

**NOTICE OF PLANNING & ZONING COMMISSION SPECIAL MEETING**

**City of Cumming**

**November 17, 2020 – 7:00 p.m.**

Cumming City Hall – Electronically\*

649 N 44th Street

Cumming, Iowa 50061

- I. ROLL CALL**
- II. APPROVAL OF AGENDA** as presented and/or amended.
- III. CONSENT ITEMS**
  - A. November 10, 2020 Meeting Minutes
- IV. PUBLIC COMMENT**
- V. ACTION**
  - A. Site Plan – Kum & Go
- VI. DISCUSSION**
  - A. Public Improvements G-14
  - B. Future Concept Plan
  - C. Signs
- VII. PUBLIC COMMENT**
- VIII. UPCOMING PLANNING & ZONING MEETING:**
  - A. Regular meeting – November 24, 2020 at 7:00 p.m. at City Hall
- IX. ADJOURN**

[\\*This meeting may also be held electronically through the Zoom App.](#) If you would like to participate or view this meeting please download the app and choose “Join Meeting” up to 10 minutes prior. The meeting ID is: **850 9406 0134**. Password: **485752**. If you would like to join by telephone please call: 312-626-6799 and enter the Meeting ID and Password when prompted. Please keep your microphone muted unless you are called upon to speak during public comment. The standard rules of order apply during this meeting.

**City of Cumming**  
**Planning and Zoning Commission Meeting**  
**November 10, 2020 Minutes**

The Cumming Planning and Zoning Commission held scheduled meeting on November 10, 2020 at 7:00 p.m via Zoom

The meeting was called to order by Vice-Chair, Karen McKinney, at 7:01 p.m.

**I. ROLL CALL**

Present: Jill Stanford, Matt Daniels, Karen McKinney, Holly De Hamer, Ethan Roos, John Botts,

Absent: none

**II. APPROVAL OF AGENDA**

Roos moved – Daniels second - unanimously approved

**III. CONSENT ITEMS**

October 27, 2020 Meeting Minutes

Roos moved – Stanford second - unanimously approved

**IV. PUBLIC COMMENT**

none

**V. ACTION/DISCUSSION ITEMS**

**A. Kum & Go Site Plan/Public Improvements**

Motion to table Daniels -- Stanford Second- unanimously approved

**B. Selection of Officers**

Chairman: Ethan Roos

Vice Chairman: Karen McKinney

Recorder: Holly De Hamer

**VI. Upcoming Planning A Zoning Meeting**

A. Regular meeting November 24, 2020 at 7:00 P.M. at City Hall

**VII. ADJOURN:**

Botts moved – Roos second – unanimously approved –Adjourned 9:07 PM



November 12, 2020

City of Cumming  
ATTN: Bob Fagen, City Administrator  
PO Box 100  
Cumming, Iowa 50061

RE: Kum & Go 0198 – Site Plan Submittal #3

Dear Mr. Fagen:

We have received and reviewed the comments from the City of Cumming, dated November 3, 2020, regarding the previously submitted Site Plan and Public Improvements. Revisions and responses, written in bold type, are as follows:

SITE PLAN

Sheet 1 – Autoturn Exhibit

1. In reviewing the turning radii of truck movements as shown that a continuous left turn lane should be considered to provide three lanes of traffic. This street will carry considerably more traffic when the Lot 2 is developed to the east, and the street is extended north to serve future commercial and residential development. The continuous left turn lane will keep the southbound truck movement within the left turn lane rather than into the northbound lane and will allow additional stacking for multiple trucks/vehicles.

**The proposed street has been widened to a 37' section to include a 12' wide continuous left turn lane.**

PUBLIC IMPROVEMENTS

Sheet 2

1. As noted previously, it is suggested that a third continuous left turn lane be added a minimum 12 feet wide for a total three lane pavement width of 37 feet. The continuous left turn lane may be wider to 14 feet wide as suggested by the Manual on Uniform Traffic Control Devices (MUTCD).

**The proposed street has been widened to a 37' section to include a 12' wide continuous left turn lane.**

Sheet 6

1. As shown on the "Autoturn Exhibits" the turning radii of the trucks northbound from the east, and southbound to the west, closely hug the edge of the intersection pavement. The pavement radii should be increased to have a clearance of 2 feet between the vehicle and the edge of pavement.

**The offset and intersection have been revised to provide more clearance (see attached turning movement exhibit).**

Enclosed with this submittal, you will find the following:

1. Revised Site Plan Drawings (PDF via e-mail)
2. Revised Public Improvement Drawings (PDF via e-mail)
3. Revised Turning Movement Exhibit (PDF via e-mail)

Please let us know if you have any questions or need anything else.

Sincerely,

CIVIL DESIGN ADVANTAGE

Keith Weggen, ASLA

Copy: Britni Andreassen, Kum & Go  
File

**PROJECT TEAM:**

**OWNER/DEVELOPER/APPLICANT:**

KUM & GO L.C.  
1459 GRAND AVENUE  
DES MOINES, IA 50309  
ATTN: BRITNI ANDREASSEN  
PH: (515) 457-6083

**ENGINEER:**

CIVIL DESIGN ADVANTAGE, LLC  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
CONTACT: KEITH WEGGEN  
PH: (515) 369-4400

**LANDSCAPE ARCHITECT:**

CIVIL DESIGN ADVANTAGE, LLC  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
CONTACT: KEITH WEGGEN  
PH: (515) 369-4400

**SURVEYOR:**

CIVIL DESIGN ADVANTAGE, LLC  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
CONTACT: KEITH WEGGEN  
PH: (515) 369-4400

**TELEPHONE/CABLE:**

CENTURYLINK  
2103 EAST UNIVERSITY AVENUE  
DES MOINES, IA 50317  
CONTACT: MINDI BURGESS  
PH: (515) 263-7230

**GEOTECHNICAL ENGINEER:**

TERRACON CONSULTANTS, INC.  
600 SW 7TH STREET, SUITE M  
DES MOINES, IOWA 50309  
BRETT BRADFIELD  
PH: (515) 244-3184

**BENCH MARKS**

CITY OF WEST DES MOINES BM# 108 LOCATED AT THE INTERSECTION OF 105TH STREET AND WARREN AVENUE, NORTH OF INTERSECTION, 4 FEET WEST OF THE CENTERLINE EXTENDED, 20 FEET SOUTH OF THE EAST/WEST FENCE. ELEVATION=211.96

CITY OF WEST DES MOINES BM# 140 LOCATED AT THE NW CORNER OF ADAMS STREET AND 20TH AVENUE, 4 FEET SOUTH OF POWER POLE, 38 FEET WEST OF CENTERLINE OF 20TH AVENUE, 68 FEET NORTH OF CENTERLINE OF ADAMS STREET. ELEVATION=183.87

**PROPERTY DESCRIPTION**

LOT 1, SPANGLER PLAT 1 AN OFFICIAL PLAT IN THE CITY OF CUMMING, WARREN COUNTY, IOWA, INCLUDING 2.99 ACRES (130,375 SF).

**UTILITY WARNING**

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

**CONSTRUCTION SCHEDULE**

ANTICIPATED START DATE = NOVEMBER, 1 2020  
ANTICIPATED FINISH DATE = NOVEMBER, 1 2021

REFER TO GEOTECHNICAL ENGINEERING REPORT NO. 08205135 PREPARED BY TERRACON CONSULTANTS, INC. FOR GEOTECHNICAL REQUIREMENTS

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE, AND FEDERAL REQUIREMENTS.

