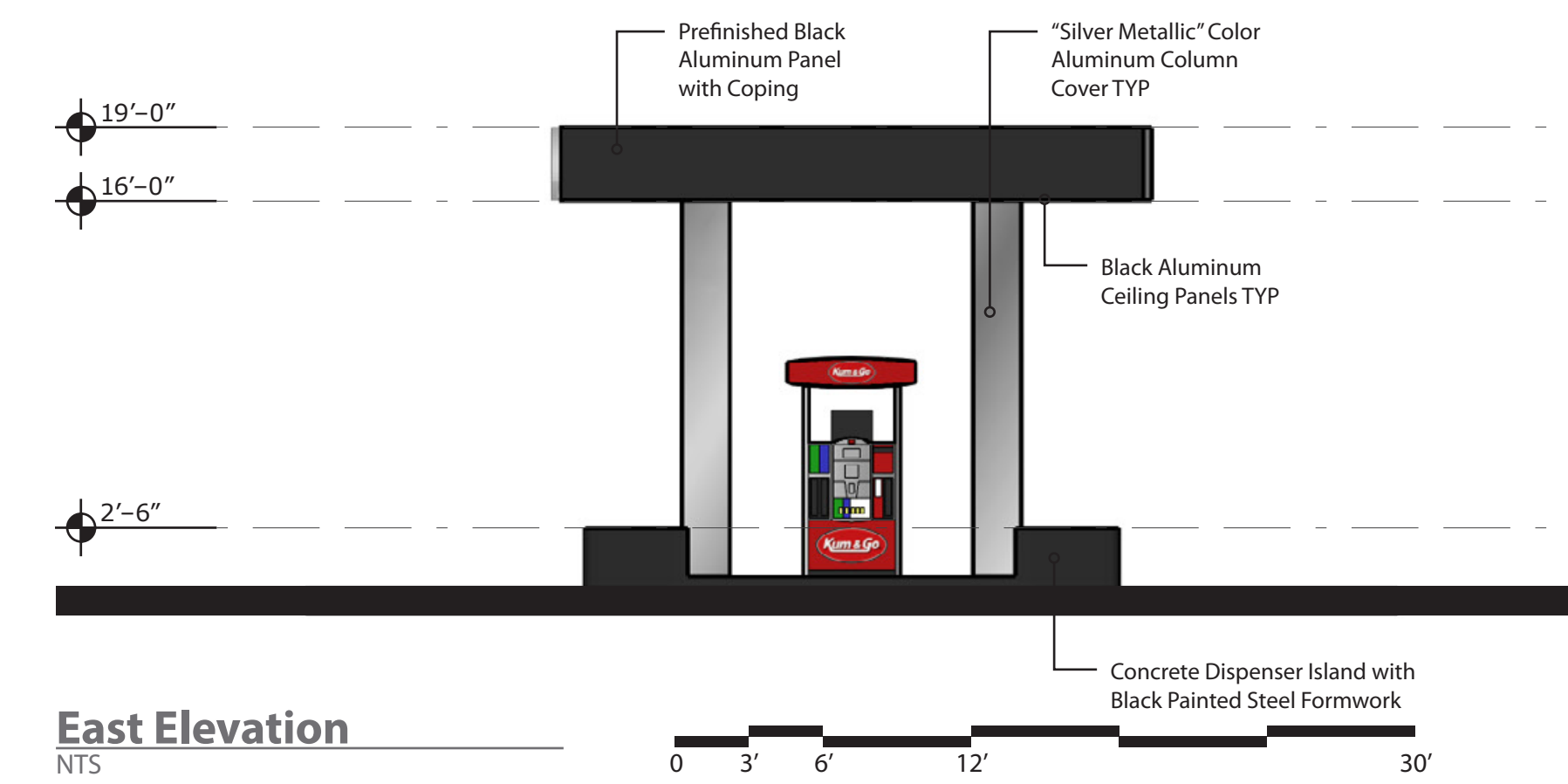
**South Elevation**  
NTS



**North Elevation**  
NTS



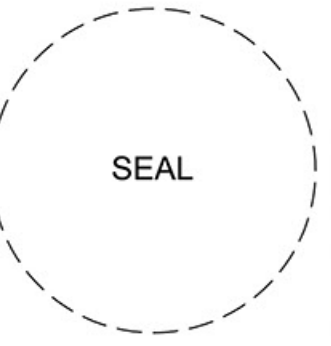
**West Elevation**  
NTS



**East Elevation**  
NTS

**brr**

ARCHITECT OF RECORD:  
BRR ARCHITECTURE, INC  
813 METCALF AVENUE  
SUITE 300  
OVERLAND PARK, KS 66204  
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TEL: 913-262-9055  
FAX: 913-262-9044



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Des Moines, Iowa  
50309  
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#0198 - CUMMING, IOWA  
I-35 & CUMMING AVENUE  
DIESEL CANOPY ELEVATIONS

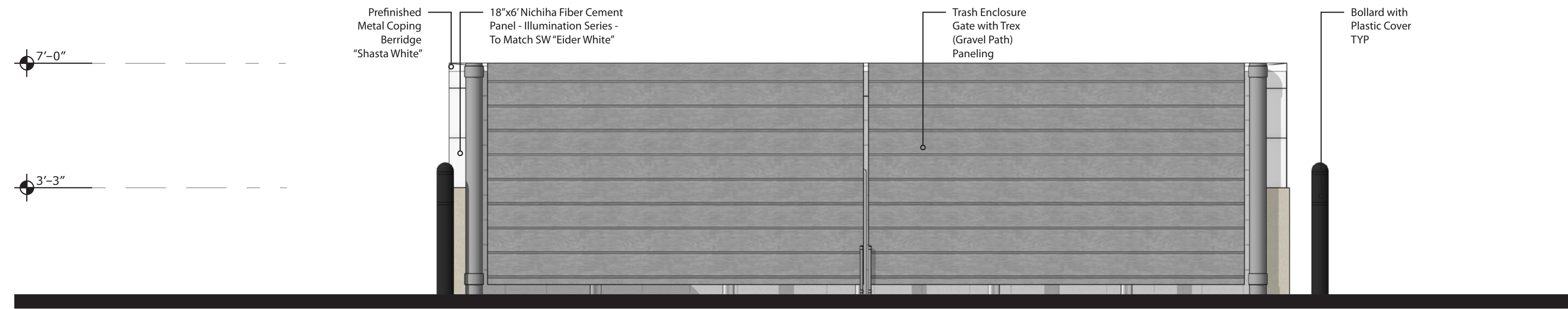
KG PROJECT TEAM:  
RDM:  
SDM:  
CPM:

REVISION DESCRIPTION	DATE

DATE: 10/09/2020

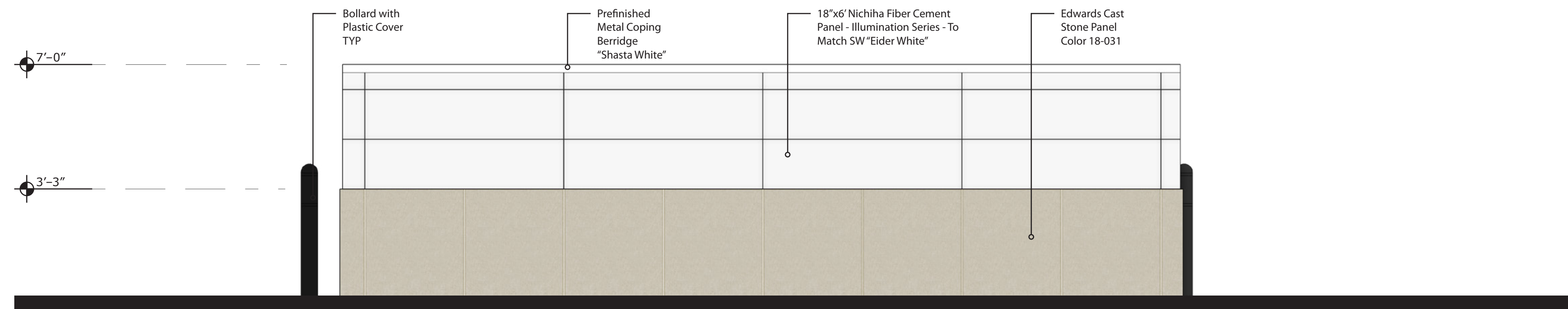
SHEET NUMBER:

REVISIONS



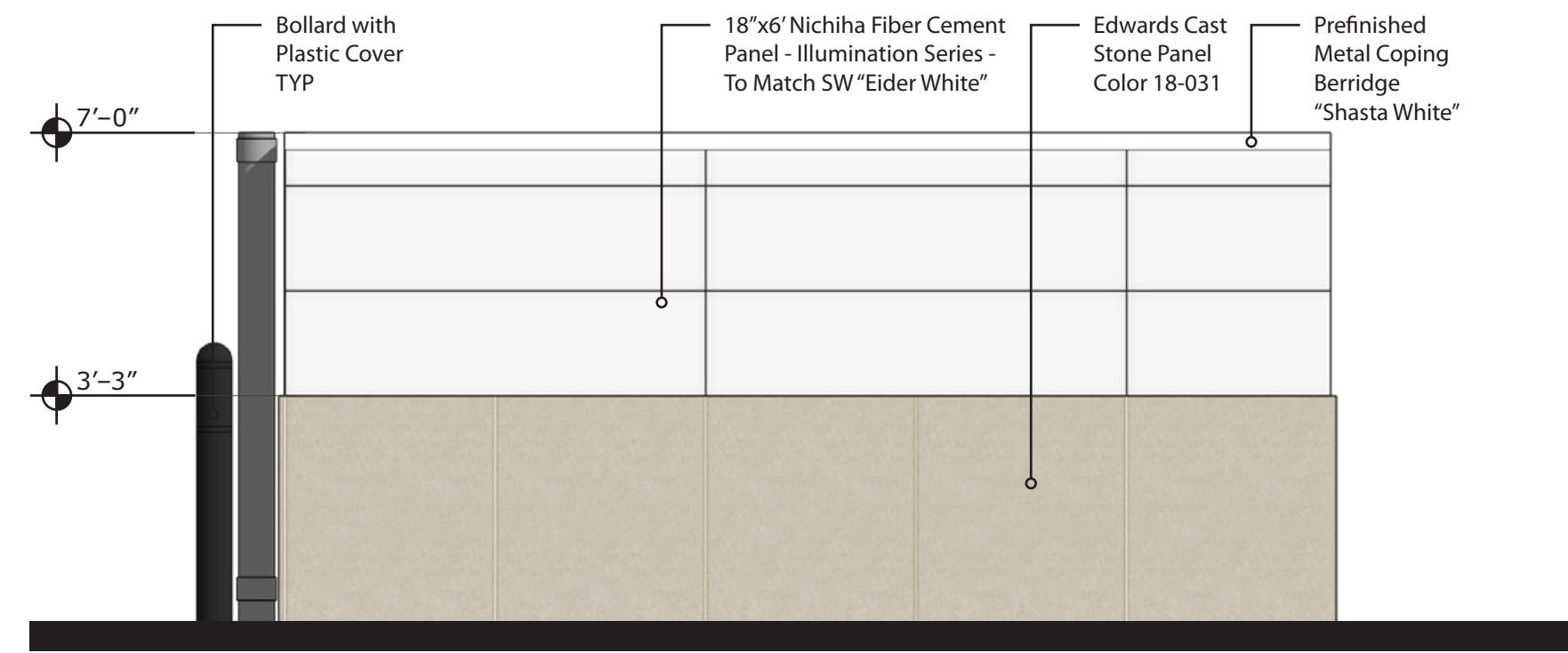
**North Elevation**

NTS



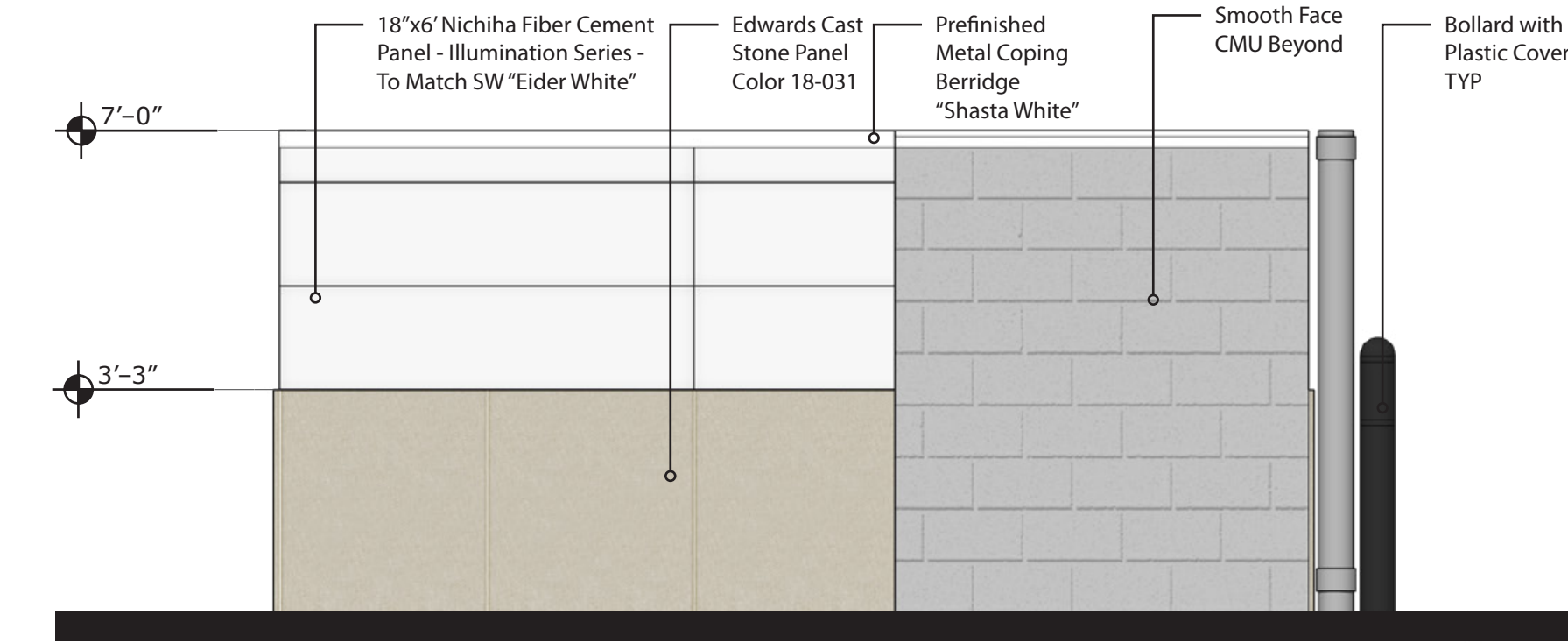
**South Elevation**

NTS



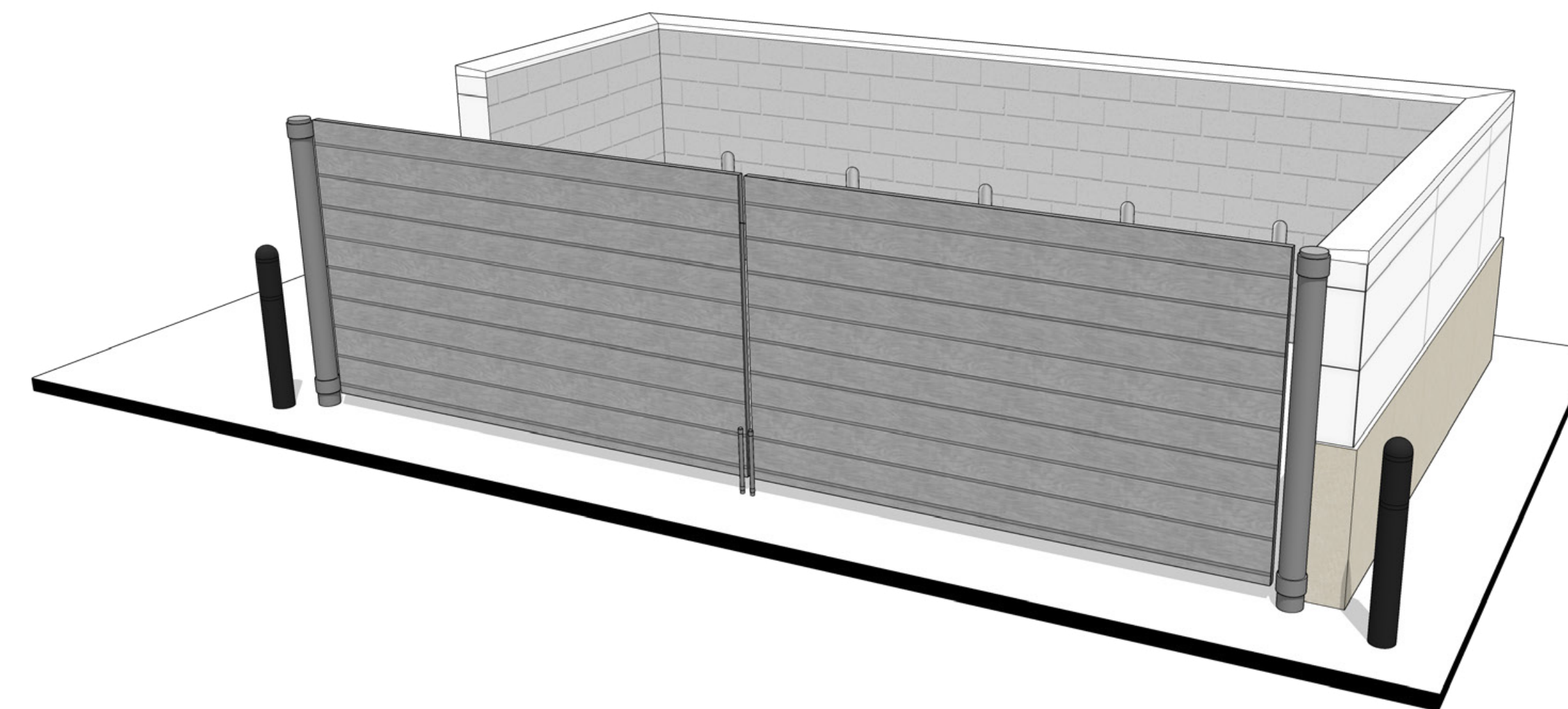
**West Elevation**

NTS



**East Elevation**

NTS

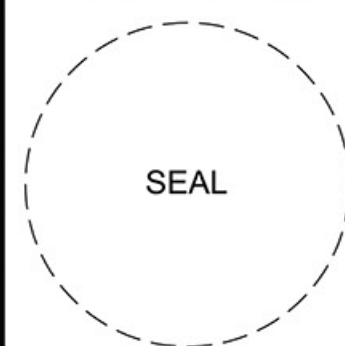


**Perspective**

NTS



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 BRR ARCHITECTURE, INC  
 813 METCALF AVENUE  
 SUITE 300  
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 50309  
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#0198 - CUMMING, IOWA  
 I-35 & CUMMING AVENUE  
 TRASH ENCLOSURE ELEVATIONS

KG PROJECT TEAM:  
 RDM:  
 SDM:  
 CPM:

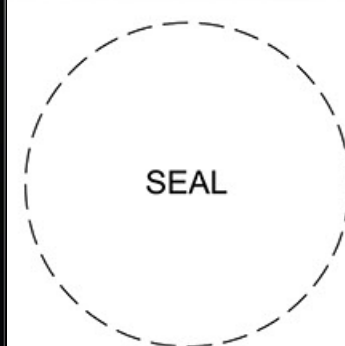
REVISION DESCRIPTION	DATE

DATE: 10/09/2020

SHEET NUMBER:



ARCHITECT OF RECORD:  
 BRR ARCHITECTURE, INC  
 813 METCALF AVENUE  
 SUITE 300  
 OVERLAND PARK, KS 66204  
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 50309  
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#0198 - CUMMING, IOWA  
 I-35 & CUMMING AVENUE  
 FLOOR PLAN

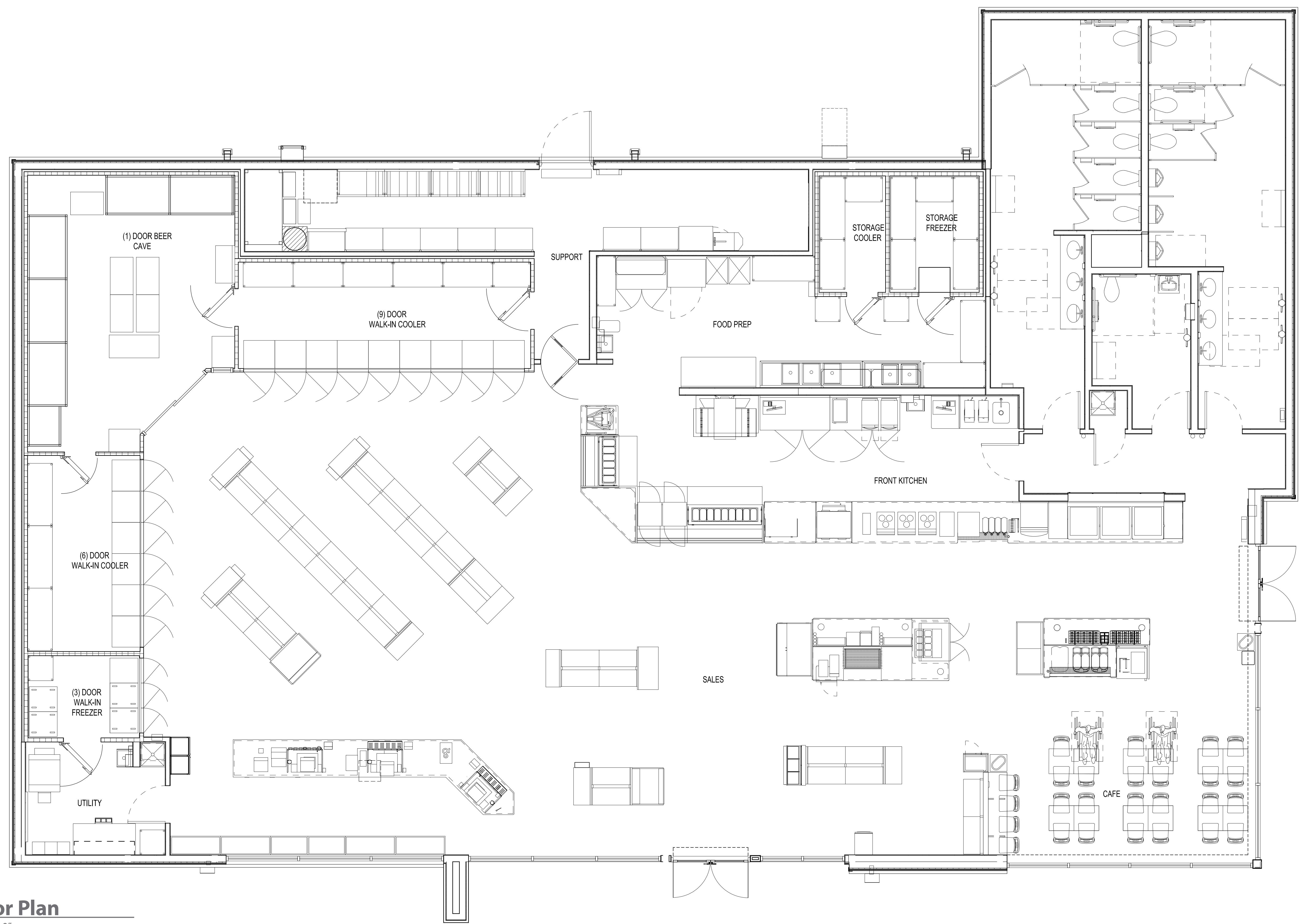
KG PROJECT TEAM:  
 RDM:  
 SDM:  
 CPM:

DATE	REVISION DESCRIPTION

DATE: 10/09/2020

SHEET NUMBER:

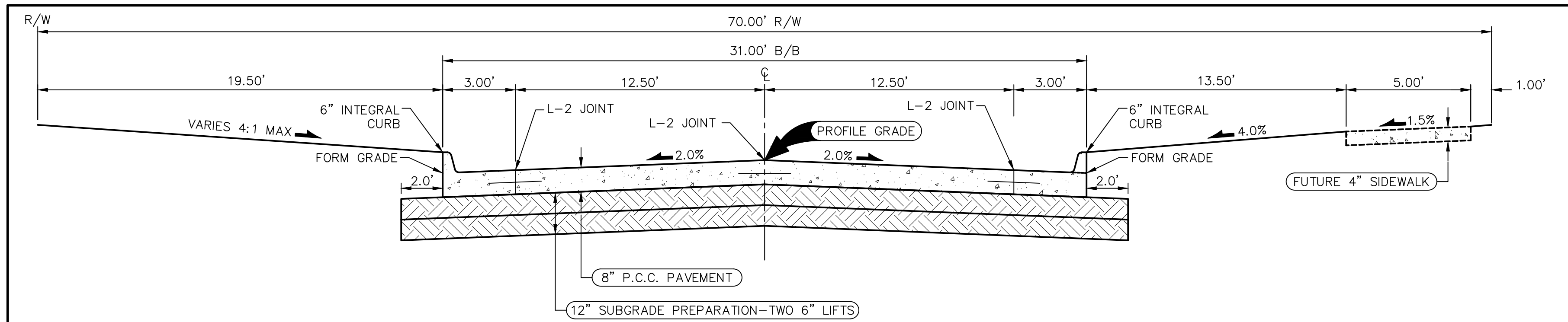
REVISIONS



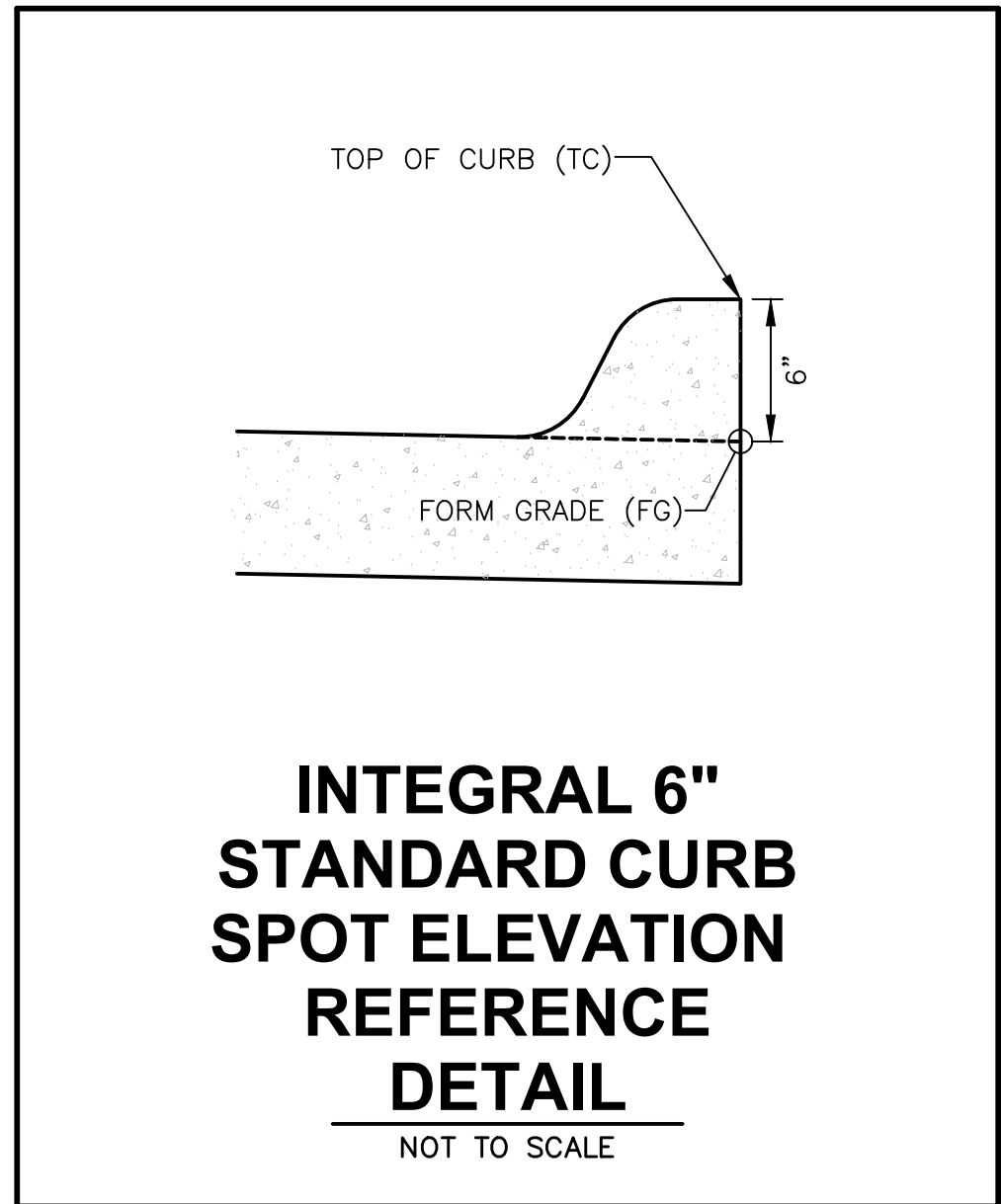
**Floor Plan**  
 1/4" = 1'-0"



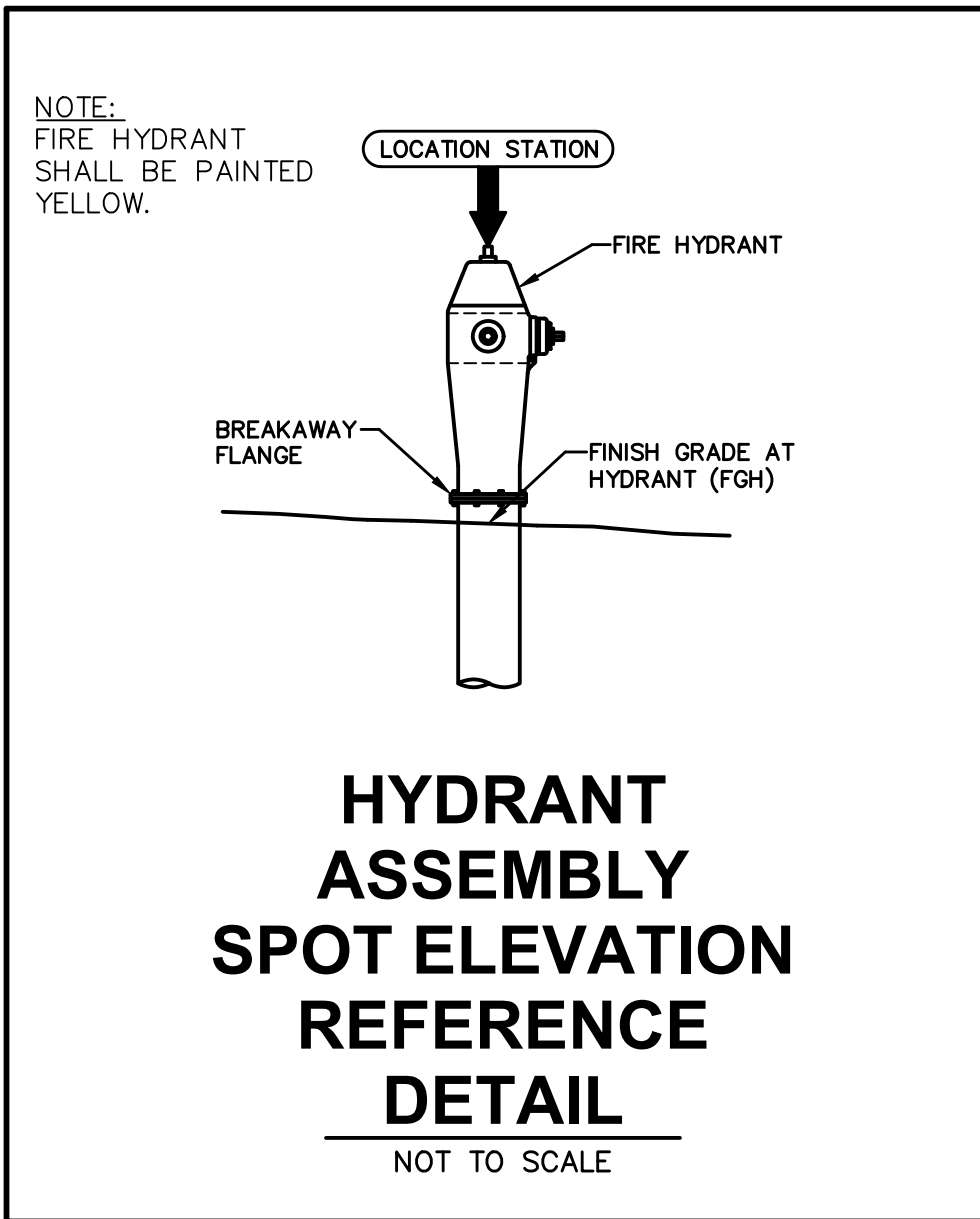




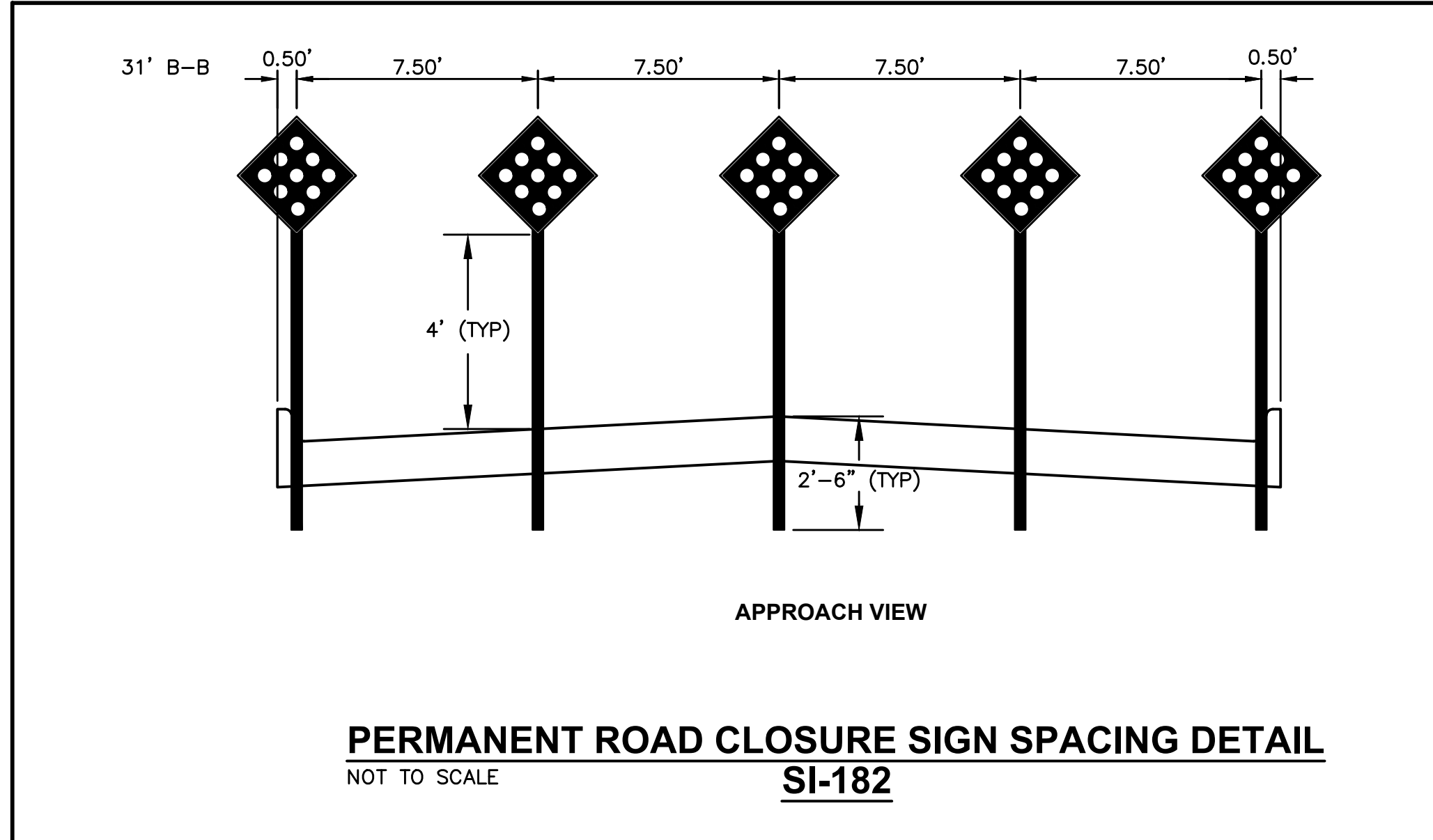
**TYPICAL SECTION - 31' B/B P.C.C. ROADWAY WITH 70' ROW**  
 NOT TO SCALE (STA 2+48.14 TO STA 4+23.07)



**INTEGRAL 6\"/>**



**HYDRANT ASSEMBLY SPOT ELEVATION REFERENCE DETAIL**  
 NOT TO SCALE

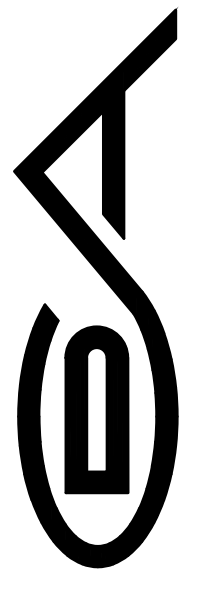


**PERMANENT ROAD CLOSURE SIGN SPACING DETAIL**  
 NOT TO SCALE  
**SI-182**

PAVEMENT MARKING SYMBOLS AND LEGENDS						
Refer to PM-111						
Road Identification	Location		CSTW	RTAW	LTAW	Remarks
	Station	Side				
PUBLIC ROAD	1+06.00	R		1	1	
PUBLIC ROAD	1+56.00	R		1	1	

PAVEMENT MARKING LINE TYPES																				
This Data Entry Sheet fills Tab 108-22 effective 04-16-13																				
Location				Length by Line Type (Unfactored)																Remarks
Road ID	Station to Station	Length (STA)	Dir. of Travel	Marking Type	Side	BLW4	DCY4	SLW4	SLW2	CLW6	DLW4	NPY4**	STA	STA	STA	STA	STA	STA	STA	
PUBLIC ROAD	+95.71	1+65.73	0.70	SB	Durable Paint															
PUBLIC ROAD	+95.71	2+07.66	1.12	BOTH	Durable Paint	X														
Factored Total: Durable Paint																				
0 Bid Quantity: Painted Pavement Markings, Durable																				

FILE: \\A:\2020\202020\0198\0198\_PAVEMENT MARKINGS.dwg  
 FILE DATE: 10/29/2020 9:29 AM  
 COMMENT: DATE PLOTTED: 10/29/2020 9:29 AM  
 PLOTTED BY: DAN SOTO  
 TECH:

  
**CIVIL DESIGN ADVANTAGE**  
 3405 SE CROSSROADS DR. SUITE G, GRAMMERS, IOWA 50111  
 PH: (515) 369-4400 Fax: (515) 369-4410  
 PROJECT NO. 2005-259



1459 GRAND AVENUE  
 Des Moines, Iowa 50309  
 P: 515-226-0128  
 F: 515-223-9873

**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**TYPICAL SECTIONS AND DETAILS**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