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A QUALIFIED PROFESSIONAL ENGINEER IN CHARGE AM A QUALIFIED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE WEAS ACT OF THE STATE OF IOWA.

DATE: \_\_\_\_\_

MY LICENSE RENEWAL DATE IS JUNE 30, 2022  
PAGES OR SHEETS COVERED BY THIS SEAL:  
ALL SHEETS

**WATER:**

DES MOINES WATER WORKS  
2201 GEORGE FLAGG PARKWAY  
DES MOINES, IOWA 50321  
CONTACT: BRYAN POLLPETER  
PH: (515) 323-6204

**SANITARY SEWER:**

CITY OF CUMMING  
300 WESTOWN PARKWAY  
WEST DES MOINES, IA 20566  
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)  
(515) 225-8000

**ELECTRIC:**

MIDAMERICAN ENERGY COMPANY  
3500 104TH STREET  
URBANDALE, IA 50322  
CONTACT: CRAIG RANFELD  
PH: (515) 252-6632

**STORM SEWER:**

CITY OF CUMMING  
300 WESTOWN PARKWAY  
WEST DES MOINES, IA 20566  
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)  
(515) 225-8000

**BUILDING DEPARTMENT:**

CITY OF CUMMING  
300 WESTOWN PARKWAY  
WEST DES MOINES, IA 20566  
CONTACT: JASON VANAUSDALL (VEENSTRA & KIMM)  
(515) 225-8000



WHERE & MEANS MORE

**GENERAL LEGEND**

**PROPOSED**

- LOT LINE
- CENTER LINE
- RIGHT OF WAY
- PERMANENT EASEMENT
- TEMPORARY EASEMENT
- TYPE SW-501 STORM INTAKE
- TYPE SW-503 STORM INTAKE
- TYPE SW-401 STORM MANHOLE
- TYPE SW-301 SANITARY MANHOLE
- STORM/SANITARY CLEANOUT
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- SIGN
- DETECTABLE WARNING PANEL
- SANITARY SEWER WITH SIZE
- STORM SERVICE
- WATERMAIN WITH SIZE
- SAWCUT (FULL DEPTH)
- SILT FENCE

**EXISTING**

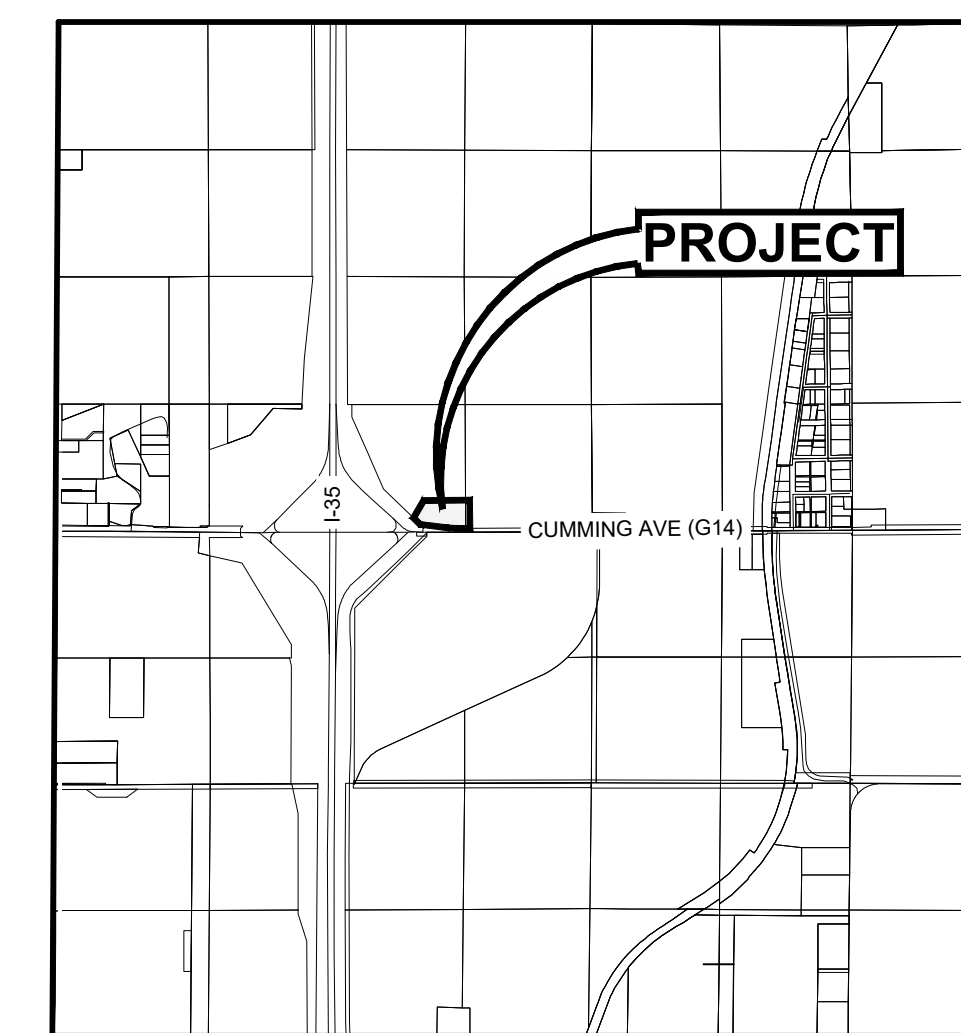
- SANITARY MANHOLE
- WATER VALVE BOX
- FIRE HYDRANT
- WATER CURB STOP
- STORM SEWER MANHOLE
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ELECTRIC POWER POLE
- GUY ANCHOR
- STREET LIGHT
- POWER POLE W/ TRANSFORMER
- UTILITY POLE W/ LIGHT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE OR VAULT
- TRAFFIC SIGN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE/VAULT
- TELEPHONE POLE
- GAS VALVE BOX
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE/VAULT
- BENCH MARK
- SOIL BORING
- UNDERGROUND TV CABLE
- GAS MAIN
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- SANITARY SEWER W/ SIZE
- STORM SEWER W/ SIZE
- WATER MAIN W/ SIZE

**SUBMITTAL DATES**

SUBMITTAL #1: SEPTEMBER 11, 2020  
SUBMITTAL #2: OCTOBER 29, 2020  
SUBMITTAL #3: NOVEMBER 13, 2020

**VICINITY MAP**

NOT TO SCALE



SITE PLAN DRAWINGS  
STORE #0198  
I-35 & CUMMING AVENUE  
CUMMING, IA 50061

SHEET INDEX		
1	COVER SHEET	C0.0
2	SITE PLAN	C1.1
3	TOPOGRAPHIC SURVEY / DEMOLITION PLAN	C1.2
4-5	GRADING PLAN	C2.1-C2.2
6	EROSION & SEDIMENT CONTROL	C2.3
7	UTILITY PLAN	C3.1
8	LANDSCAPE PLAN	L1.1

SITE DATA		
STORE TYPE	INTERSTATE	
CANOPY / DISPENSER ARRANGEMENT	5 DISPENSERS (SINGLE), 3 HI-FLOW DISPENSERS	
TYPE OF USE	CONVENIENCE STORE WITH FUEL	
HEIGHT	BUILDING	21'-0"
	TOP OF BLADE WALL	22'-7"
	CANOPY	20'-10"
	DIESEL CANOPY	19'-0"
GROSS FLOOR AREA	6,015 S.F.	
GROSS CANOPY AREA	4,356 S.F.	
GROSS LOT AREA	±130,375 S.F.	
FAR (INCLUDING CANOPY)	0.08	
KUM & GO BUILDING COVERAGE	6,015 S.F. (4.6%)	
LANDSCAPE COVERAGE	50,095 SF (38.4%)	
PARKING/DRIVE/ COVERAGE	74,283 SF (57.0%)	
BICYCLE PARKING	N/A	
REQUIRED PARKING	STANDARD	31
	ADA	1
	TOTAL	32
PROVIDED PARKING	PARKING RATIO = 1 SPACE/ 187 GFA	
	STANDARD	25
	ADA	2
	TRUCKS	5
	TOTAL	32
	PARKING RATIO = 5.4 CARS/1000 S.F.	

ZONING INFORMATION	
ZONE: C-1 HIGHWAY COMMERCIAL DISTRICT	
MINIMUM LOT AREA (SQUARE FEET)	
MINIMUM LOT WIDTH (FEET)	
SITE AREA PER UNIT (SQUARE FEET)	N/A
FRONT YARD SETBACK (FEET)	50
FRONT YARD CANOPY SETBACK (FEET)	15
LEFT SIDE YARD SETBACK (FEET)	0
RIGHT SIDE YARD SETBACK (FEET)	0
REAR YARD SETBACK (FEET)	0
BUILDING MAXIMUM HEIGHT (FEET)	35
CANOPY MAXIMUM HEIGHT (FEET)	20
MAXIMUM BUILDING COVERAGE	N/A

CONFIDENTIAL DOCUMENT.  
INFORMATION CONTAINED IN THIS DOCUMENT IS  
PROPRIETARY TO KUM & GO L.C. AND SHALL NOT  
BE DISTRIBUTED.

CIVIL DESIGN ADVANTAGE  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH: (515) 369-4400 FAX: (515) 369-4410  
PROJECT NO. 2020-259



1459 Grand Avenue  
Des Moines, Iowa 50309  
P: 515-226-0128  
F: 515-223-9873

0198 - CUMMING, IOWA  
I-35 & CUMMING AVENUE

COVER SHEET

KG PROJECT TEAM:  
RDR:  
SDM:  
CPM:

DATE	REVISION DESCRIPTION

DATE: 11-13-2020

SHEET NUMBER:

C0.0

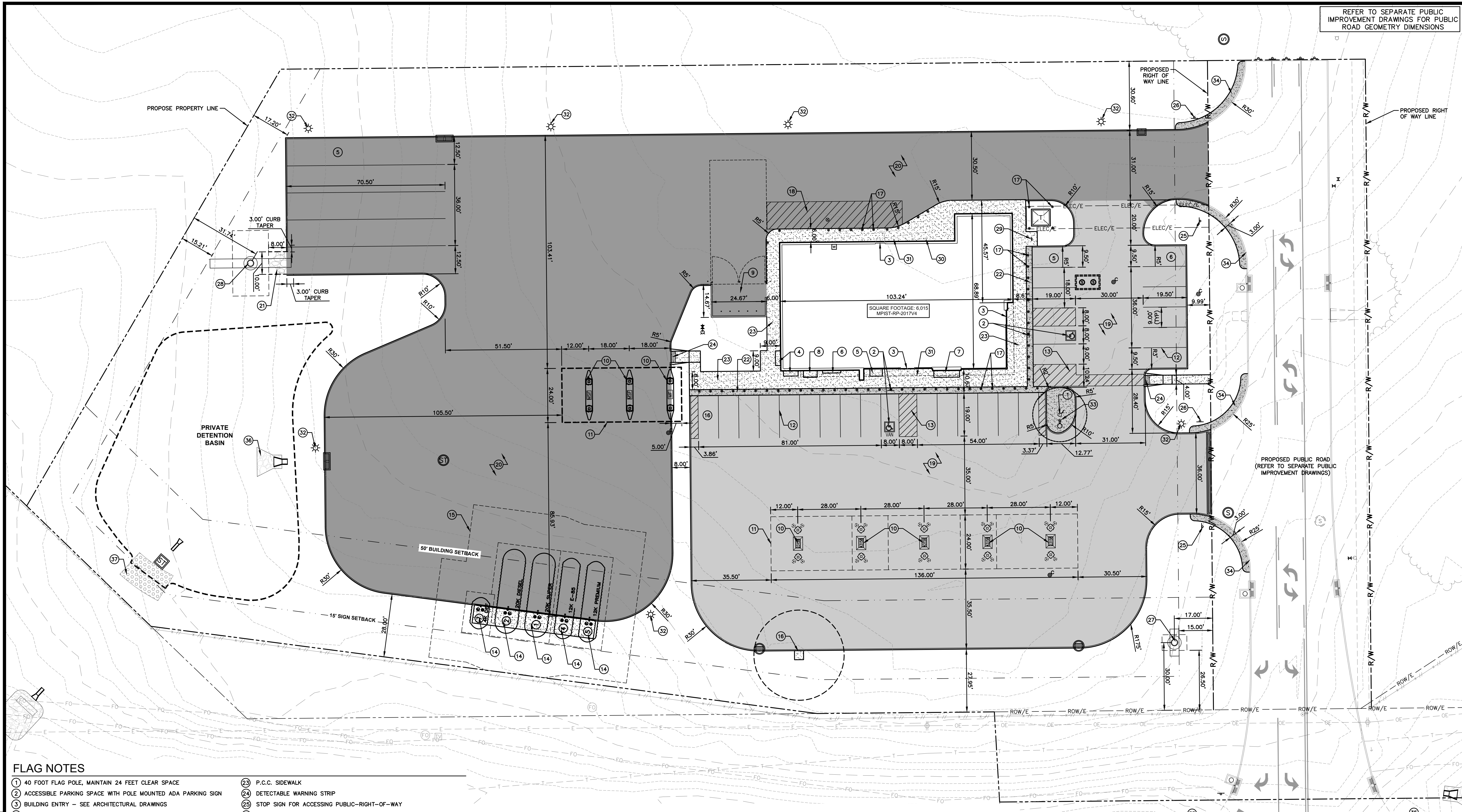


CALL 811 SEVENTY-TWO HOURS PRIOR TO  
DIGGING, GRADING OR EXCAVATING FOR THE  
MARKING OF UNDERGROUND MEMBER UTILITIES.