REVISION DESCRIPTION	DATE

DATE: 10-29-2020

SHEET NUMBER:  
**2 OF 10**

**ESTIMATED PROJECT QUANTITIES**

ITEM NO.	ITEM DESCRIPTION	UNIT	QUANTITY
1	CLEARING AND GRUBBING	LS	1
2	TOPSOIL STRIP, SALVAGE AND SPREAD	LS	1
3	EXCAVATION	SY	3,011
4	SUBGRADE PREPARATION	SY	3,011
5	SANITARY SEWER GRAVITY MAIN, TRENCHED, PVC, 8 IN. DIA.	LF	211
6	SANITARY SEWER SERVICE STUB, PVC 4 IN. DIA.	EA	1
7	STORM SEWER, TRENCHED, RCP, 15 IN. DIA.	LF	61
8	STORM SEWER, TRENCHED, RCP, 18 IN. DIA.	LF	242
9	STORM SEWER, TRENCHED, RCP, 24 IN. DIA.	LF	176
10	STORM SEWER, 24 IN. RCP APRON WITH APRON GUARD	EA	1
11	WATER MAIN, TRENCHED, PVC, 8 IN. DIA.	LF	387
12	VALVE 8 IN. DIA.	EA	2
13	TAPPING SLEEVE AND VALVE	EA	1
14	FIRE HYDRANT ASSEMBLY	EA	1
15	BLOWOFF HYDRANT	EA	1
16	SANITARY MANHOLE, TYPE SW-301, 48 IN. DIA	EA	1
17	STORM INTAKE, TYPE SW-505	EA	3
18	STORM INTAKE, TYPE SW-506	EA	3
19	PAVEMENT P.C.C. 8 IN.	SY	1,497
20	SIDEWALK, P.C.C. 4 IN	SF	248
21	DETECTABLE WARNING PANELS	SF	16
22	PAVEMENT HMA REMOVAL	SY	176
23	GRAVEL SURFACE REMOVAL	SY	67
24	FENCE REMOVAL	LF	70
25	PERMANENT ROAD CLOSURE URBAN SI-182	EA	1
26	PAINTED PAVEMENT MARKINGS, WATERBORNE	STA	2.94
27	PAINTED PAVEMENT SYMBOLS, WATERBORNE	EA	4

**ESTIMATE REFERENCE INFORMATION**

DATA LISTED BELOW IS FOR INFORMATIONAL PURPOSE ONLY AND SHALL NOT CONSTITUTE A BASIS FOR ANY EXTRA WORK ORDERS.

ITEM NO.	DESCRIPTION
	THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE CITY OF CUMMING SUPPLEMENTAL SPECIFICATIONS, AND THE CUMMING WATER UTILITY SPECIFICATIONS SHALL APPLY TO ALL WORK ON THIS PROJECT EXCEPT AS MODIFIED HEREIN. ALL REFERENCES TO SECTIONS AND FIGURES ARE TO THE 2020 SUDAS SPECIFICATIONS.
	ALL REFERENCES TO SECTIONS AND FIGURES ARE TO THE 2020 SUDAS STANDARD SPECIFICATIONS AND CITY OF CUMMING WATER UTILITY STANDARD SPECIFICATIONS.
1	CLEAR AND GRUB ALL AREAS AFFECTED BY GRADING OPERATIONS. THE CONTRACTOR SHALL FIELD VERIFY CLEARING AND GRUBBING NEEDS PRIOR TO BIDDING. INCLUDES REMOVAL OF HOUSES, BUILDINGS, APPURTENANCES, TREES AND UTILITIES INCLUDING WELL ABANDONMENTS ASSOCIATED WITH SAID HOUSES. REMOVAL OF ALL FENCES AND TREES INCLUDED IN THIS BID ITEM. ALL MATERIAL THAT IS REMOVED FROM THE PROJECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
2	STRIP, SALVAGE AND SPREAD THE TOP 6 INCHES OF SOIL IN ALL DISTURBED AREAS. RESPREAD TOPSOIL IN PLAT 1 AREA. STOCKPILE TOPSOIL FOR RESPREAD IN FUTURE PLAT 2. THE TOP 6 INCHES OF SOIL TO BE RESPREAD SHALL BE FREE OF ROCK AND DEBRIS AND BE SUITABLE FOR THE GROWTH OF GRASS.
3	EXCAVATION INCLUDES ALL WORK NECESSARY TO ACHIEVE PROPER GRADES AS SHOWN IN PLANS. NO PAYMENT FOR OVERHAUL SHALL BE ALLOWED. SHRINKAGE WAS ASSUMED TO BE 30%.
4	REFER TO SHEET 2 FOR TYPICAL LOCATIONS AND THICKNESS. COMPACT THE TOP 12 INCHES OF SUBGRADE TO NOT LESS THAN 95% MAXIMUM STANDARD PROCTOR DRY DENSITY WITH A MOISTURE CONTENT AS SPECIFIED IN THE GEOTECHNICAL REPORT. SUBGRADE TO BE PREPARED IN 2 - 6 INCH LIFTS.
5-6	REFER TO FIG. 3010.101 - TRENCH BEDDING AND BACKFILL ZONES AND FIG. 3010.103 - FLEXIBLE GRAVITY PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL. SANITARY SEWER SHALL BE SOLID WALL PVC OR PVC TRUSS PIPE. TELEVISION SANITARY SEWER PRIOR TO PAVING AND PROVIDE TELEVISION REPORT TO CITY IN HARD COPY AND DISC FORMAT. TELEVISION SHALL BE CONSIDERED INCIDENTAL. CONNECTION TO EXISTING SANITARY SEWER SHALL BE CONSIDERED INCIDENTAL. CERTIFICATION FROM A GEOTECHNICAL ENGINEER RELATED TO SETTLEMENT OF THE TRENCHES SHALL BE REQUIRED BEFORE PAVING.
7-10	REFER TO FIG. 3010.101 - TRENCH BEDDING AND BACKFILL ZONES, FIG. 3010.102 - RIGID GRAVITY PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS, FIG. 3010.103 - FLEXIBLE GRAVITY PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL. PIPE LENGTH INCLUDES PIPE APRON. TELEVISION STORM SEWER PRIOR TO PAVING AND PROVIDE TELEVISION REPORT TO CITY IN HARD COPY AND DISC FORMAT. TELEVISION SHALL BE CONSIDERED INCIDENTAL.
	WHERE THE STORM SEWER CROSSES OVER THE WATER MAIN LOCATE ONE FULL LENGTH OF REINFORCED CONCRETE PIPE (RCP) WITH FLEXIBLE O-RING GASKET JOINTS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN.
11-15	REFER TO FIG. 3010.101 - TRENCH BEDDING AND BACKFILL ZONES AND FIG. 3010.104 - PRESSURE PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL GRANULAR PIPE BEDDING MATERIAL SHALL BE CONSIDERED INCIDENTAL. REFER TO FIG. 5010.101 FOR THRUST BLOCK DETAILS. REFER TO FIG. 5010.102 FOR TRACER WIRE DETAILS. CONNECTIONS TO EXISTING WATER MAIN, ALL FITTINGS, PIPE BEDDING MATERIAL, POLYETHYLENE ENCASEMENT, THRUST BLOCKS AND TRACER WIRE SYSTEM SHALL BE CONSIDERED INCIDENTAL. ALL WATER MAIN SHALL BE INSTALLED A MINIMUM OF 5.5 FEET BELOW FINISHED GRADE.
11	INCLUDES VALVE, VALVE BOX AND COVER, VALVE BOX EXTENSION, AND VALVE STEM EXTENSION.
14-15	REFER TO FIG. 5020.201 - FIRE HYDRANT ASSEMBLY FOR FIRE HYDRANT CONSTRUCTION DETAILS. INCLUDES ANCHORING TEE, ANCHORING ELBOW, GATE VALVE, VALVE BOX, ANCHORING PIPE, ANCHORING COUPLING, ELBOWS, TRACER WIRE STATION, FIRE HYDRANT AND THRUST BLOCKS.
16	REFER TO FIG. 6010.301 - CIRCULAR SANITARY SEWER MANHOLE (SW-301) FOR CONSTRUCTION DETAILS. REFER TO FIG. 6010.601 - CASTINGS FOR SANITARY SEWER MANHOLES FOR CASTING DETAILS. TYPE B CASTINGS REQUIRED FOR ALL MANHOLES IN PAVEMENT. THE MAXIMUM HEIGHT OF ADJUSTING RINGS ALLOWED FOR MANHOLE CASTINGS IS 12 IN. ROTATE STRUCTURE CONES AWAY FROM FUTURE SIDEWALKS.
17	REFER TO FIG. 6010.505 - DOUBLE GRATE INTAKE (SW-505) FOR CONSTRUCTION DETAILS. REFER TO FIG. 6010.602 - CASTINGS FOR STORM SEWER MANHOLES FOR CASTING DETAILS. TYPE F CASTINGS REQUIRED FOR ALL MANHOLES IN PAVEMENT. THE MAXIMUM HEIGHT OF ADJUSTING RINGS ALLOWED FOR MANHOLE CASTINGS IS 12 INCHES. ROTATE STRUCTURE CONES AWAY FROM FUTURE SIDEWALKS.
18	REFER TO FIG. 6010.50 - DOUBLE GRATE INTAKE WITH MANHOLE (SW-506) FOR CONSTRUCTION DETAILS. REFER TO FIG. 6010.602 - CASTINGS FOR STORM SEWER MANHOLES FOR CASTING DETAILS. TYPE F CASTINGS REQUIRED FOR ALL MANHOLES IN PAVEMENT. THE MAXIMUM HEIGHT OF ADJUSTING RINGS ALLOWED FOR MANHOLE CASTINGS IS 12 INCHES. ROTATE STRUCTURE CONES AWAY FROM FUTURE SIDEWALKS.
19	REFER TO FIG. 7030.101 - JOINTS FOR CONSTRUCTION. REFER TO INTERSECTION SHEET FOR JOINTING AND GEOMETRIC PLAN DETAILS. TYPICAL 'CD' JOINT SPACING IS 15 FEET. COARSE AGGREGATE FOR PCC PAVEMENT SHALL BE CLASS 3 DURABILITY.
20	REFER TO FIG. 7030.210 FOR GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK AND FIG. 7030.207 - CURB RAMPS FOR CLASS B OR C SIDEWALK FOR CONSTRUCTION DETAILS. REFER TO INTERSECTION DETAILSS FOR SIDEWALK GRADES, SIDEWALK SLOPES SHALL NOT EXCEED A CROSS SLOPE OF 1.5%. DETECTABLE WARNING PANELS TO BE ARMOR TILE ADA SOLUTIONS OR APPROVED EQUAL, RED IN COLOR ACCESSIBLE RAMPS SHALL BE 6" THICK P.C.C. AND CROSS SLOPES SHALL NOT EXCEED 1.5%.
22-24	INCLUDES ALL MATERIALS, EQUIPMENT AND LABOR TO PERFORM REMOVALS. ALL REMOVALS SHALL BECOME PROPERTY OF THE CONTRACTOR.
25	REFER TO IOWA DEPARTMENT OF TRANSPORTATION STANDARD ROAD PLAN DRAWING S-182 AND DETAIL ON SHEET 2 FOR CONSTRUCTION DETAILS. SIGNS SHALL BE BLACK DIAMOND WITH RED DOTS.
26-27	REFER TO IDOT STD. RD. PLAN PM-110 - LINE TYPES, TABULATIONS 108-22 AND 108-29 ON SHEET 2 AND SHEETS 6-7 FOR LOCATIONS. INCLUDES ALL MATERIAL, LABOR AND EQUIPMENT, CLEANING AND PREPARING THE PAVEMENT SURFACE, GROOVE MARKINGS AND SYMBOLS INTO SURFACE, AND APPLICATION OF PAVEMENT MARKINGS AND SYMBOLS IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.

**GENERAL NOTES**

- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING:  
A. CITY OF CUMMING  
B. APPROPRIATE UTILITY COMPANIES  
C. OWNER  
D. CIVIL DESIGN ADVANTAGE
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN ALL SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT. INCLUDING STAGING OF CONSTRUCTION DETAILS.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- THE CONTRACTOR MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR THE CITY, TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY.
- SPECIAL CARE SHALL BE TAKEN WHEN FORMING AT INTERSECTIONS SO THE PROFILES SHOWN ON THE PLANS AND THE ELEVATIONS SHOWN ON THE INTERSECTION DETAILS ARE OBTAINED. SHORT LENGTHS OF FORMS OR FLEXIBLE FORMS MAY BE NECESSARY AT THESE LOCATIONS.
- TO OBTAIN THE CORRECT FORM GRADES AT LOW POINTS WHERE INTAKES ARE LOCATED, THE CONTRACTOR MUST EXERCISE ADDITIONAL CARE WHEN PAVING FULL WIDTH PAVEMENTS. THIS MAY REQUIRE POURING ONE HALF OF THE PAVEMENT AT A TIME OR OTHER METHODS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE PROPOSED AND EXISTING RIGHT OF WAY, CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS.
- PLAN AND PROFILE SHEETS INCLUDED IN THE PROJECT ARE FOR THE PURPOSE OF ALIGNMENT, LOCATION AND SPECIFIC DIRECTIONS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT. IRRELEVANT DATA ON THESE SHEETS IS NOT TO BE CONSIDERED A PART OF THIS CONTRACT.
- CIVIL DESIGN ADVANTAGE WILL PROVIDE ALL CONSTRUCTION STAKING ON THIS PROJECT. NOTIFY MIKE BROONER (369-4400) A MINIMUM OF 48 HOURS BEFORE CONSTRUCTION STAKES ARE REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES REQUIRED ON THE STORM WATER POLLUTION PREVENTION PLAN.
- IN THE EVENT OF A DISCREPANCY BETWEEN DETAILED PLANS AND QUANTITIES, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL. ALL TRAFFIC CONTROL SHALL COMPLY WITH MUTCD AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO ENGINEER FOR NOTATION ON AS-BUILTS INCLUDING LOCATION, TYPE OF TILE, & TILE ELEVATION.
- PRIOR TO ANY WORK AT THIS SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- CONTRACTOR SHALL COMPLY WITH ALL PROWAG A.D.A. REQUIREMENTS FOR ACCESSIBLE SIDEWALK RAMPS INCLUDING RAISED TRUNCATED DOME DETECTABLE WARNINGS.
- CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- ALL MATERIAL TESTING SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION.
- ALL MANHOLE THREE PIECE CASTINGS SHALL BE BOXED OUT IN THE PAVEMENT.
- THE GRADING OF THE DETENTION FACILITY AND INSTALLATION OF THE STORM SEWER SYSTEM SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN THE SIZE OF IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.
- BENDS SHOULD BE INSTALLED AS NEEDED THROUGHOUT THE PLAN.
- WATER MAIN INSTALLATION SHALL COMPLY WITH THE CITY OF CUMMING WATER UTILITY STANDARD SPECIFICATIONS.