1-800-292-8989  
www.iowasonecall.com

FILE: H:\2020\2020259\DWG\2020259-SITE.DWG  
PLG DATE: 11/13/2020 2:20 PM  
COMMENTS:  
DATE PLOTTED: 11/17/2020 2:20 PM

REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR PUBLIC ROAD GEOMETRY DIMENSIONS

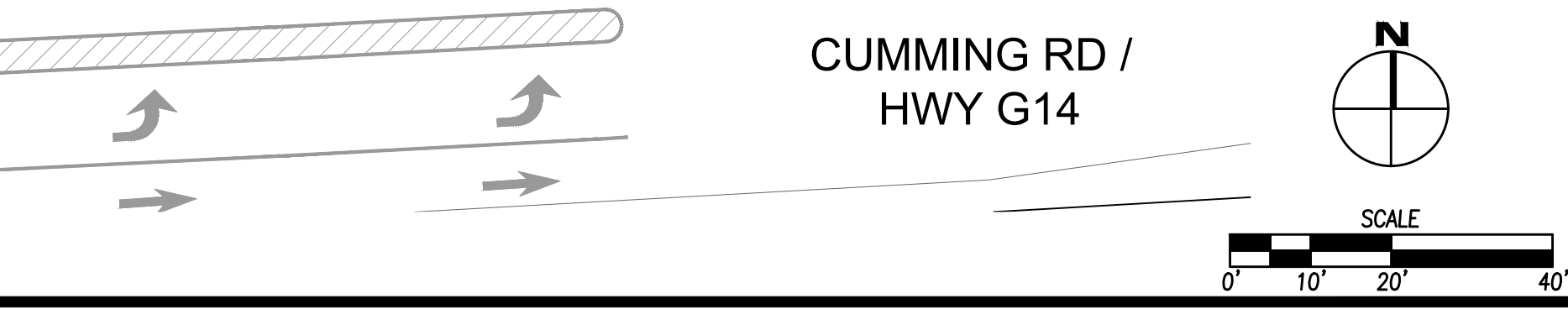


- ### FLAG NOTES
- 1 40 FOOT FLAG POLE, MAINTAIN 24 FEET CLEAR SPACE
  - 2 ACCESSIBLE PARKING SPACE WITH POLE MOUNTED ADA PARKING SIGN
  - 3 BUILDING ENTRY - SEE ARCHITECTURAL DRAWINGS
  - 4 PROPANE CAGE
  - 5 MISCELLANEOUS MERCHANDISE
  - 6 FIREWOOD
  - 7 REDBOX
  - 8 ICE MERCHANDISER
  - 9 TRASH ENCLOSURE - SEE ARCHITECTURAL DRAWINGS
  - 10 FUEL DISPENSER ISLAND
  - 11 FUEL CANOPY
  - 12 4 INCH YELLOW PARKING STRIPING
  - 13 4 INCH YELLOW PARKING STRIPING - 24 INCHES O.C. AT 45 DEGREES
  - 14 UNDER GROUND STORAGE TANK LOCATIONS
  - 15 TANK OVERDIG LIMITS
  - 16 AIR MACHINE - COORDINATE MOUNT WITH SUPPLIER
  - 17 BOLLARDS - WITH BLACK PROTECTIVE COVER
  - 18 12 FEET X 60 FEET LOADING ZONE
  - 19 STANDARD DUTY P.C.C. PAVEMENT
  - 20 HEAVY DUTY P.C.C. PAVEMENT
  - 21 GRANULAR SURFACE
  - 22 INTEGRAL COLORED PCC SIDEWALK - HEAVY BROOM FINISH - 6 INCH MINIMUM THICKNESS
  - 23 P.C.C. SIDEWALK
  - 24 DETECTABLE WARNING STRIP
  - 25 STOP SIGN FOR ACCESSING PUBLIC-RIGHT-OF-WAY
  - 26 TRUCK DIRECTIONAL SIGNAGE
  - 27 35' POLE SIGN
  - 28 100' POLE SIGN
  - 29 BOLLARD BIKE RACK - 5.00 FEET X 6.5 FEET PAD
  - 30 ELECTRICAL, TELEPHONE, IRRIGATION CONDUIT CONNECTION - METERS SHALL BE LOCATED INSIDE BUILDING
  - 31 BUILDING CANOPY OVERHANG
  - 32 AREA LIGHT
  - 33 FLAG POLE UPLIGHT
  - 34 ROLLOVER CURB
  - 35 THREE-CENTERED COMPOUND CURVE - BY OTHERS
  - 36 GLASS E, RIP-RAP
  - 37 TURF REINFORCEMENT MAT - TYPE 4

### PAVEMENT THICKNESS

1. SIDEWALK	4" P.C.C.
2. STANDARD DUTY PCC PAVEMENT	6" P.C.C.
3. HEAVY DUTY PCC PAVEMENT	8" P.C.C.
4. INTEGRAL COLORED CONCRETE	6" P.C.C.

- ### GENERAL NOTES
- THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
  - ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES AND PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWALK).
  - ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
  - PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
  - ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
  - ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
  - ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
  - PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
  - REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
  - ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
  - DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
  - THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
  - THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
  - THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
  - CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
  - ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.



**EA**  
**CIVIL DESIGN ADVANTAGE**  
 3405 SE 15TH AVE SUITE 100  
 DES MOINES, IOWA 50311  
 PH: (515) 398-4400 FAX: (515) 398-4410  
 PROJECT NO. 2005.259



1459 Grand Avenue  
 Des Moines, Iowa 50309  
 P: 515-226-0128  
 F: 515-223-9873

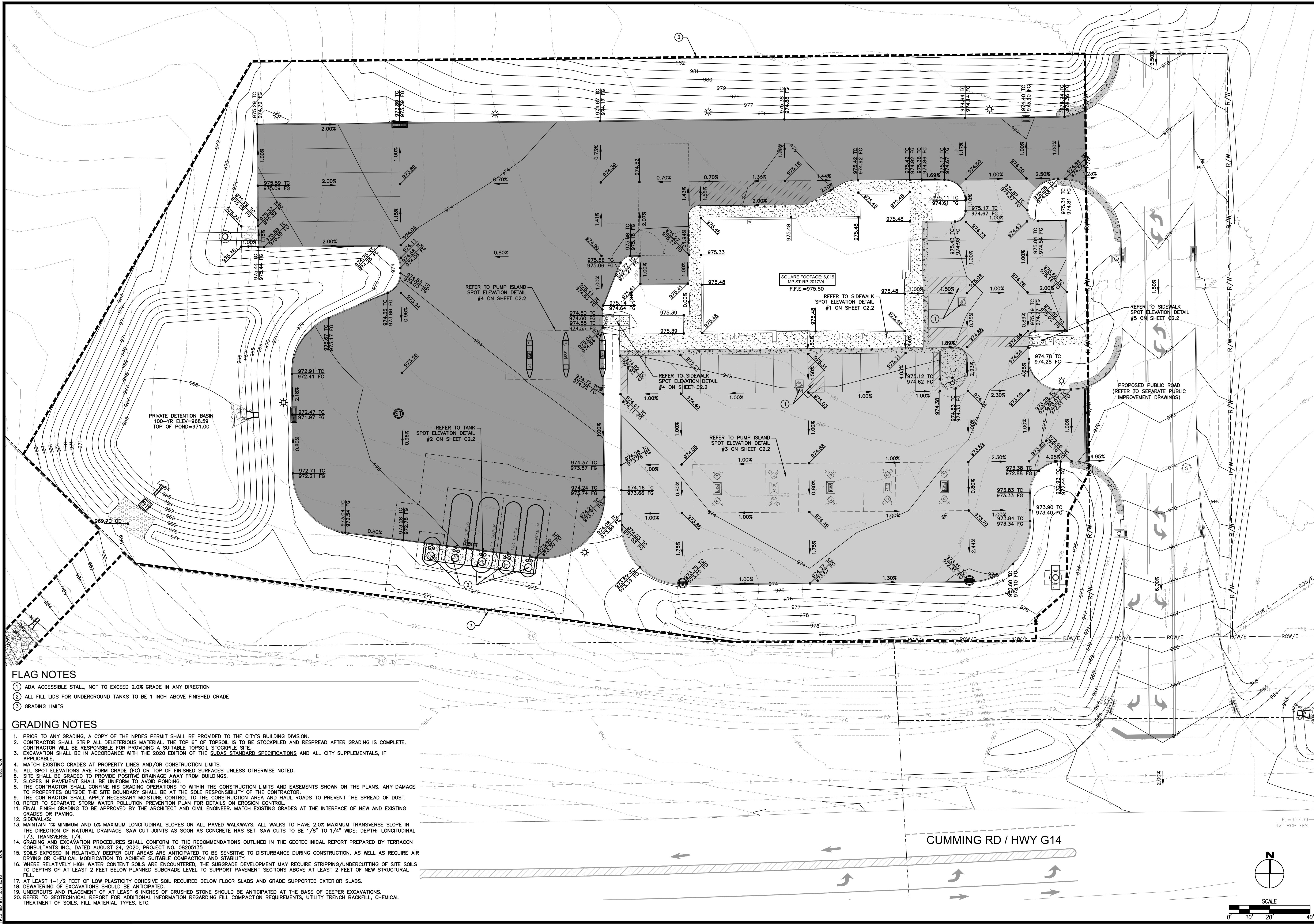
**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**SITE PLAN**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

REVISION DESCRIPTION	DATE

DATE: 11-13-2020  
 SHEET NUMBER: **C1.1**





- FLAG NOTES**
- ① ADA ACCESSIBLE STALL, NOT TO EXCEED 2.0% GRADE IN ANY DIRECTION
  - ② ALL FILL LIDS FOR UNDERGROUND TANKS TO BE 1 INCH ABOVE FINISHED GRADE
  - ③ GRADING LIMITS

- GRADING NOTES**
1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
  2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
  3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
  4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
  5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
  6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
  7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
  8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
  10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
  11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
  12. SIDEWALKS:
  13. MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE 1/4.
  14. GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS INC., DATED AUGUST 24, 2020, PROJECT NO. 08205135
  15. SOILS EXPOSED IN RELATIVELY DEEPER CUT AREAS ARE ANTICIPATED TO BE SENSITIVE TO DISTURBANCE DURING CONSTRUCTION, AS WELL AS REQUIRE AIR DRYING OR CHEMICAL MODIFICATION TO ACHIEVE SUITABLE COMPACTION AND STABILITY.
  16. WHERE RELATIVELY HIGH WATER CONTENT SOILS ARE ENCOUNTERED, THE SUBGRADE DEVELOPMENT MAY REQUIRE STRIPPING/UNDERCUTTING OF SITE SOILS TO DEPTHS OF AT LEAST 2 FEET BELOW PLANNED SUBGRADE LEVEL TO SUPPORT PAVEMENT SECTIONS ABOVE AT LEAST 2 FEET OF NEW STRUCTURAL FILL.
  17. AT LEAST 1-1/2 FEET OF LOW PLASTICITY COHESIVE SOIL REQUIRED BELOW FLOOR SLABS AND GRADE SUPPORTED EXTERIOR SLABS.
  18. DEWATERING OF EXCAVATIONS SHOULD BE ANTICIPATED.
  19. UNDERCUTS AND PLACEMENT OF AT LEAST 6 INCHES OF CRUSHED STONE SHOULD BE ANTICIPATED AT THE BASE OF DEEPER EXCAVATIONS.
  20. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION REGARDING FILL COMPACTION REQUIREMENTS, UTILITY TRENCH BACKFILL, CHEMICAL TREATMENT OF SOILS, FILL MATERIAL TYPES, ETC.



1459 Grand Avenue  
 Des Moines, Iowa 50309  
 P: 515-226-0128  
 F: 515-223-9873

**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**GRADING PLAN**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

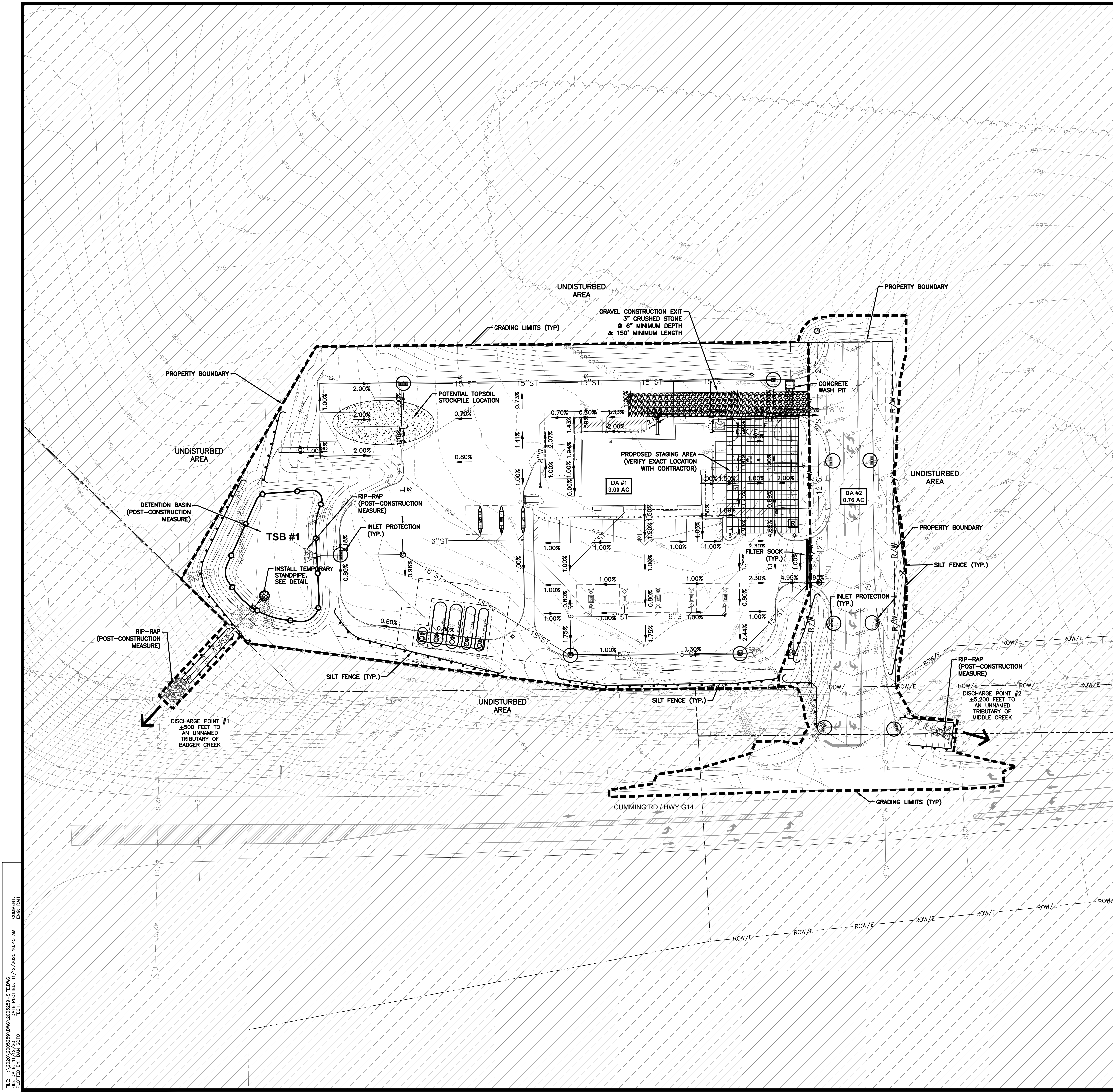
DATE	REVISION DESCRIPTION

DATE: 11-13-2020  
 SHEET NUMBER: **C2.1**

FILE: H:\2020\2005259\0198\0198-01\0198-01-01\0198-01-01-01\0198-01-01-01-01.dwg  
 PLOT DATE: 11/13/2020 10:45 AM  
 PLOT BY: JAC  
 PLOT SCALE: 1"=40'  
 PLOT SHEET: 1 OF 2