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P: 515-226-0128  
F: 515-223-9873

0198 - CUMMING, IOWA  
I-35 & CUMMING AVENUE  
QUANTITIES, NOTES AND  
REFERENCE NOTES

KG PROJECT TEAM:  
RDR:  
SDM:  
CPM:

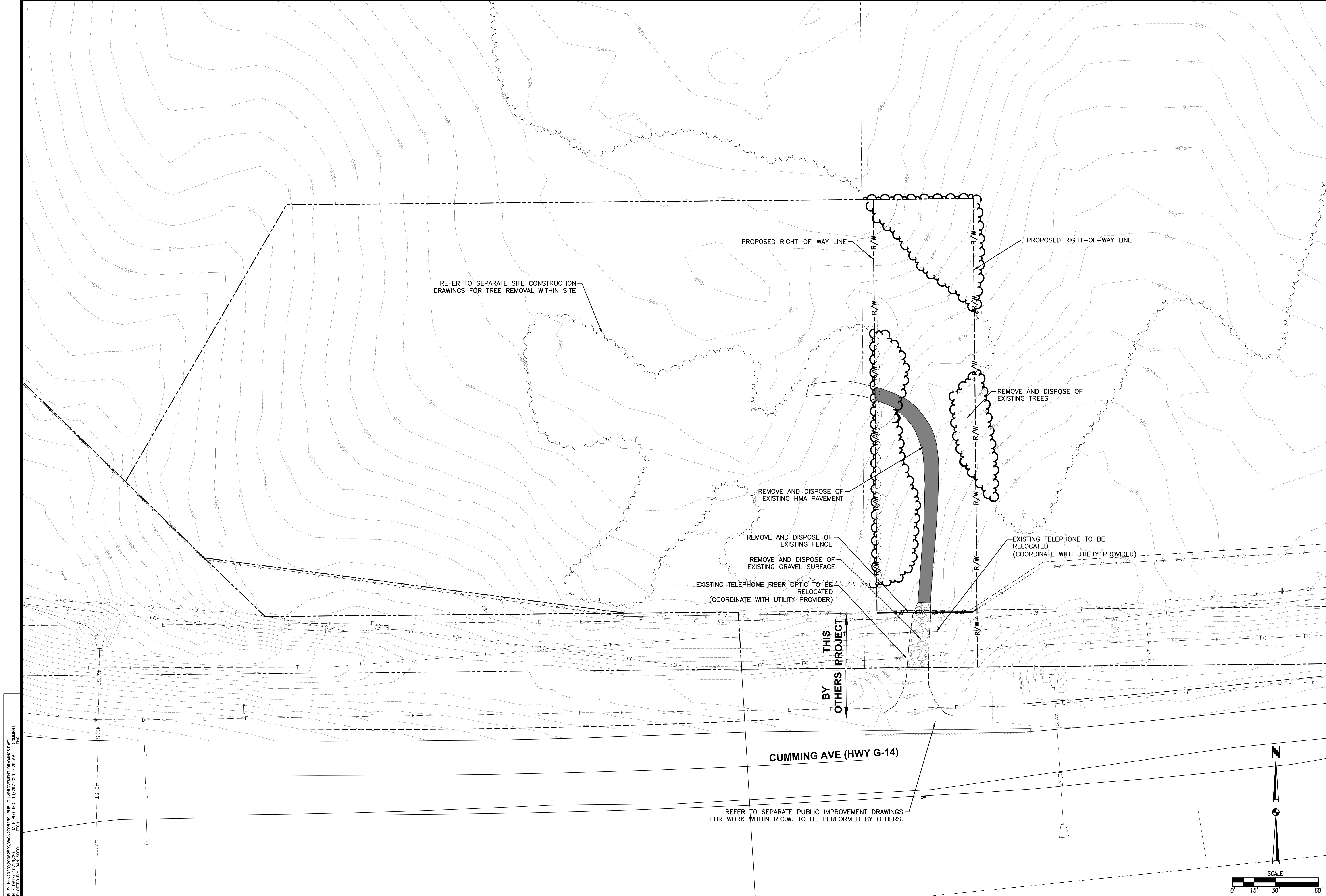
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DATE: 10-29-2020

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COMMENTS:  
TECH: DAN SOTO



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**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**TOPOGRAPHIC SURVEY AND**  
**DEMOLITION PLAN**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

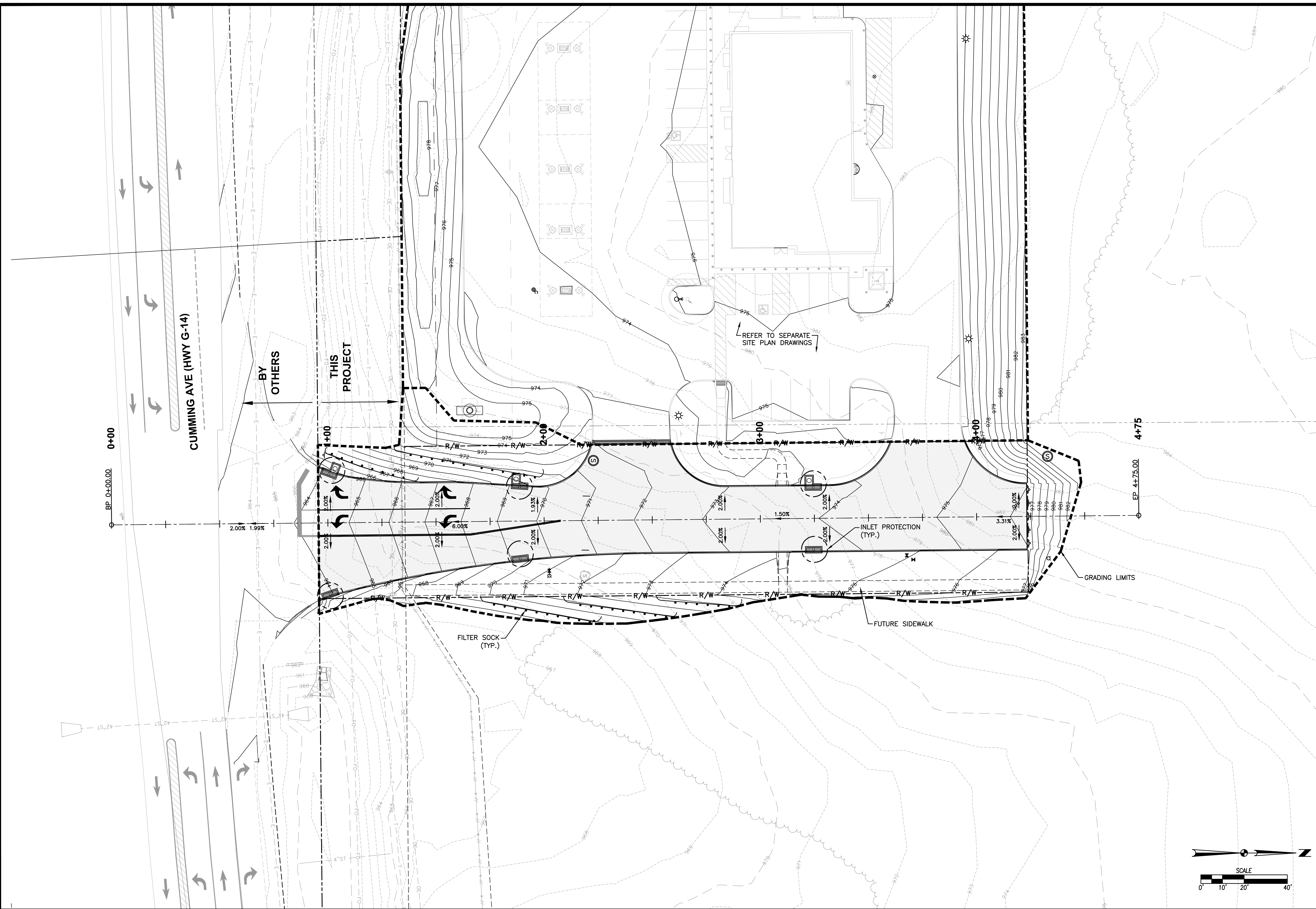
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**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**GRADING PLAN**

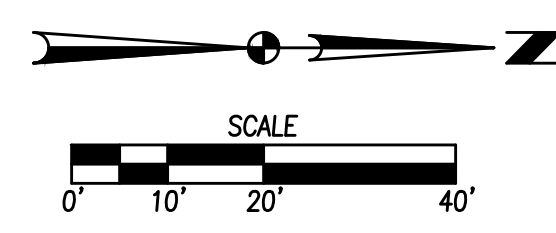
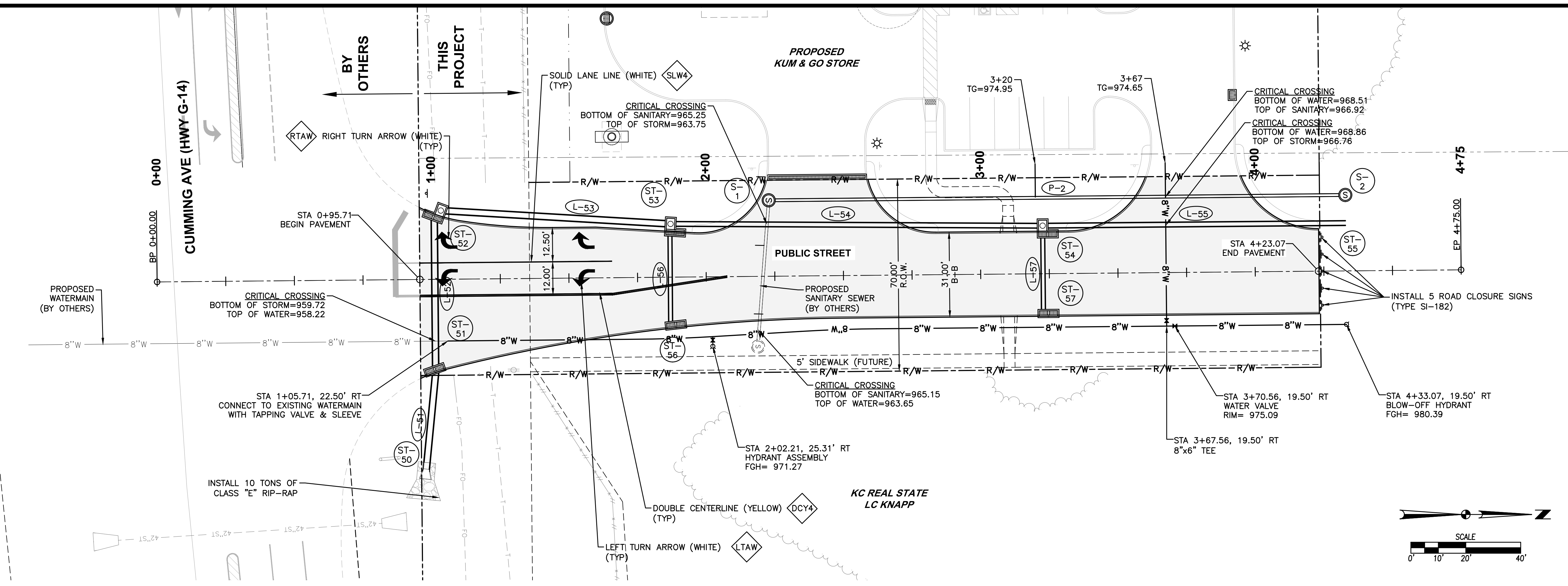
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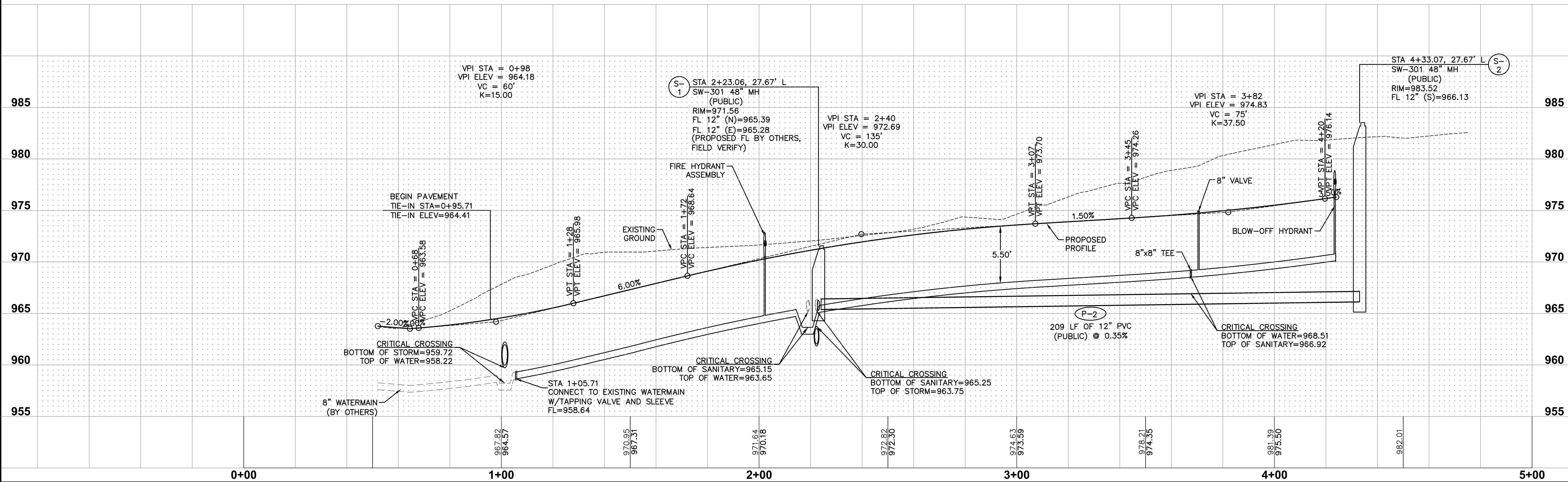
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 TECH:



**CIVIL DESIGN ADVANTAGE**  
 3405 SE CROSSROADS DR. SUITE G, GRAMES, IOWA 50111  
 PH: (515) 369-4400 Fax: (515) 369-4410  
 PROJECT NO. 2005.259



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 Des Moines, Iowa 50309  
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**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**SANITARY SEWER & WATERMAIN**  
**PLAN & PROFILE**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

DATE	REVISION DESCRIPTION

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**6 OF 10**



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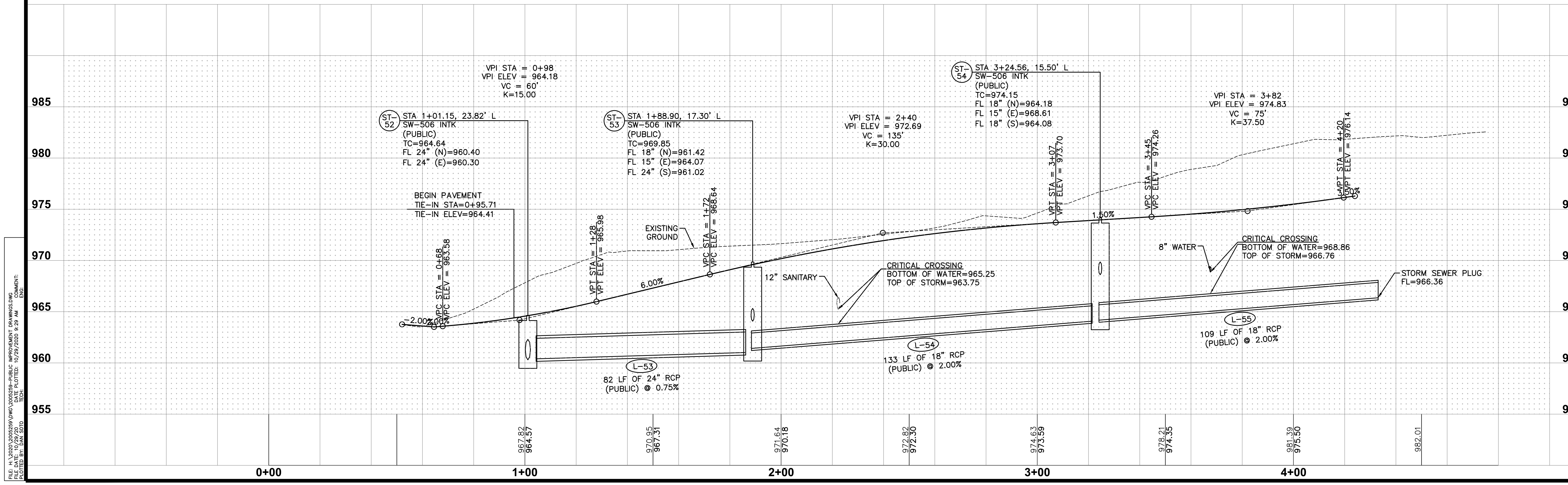
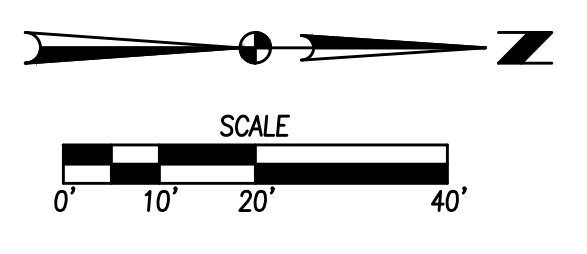
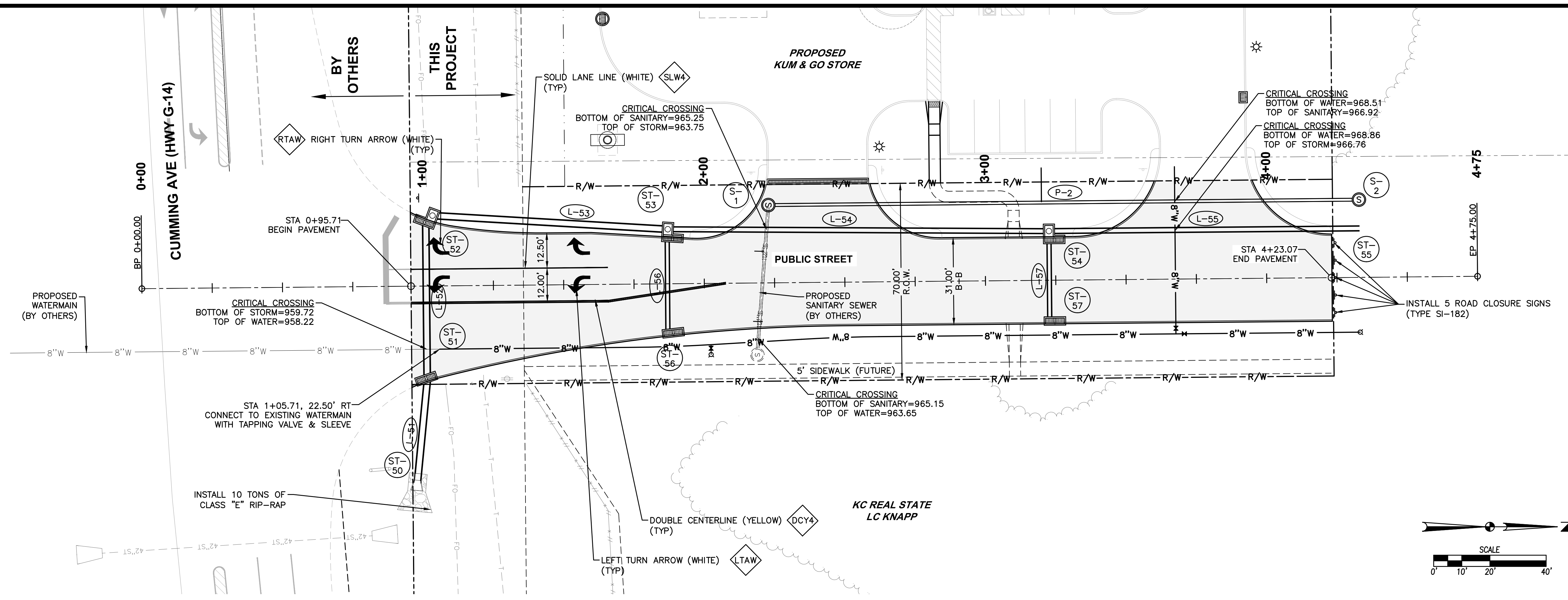
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**I-35 & CUMMING AVENUE**  
**STORM SEWER PLAN & PROFILE**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