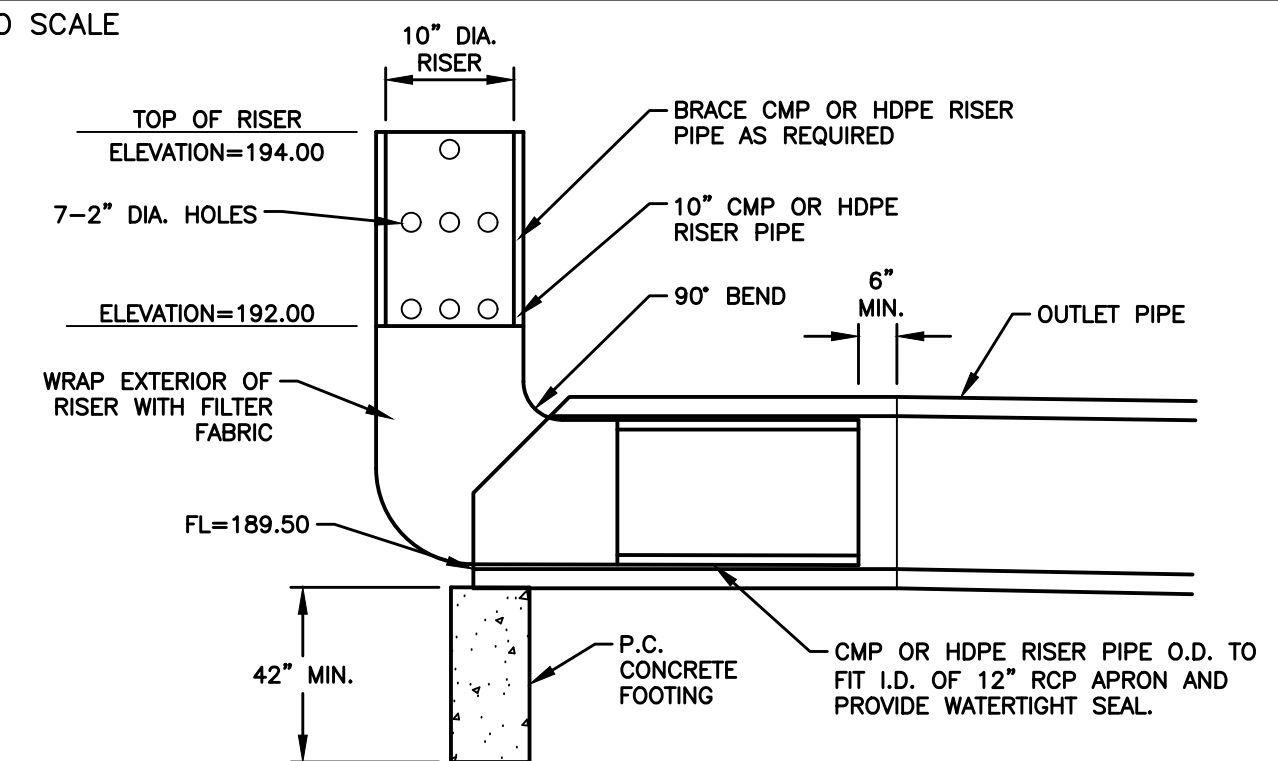






**TEMPORARY STAND PIPE DETAIL**

NOT TO SCALE



**STABILIZATION QUANTITIES**

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1,344
2	SEEDING, FERTILIZING, AND MULCHING	AC	1.77
3	INLET PROTECTION DEVICES	EA	11
4	CONCRETE WASHOUT PIT	EA	1
5	10" PVC TEMPORARY STANDPIPE	EA	1
6	FILTER SOCK	LF	42

**NOTES:**

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.

**DISCHARGE POINT SUMMARY**

DISCHARGE POINT #1 TO AN UNNAMED TRIBUTARY OF BADGER CREEK ±500 FT	3.00 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	10,800 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN SILT FENCE (696 LF @ 4.5 CU FT/LF OF FENCE)	3,132 CU FT
VOLUME PROVIDED IN FILTER SOCK (42 LF @ 2.0 CU FT/LF OF SOCK)	84 CU FT
VOLUME PROVIDED IN TSB #1	17,966 CU FT
TOTAL VOLUME PROVIDED	21,182 CU FT
<b>DISCHARGE POINT #2 TO AN UNNAMED TRIBUTARY OF MIDDLE CREEK ±5,200 FT</b>	<b>0.76 ACRES</b>
TOTAL AREA DISTURBED TO DISCHARGE POINT	2,736 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN SILT FENCE (648 LF @ 4.5 CU FT/LF OF FENCE)	2,916 CU FT
TOTAL VOLUME PROVIDED	2,916 CU FT

**SWPPP LEGEND**

DRAINAGE ARROW	-X.XX %	AREA TO BE SEEDED	
GRADING LIMITS		UNDISTURBED AREA	
FILTER SOCK		RIP-RAP	
SILT FENCE		GRAVEL ENTRANCE	
INLET PROTECTION		STAGING AREA	
PORTABLE RESTROOM		TEMPORARY SEDIMENT BASIN	
TEMPORARY STANDPIPE			
CONCRETE WASHOUT PIT			



1459 Grand Avenue  
 Des Moines, Iowa 50309  
 P: 515-226-0128  
 F: 515-223-9873

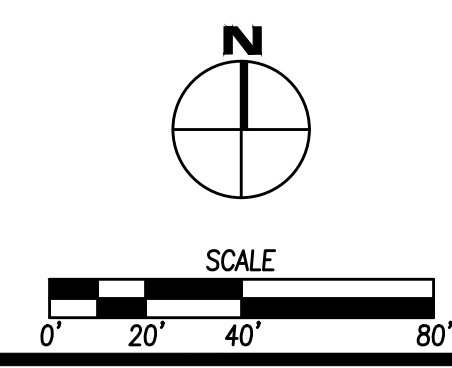
**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**EROSION AND SEDIMENT CONTROL PLAN**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

REVISIONS	DATE	REVISION DESCRIPTION

DATE: 11-13-2020  
 SHEET NUMBER:  
**C2.3**

FILE: H:\2020\2005259\DWG\2005259-SITE.DWG  
 COMMENTS:  
 DATE PLOTTED: 11/17/2020 10:45 AM  
 PLOTTER: HP DesignJet 2400  
 PLOTTER: HP DesignJet 2400







**PROJECT TEAM:**

**OWNER/DEVELOPER/APPLICANT:**

KUM & GO L.C.  
1459 GRAND AVENUE  
DES MOINES, IA 50309  
ATTN: BRITNI ANDREASSEN  
PH: (515) 457-6083

**WATER:**

DES MOINES WATER WORKS  
2201 GEORGE FLAGG PARKWAY  
DES MOINES, IOWA 50321  
CONTACT: BRYAN POLLPETER  
PH: (515) 323-6204

**ENGINEER:**

CIVIL DESIGN ADVANTAGE, LLC  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
CONTACT: KEITH WEGGEN  
PH: (515) 369-4400

**SANITARY SEWER:**

CITY OF CUMMING  
300 WESTOWN PARKWAY  
WEST DES MOINES, IA 20566  
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)  
(515) 225-8000