DATE	REVISION DESCRIPTION

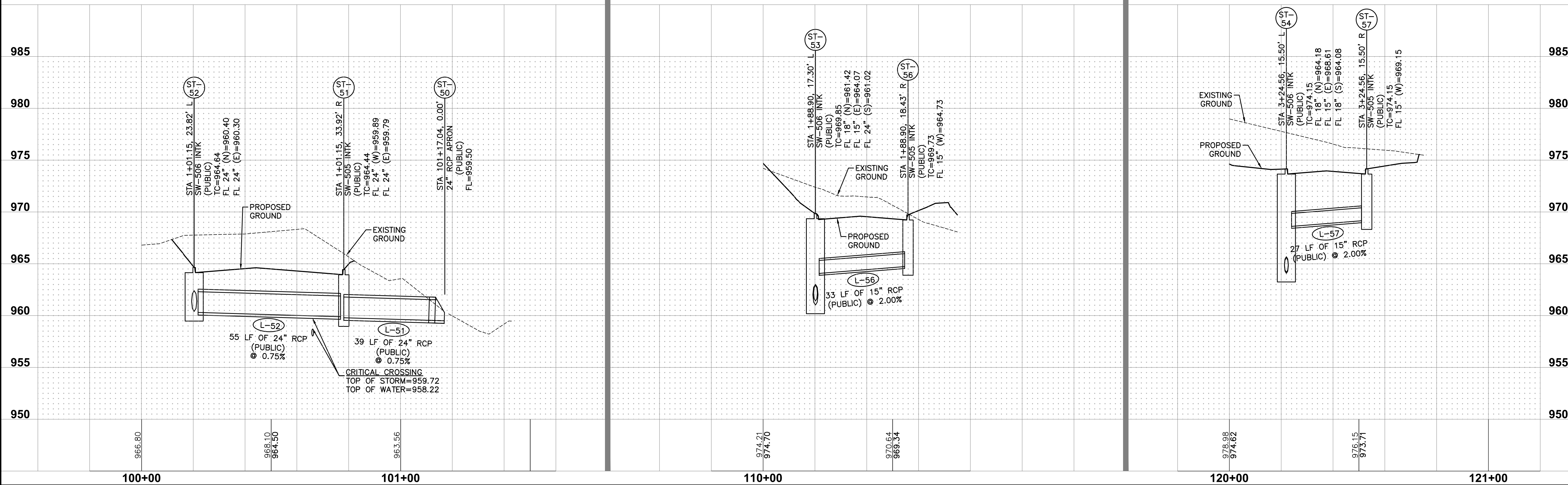
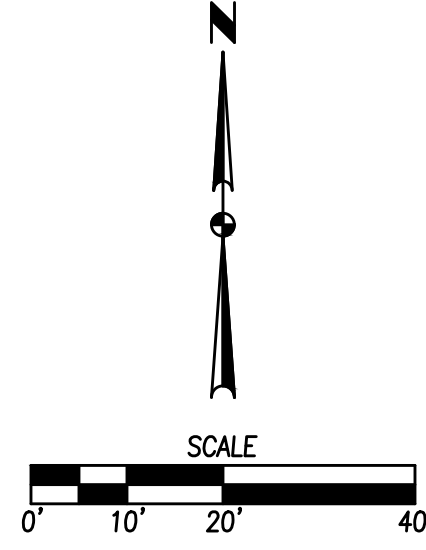
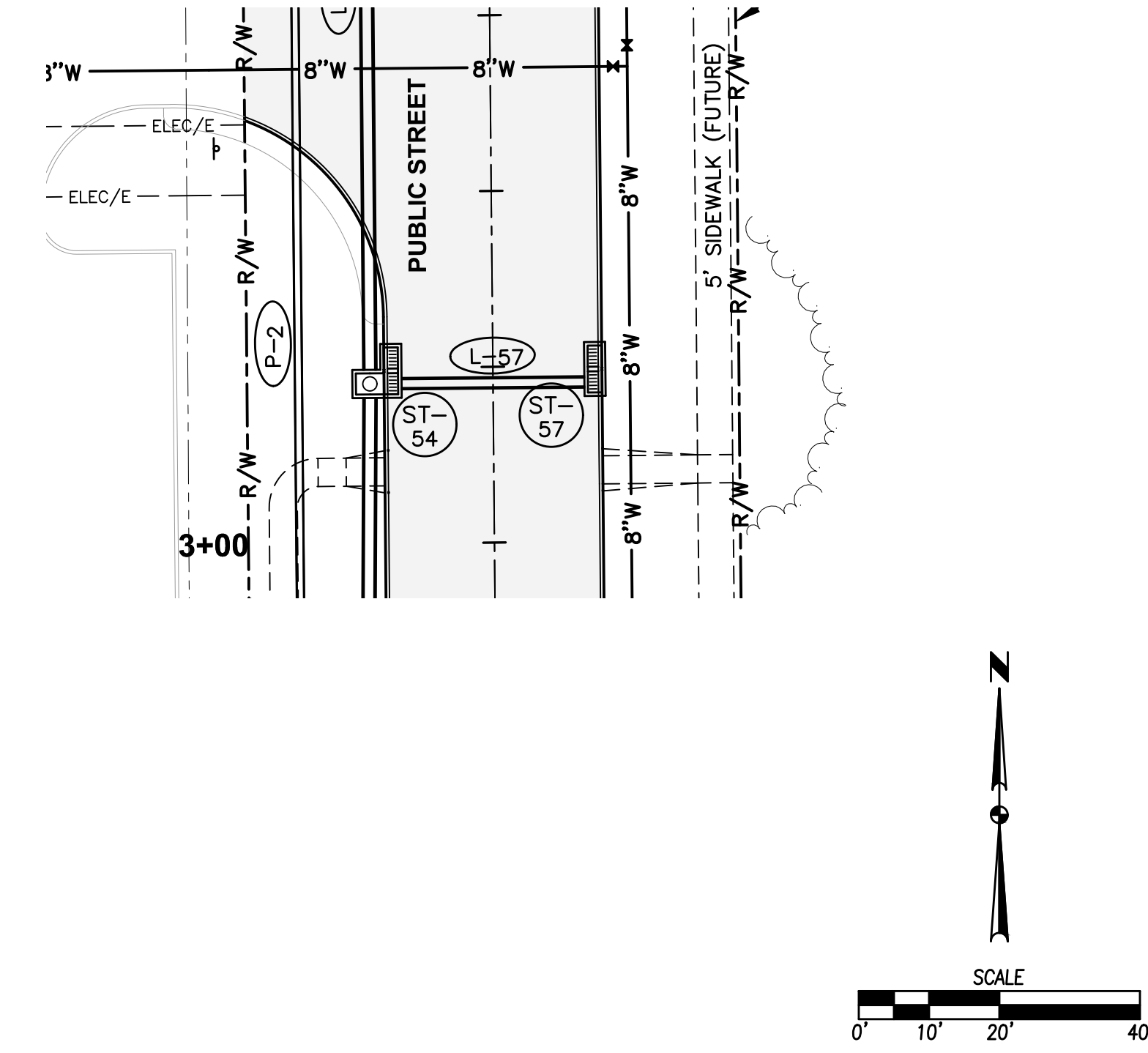
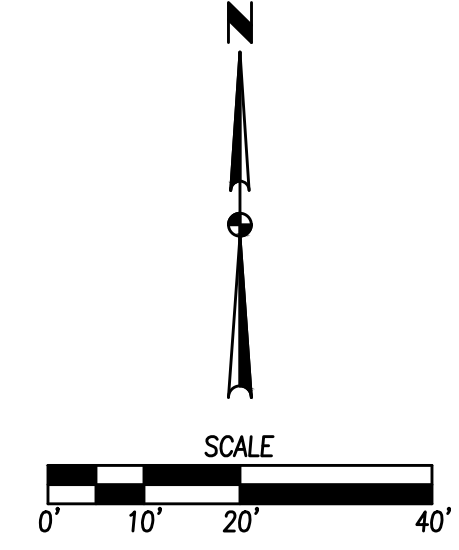
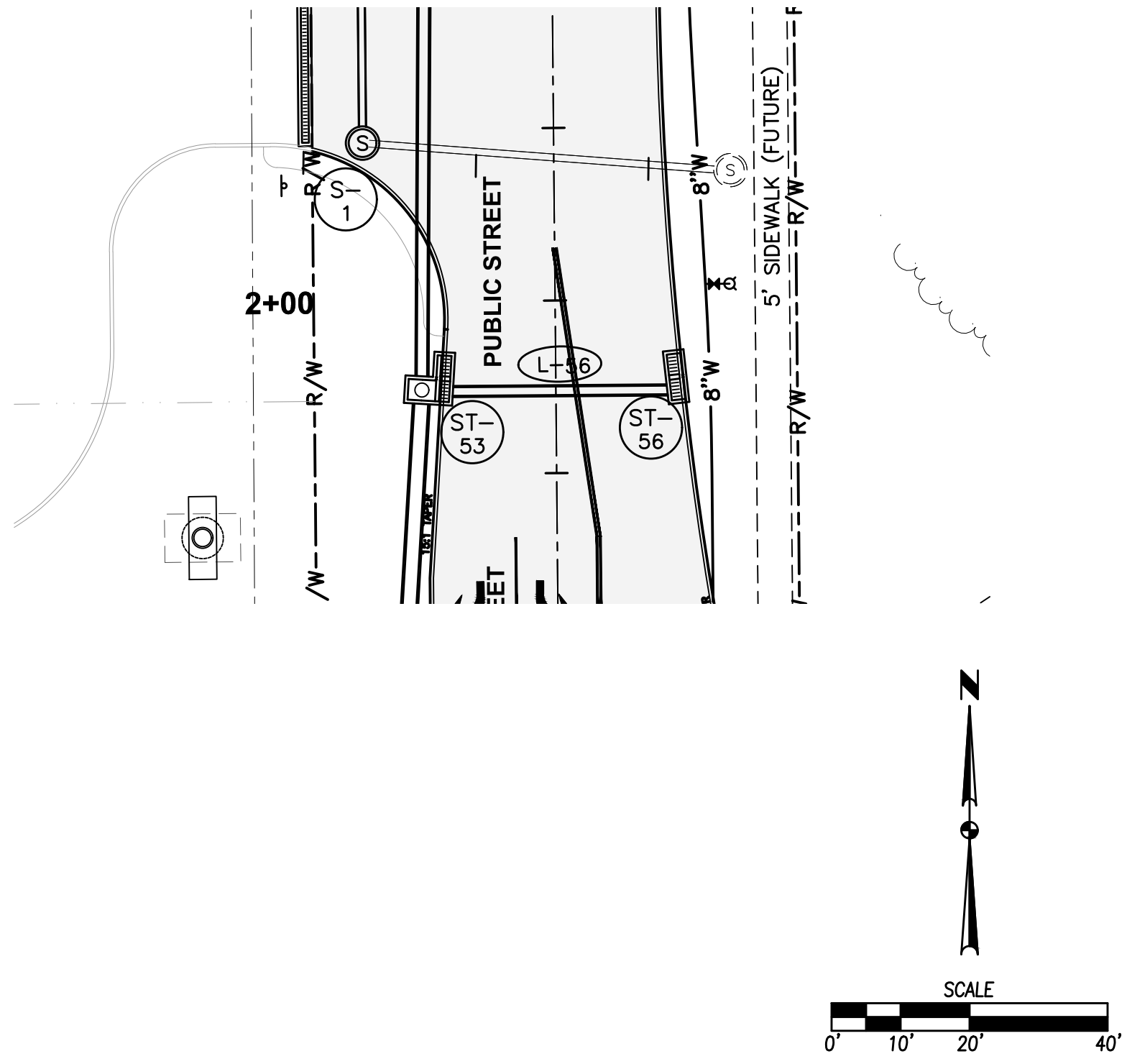
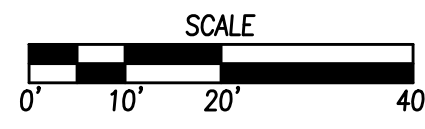
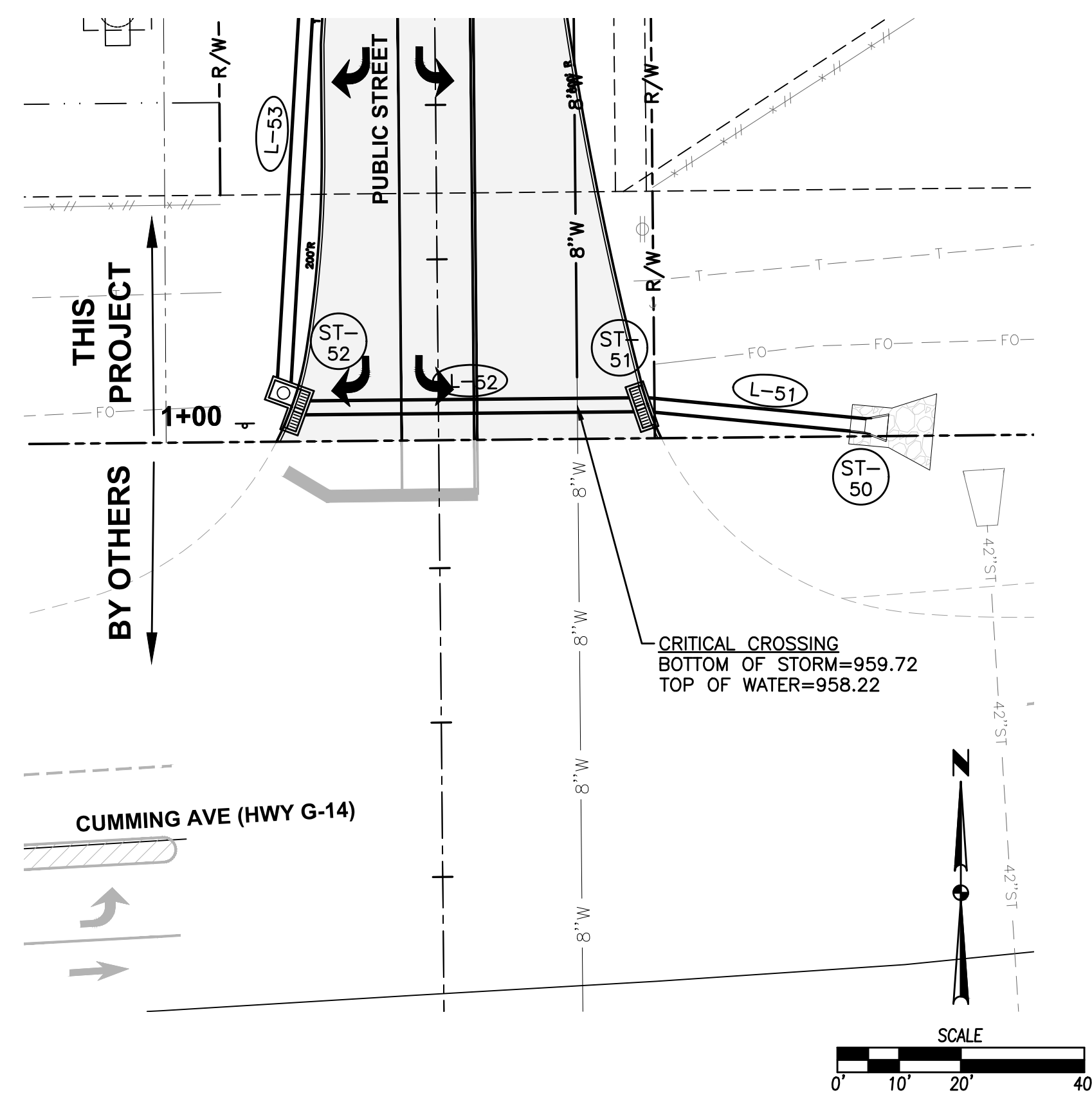
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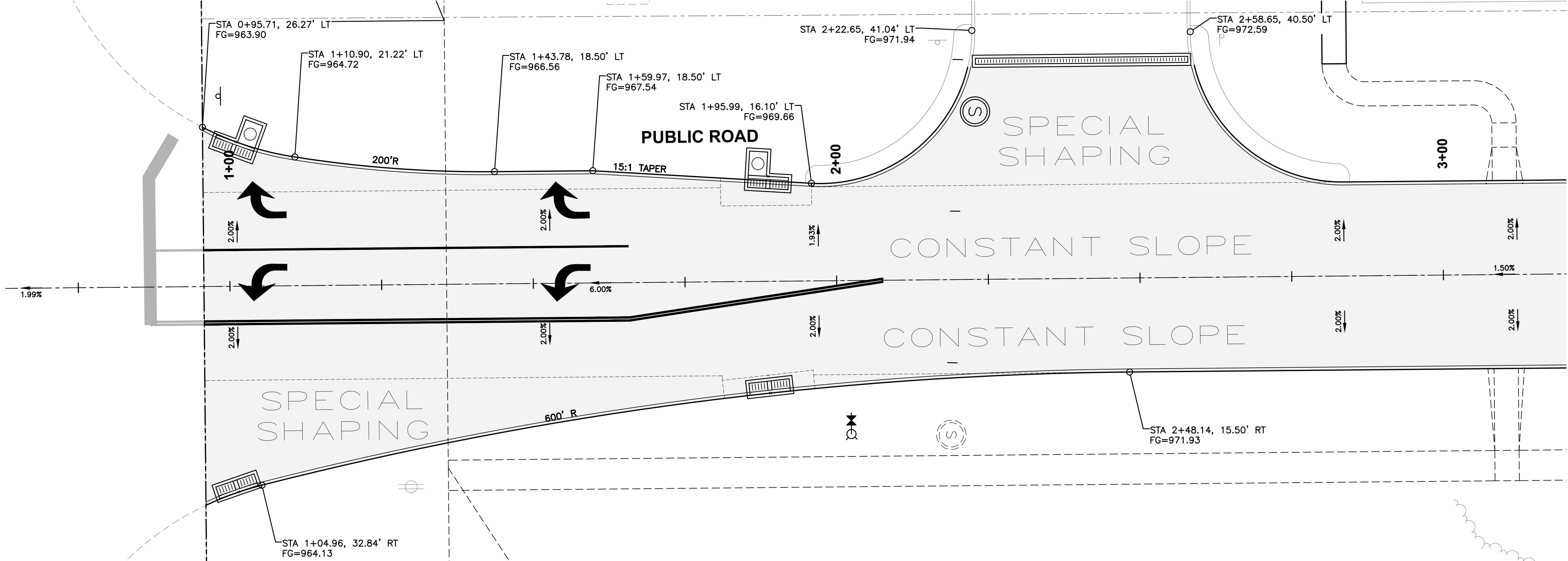
**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**STORM SEWER PLAN & PROFILE**