**LANDSCAPE ARCHITECT:**

CIVIL DESIGN ADVANTAGE, LLC  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
CONTACT: KEITH WEGGEN  
PH: (515) 369-4400

**ELECTRIC:**

MIDAMERICAN ENERGY COMPANY  
3500 104TH STREET  
URBANDALE, IA 50322  
CONTACT: CRAIG RANFELD  
PH: (515) 252-6632

**SURVEYOR:**

CIVIL DESIGN ADVANTAGE, LLC  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
CONTACT: KEITH WEGGEN  
PH: (515) 369-4400

**STORM SEWER:**

CITY OF CUMMING  
300 WESTOWN PARKWAY  
WEST DES MOINES, IA 20566  
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)  
(515) 225-8000

**TELEPHONE/CABLE:**

CENTURYLINK  
2103 EAST UNIVERSITY AVENUE  
DES MOINES, IA 50317  
CONTACT: MINDI BURGETT  
PH: (515) 263-7230

**BUILDING DEPARTMENT:**

CITY OF CUMMING  
300 WESTOWN PARKWAY  
WEST DES MOINES, IA 20566  
CONTACT: JASON VANAUSDALL (VEENSTRA & KIMM)  
(515) 225-8000

**GEOTECHNICAL ENGINEER:**

TERRACON CONSULTANTS, INC.  
600 SW 7TH STREET, SUITE M  
DES MOINES, IOWA 50309  
BRETT BRADFIELD  
PH: (515) 244-3184

**BENCH MARKS**

CITY OF WEST DES MOINES BM# 108 LOCATED AT THE INTERSECTION OF 105TH STREET AND WARREN AVENUE, NORTH OF INTERSECTION, 4 FEET WEST OF THE CENTERLINE EXTENDED, 20 FEET SOUTH OF THE EAST/WEST FENCE. ELEVATION=211.96

CITY OF WEST DES MOINES BM# 140 LOCATED AT THE NW CORNER OF ADAMS STREET AND 20TH AVENUE, 4 FEET SOUTH OF POWER POLE, 38 FEET WEST OF CENTERLINE OF 20TH AVENUE, 68 FEET NORTH OF CENTERLINE OF ADAMS STREET. ELEVATION=183.87

**PROPERTY DESCRIPTION**

LOT 1, SPANGLER PLAT 1 AN OFFICIAL PLAT IN THE CITY OF CUMMING, WARREN COUNTY, IOWA, INCLUDING 2.99 ACRES (130,375 SF).

**UTILITY WARNING**

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

**CONSTRUCTION SCHEDULE**

ANTICIPATED START DATE = 11/01/2020  
ANTICIPATED FINISH DATE = 11/01/2021

REFER TO GEOTECHNICAL ENGINEERING REPORT NO. 08205135 PREPARED BY TERRACON CONSULTANTS, INC. FOR GEOTECHNICAL REQUIREMENTS

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

**PRELIMINARY**

**NOT FOR CONSTRUCTION**

JOHN PATRICK BECKER, P.E. DATE \_\_\_\_\_  
LICENSE NO. 55523  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020  
PAGES OR SHEETS COVERED BY THIS SEAL:  
1-10



*WHERE & MEANS MORE*

**PUBLIC IMPROVEMENT DRAWINGS**  
**STORE #0198**  
**I-35 & CUMMING AVENUE**  
**CUMMING, IA 50061**

**SHEET INDEX**

1	COVER SHEET
2	TYPICAL SECTIONS AND DETAILS
3	QUANTITIES, NOTES AND REFERENCE NOTES
4	TOPOGRAPHIC SURVEY / DEMOLITION PLAN
5	GRADING PLAN
6	SANITARY SEWER & WATERMAIN PLAN AND PROFILE
7-8	STORM SEWER PLAN & PROFILE
9-10	JOINTING PLAN

**SITE DATA**

STORE TYPE		INTERSTATE
CANOPY / DISPENSER ARRANGEMENT		5 DISPENSERS (SINGLE), 3 HI-FLOW DISPENSERS
TYPE OF USE		CONVENIENCE STORE WITH FUEL
HEIGHT	BUILDING	21'-0"
	TOP OF BLADE WALL	22'-7"
	CANOPY	20'-10"
	DIESEL CANOPY	19'-0"
GROSS FLOOR AREA		6,015 S.F.
GROSS CANOPY AREA		4,536 S.F.
GROSS LOT AREA		±130,375 S.F.
FAR (INCLUDING CANOPY)		0.08
KUM & GO BUILDING COVERAGE		6,015 S.F. (4.6%)
LANDSCAPE COVERAGE		50,095 SF (38.4%)
PARKING/DRIVE/ COVERAGE		74,283 SF (57.0%)
BICYCLE PARKING		N/A
REQUIRED PARKING	STANDARD	31
	ADA	1
	TOTAL	32
	PARKING RATIO = 1 SPACE/ 187 GFA	
PROVIDED PARKING		N/A
PROVIDED PARKING	STANDARD	25
	ADA	2
	TRUCKS	5
	TOTAL	32
PARKING RATIO = 5.4 CARS/1000 S.F.		

**ZONING INFORMATION**

ZONE: C-1 HIGHWAY COMMERCIAL DISTRICT	
MINIMUM LOT AREA (SQUARE FEET)	
MINIMUM LOT WIDTH (FEET)	
SITE AREA PER UNIT (SQUARE FEET)	N/A
FRONT YARD SETBACK (FEET)	50
FRONT YARD CANOPY SETBACK (FEET)	15
LEFT SIDE YARD SETBACK (FEET)	0
RIGHT SIDE YARD SETBACK (FEET)	0
REAR YARD SETBACK (FEET)	0
BUILDING MAXIMUM HEIGHT (FEET)	35
CANOPY MAXIMUM HEIGHT (FEET)	20
MAXIMUM BUILDING COVERAGE	N/A