KG PROJECT TEAM:  
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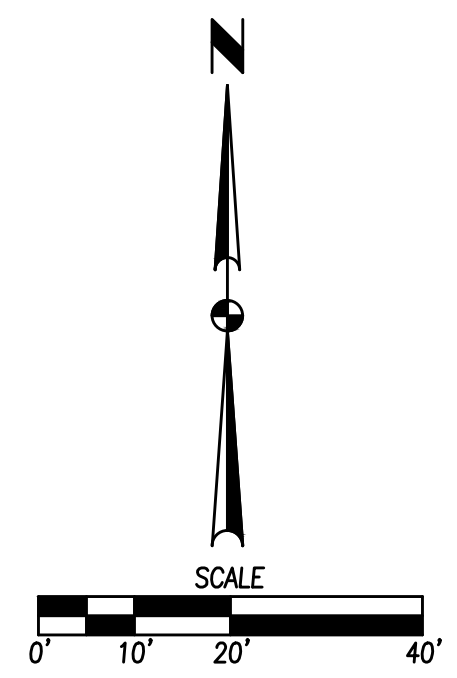
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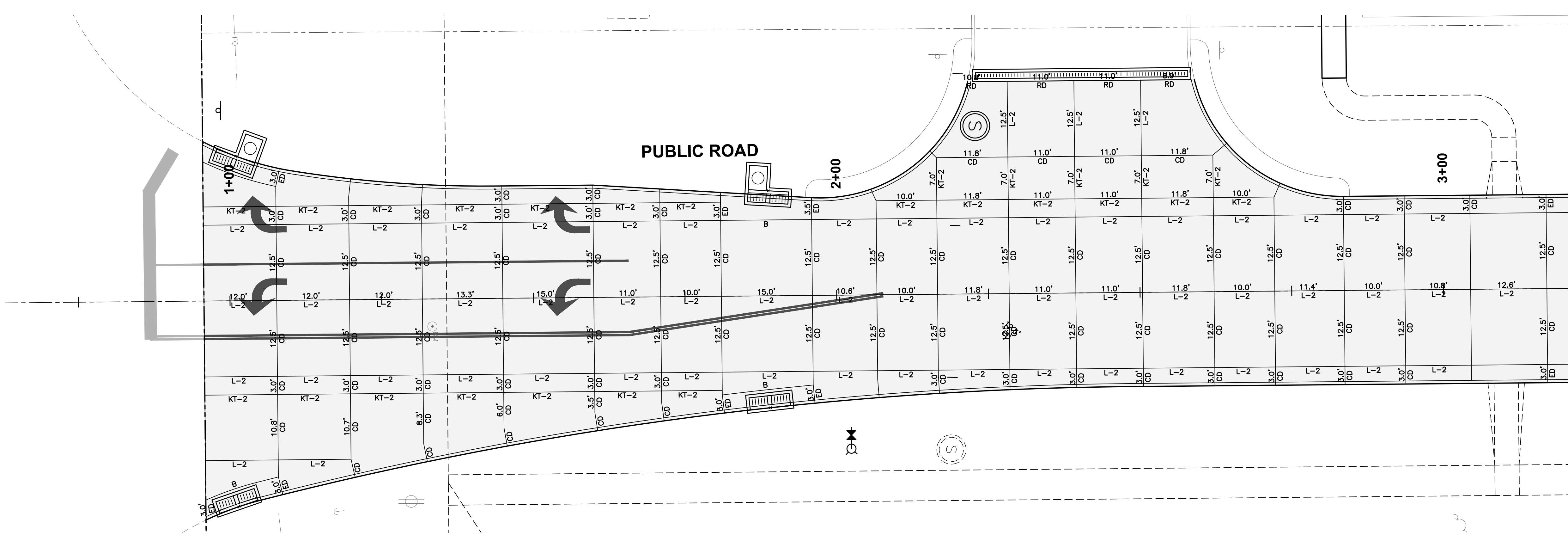




**GEOMETRICS AND STAKING LAYOUT**



- NOTES:**
- ELEVATIONS SHOWN ARE TOP OF SLAB AND/OR FORM GRADE.
  - DROP CURBS AT LOCATIONS SHOWN FOR FUTURE ACCESSIBLE RAMPS.
  - REFER TO FIGURE 6010.514 FOR GRATE INTAKE BOXOUT FOR PCC PAVEMENT DETAILS.



**JOINTING PLAN**

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**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**INTERSECTION DETAILS**

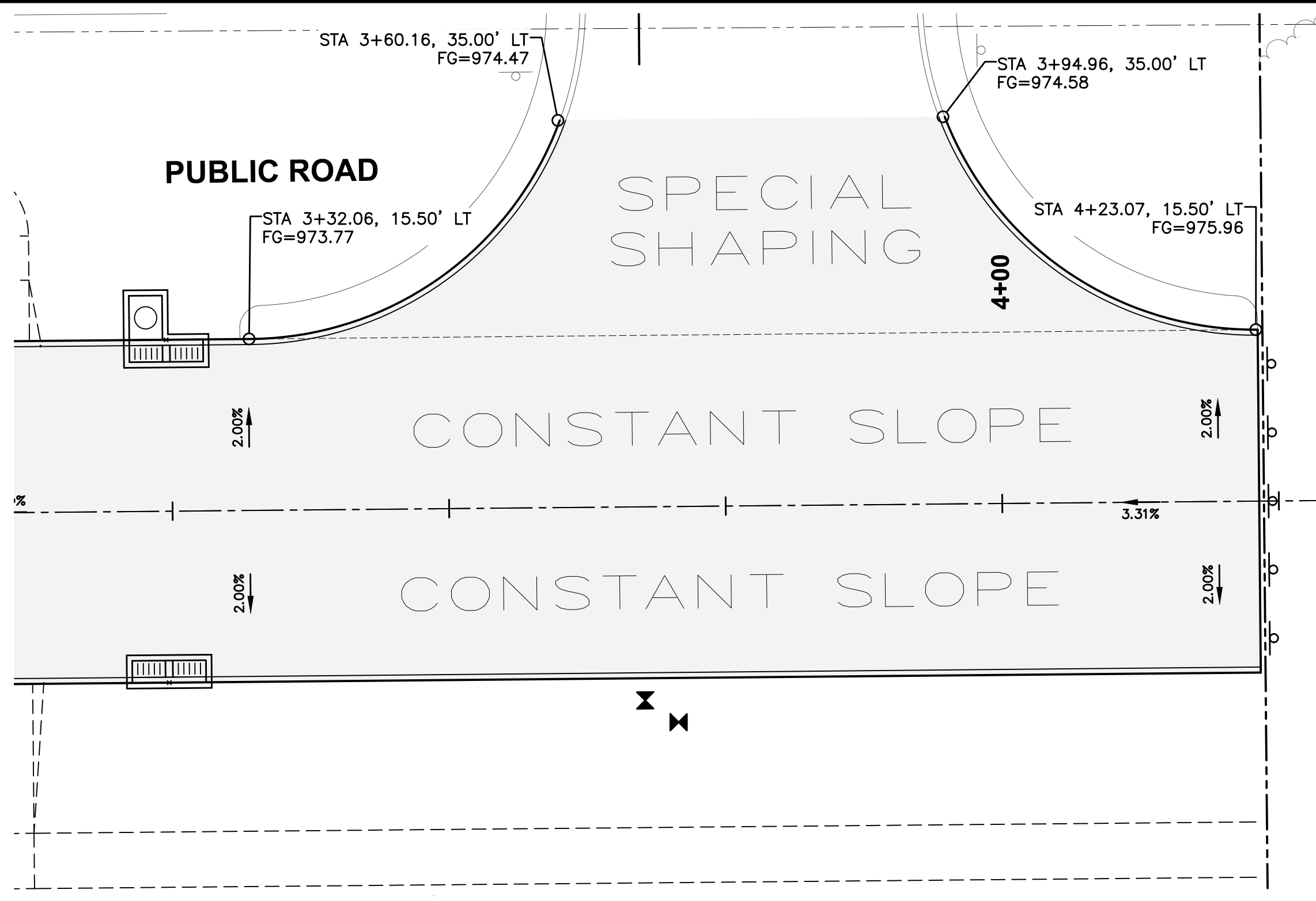
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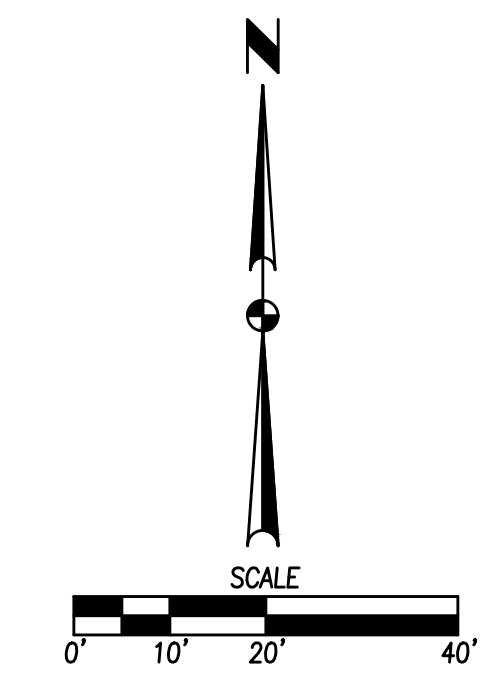
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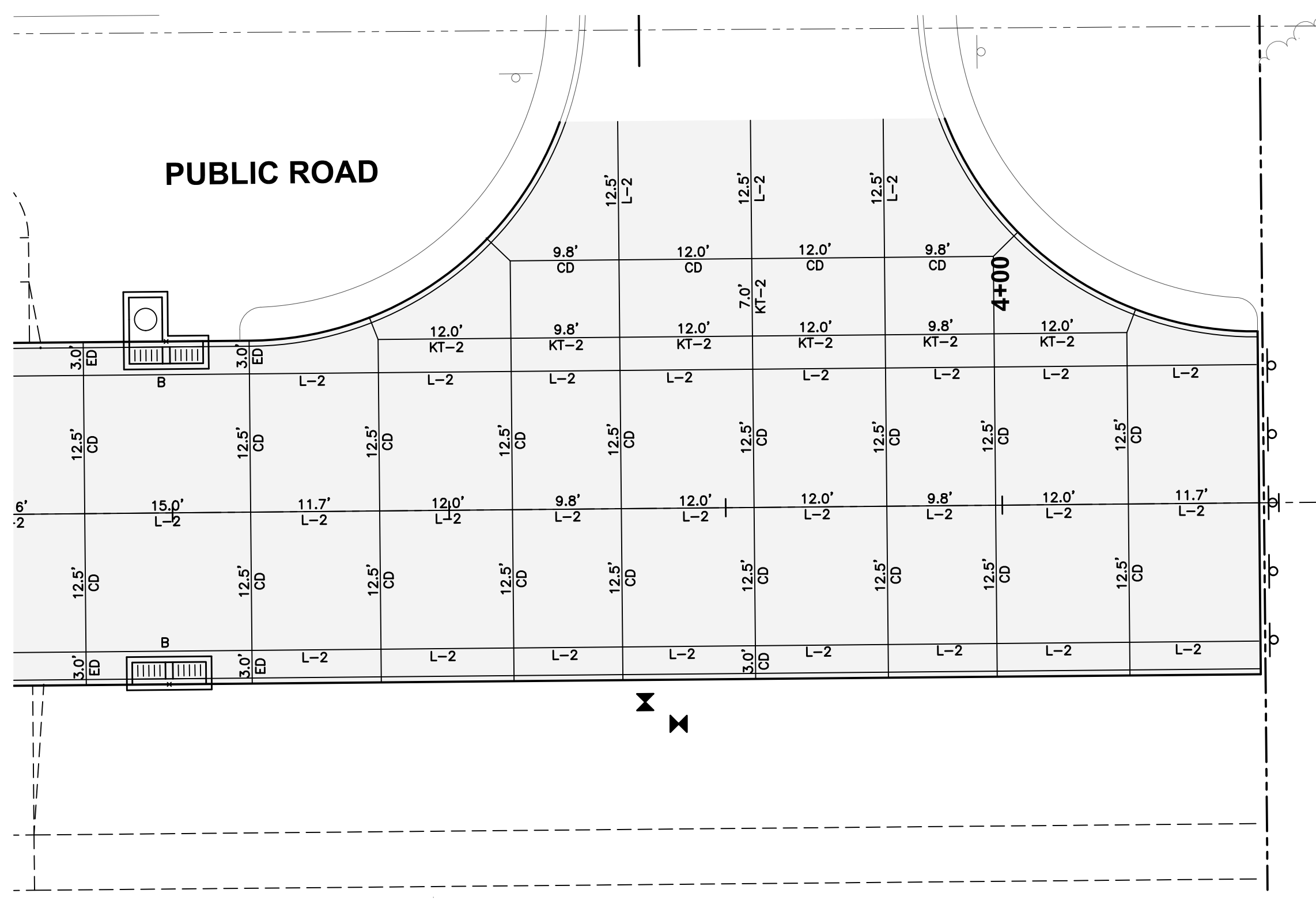
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**GEOMETRICS AND STAKING LAYOUT**



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**JOINTING PLAN**

KG PROJECT TEAM:  
 RDR:  
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DATE	REVISION DESCRIPTION

DATE: 10-29-2020

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