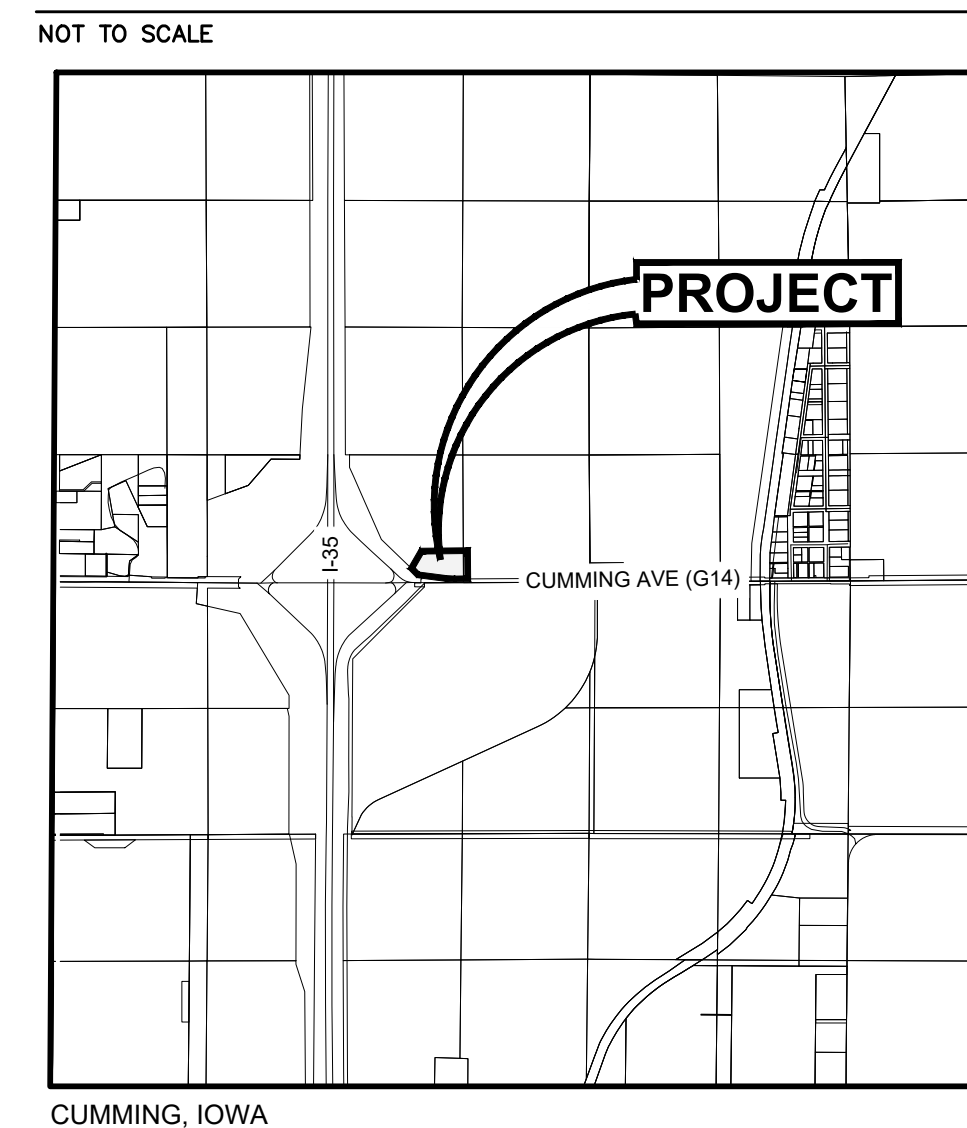
**GENERAL LEGEND**

PROPOSED	EXISTING
LOT LINE	SANITARY MANHOLE
CENTER LINE	WATER VALVE BOX
RIGHT OF WAY	FIRE HYDRANT
PERMANENT EASEMENT	WATER CURB STOP
TEMPORARY EASEMENT	STORM SEWER MANHOLE
TYPE SW-501 STORM INTAKE	STORM SEWER SINGLE INTAKE
TYPE SW-503 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-401 STORM MANHOLE	FLARED END SECTION
TYPE SW-301 SANITARY MANHOLE	DECIDUOUS TREE
STORM/SANITARY CLEANOUT	CONIFEROUS TREE
WATER VALVE	DECIDUOUS SHRUB
FIRE HYDRANT ASSEMBLY	CONIFEROUS SHRUB
SIGN	ELECTRIC POWER POLE
DETECTABLE WARNING PANEL	GUY ANCHOR
SANITARY SEWER WITH SIZE	STREET LIGHT
STORM SERVICE	UTILITY POLE W/ TRANSFORMER
WATERMAIN WITH SIZE	UTILITY POLE W/ LIGHT
SAWCUT (FULL DEPTH)	ELECTRIC BOX
SILT FENCE	ELECTRIC TRANSFORMER
	ELECTRIC MANHOLE OR VAULT
	TRAFFIC SIGN
	TELEPHONE JUNCTION BOX
	TELEPHONE MANHOLE/VAULT
	TELEPHONE POLE
	GAS VALVE BOX
	CABLE TV JUNCTION BOX
	CABLE TV MANHOLE/VAULT
	BENCH MARK
	SOIL BORING
	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

**SUBMITTAL DATES**

SUBMITTAL #1: SEPTEMBER 11, 2020  
SUBMITTAL #2: OCTOBER 29, 2020  
SUBMITTAL #3: NOVEMBER 13, 2020

**VICINITY MAP**



CUMMING, IOWA

NOT TO SCALE

FILE: I:\2020\20200513\IOWA\20200513-PUBLIC-IMPROVEMENT-DRAWINGS.DWG  
DATE PLOTTED: 11/17/2020 11:09 AM  
PLOTTED BY: DAN SOTO

CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



**CIVIL DESIGN ADVANTAGE**  
3405 SE CROSSROADS DR., SUITE G, GRIMES, IOWA 50111  
PH: (515) 369-4400 FAX: (515) 369-4410  
PROJECT NO. 2005-259



1459 GRAND AVENUE  
Des Moines, Iowa 50309  
P: 515-226-0128  
F: 515-223-9873

**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**COVER SHEET**

KG PROJECT TEAM:  
RDR:  
SDM:  
CPM:

REVISION DESCRIPTION	DATE

DATE: 11-13-2020

SHEET NUMBER:

**1 OF 10**



**ESTIMATED PROJECT QUANTITIES**

ITEM NO.	ITEM DESCRIPTION	UNIT	QUANTITY
1	CLEARING AND GRUBBING	LS	1
2	TOPSOIL STRIP, SALVAGE AND SPREAD	LS	1
3	EXCAVATION	SY	1,848
4	SUBGRADE PREPARATION	SY	1,848
5	SANITARY SEWER GRAVITY MAIN, TRENCHED, PVC, 8 IN. DIA.	LF	209
6	SANITARY SEWER SERVICE STUB, PVC 4 IN. DIA.	EA	1
7	STORM SEWER, TRENCHED, RCP, 15 IN. DIA.	LF	69
8	STORM SEWER, TRENCHED, RCP, 18 IN. DIA.	LF	242
9	STORM SEWER, TRENCHED, RCP, 24 IN. DIA.	LF	182
10	STORM SEWER, 24 IN. RCP APRON WITH APRON GUARD	EA	1
11	WATER MAIN, TRENCHED, PVC, 8 IN. DIA.	LF	390
12	VALVE 8 IN. DIA.	EA	2
13	TAPPING SLEEVE AND VALVE	EA	1
14	FIRE HYDRANT ASSEMBLY	EA	1
15	BLOWOFF HYDRANT	EA	1
16	SANITARY MANHOLE, TYPE SW-301, 48 IN. DIA	EA	1
17	STORM INTAKE, TYPE SW-505	EA	3
18	STORM INTAKE, TYPE SW-506	EA	3
19	PAVEMENT P.C.C. 8 IN.	SY	1,655
20	SIDEWALK, P.C.C. 4 IN	SF	248
21	DETECTABLE WARNING PANELS	SF	16
22	PAVEMENT HMA REMOVAL	SY	176
23	GRAVEL SURFACE REMOVAL	SY	67
24	FENCE REMOVAL	LF	70
25	PERMANENT ROAD CLOSURE URBAN SI-182	EA	1
26	PAINTED PAVEMENT MARKINGS, WATERBORNE	STA	6.65
27	PAINTED PAVEMENT SYMBOLS, WATERBORNE	EA	10

**ESTIMATE REFERENCE INFORMATION**

DATA LISTED BELOW IS FOR INFORMATIONAL PURPOSE ONLY AND SHALL NOT CONSTITUTE A BASIS FOR ANY EXTRA WORK ORDERS.

ITEM NO.	DESCRIPTION
	THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE CITY OF CUMMING SUPPLEMENTAL SPECIFICATIONS, AND THE CUMMING WATER UTILITY SPECIFICATIONS SHALL APPLY TO ALL WORK ON THIS PROJECT EXCEPT AS MODIFIED HEREIN. ALL REFERENCES TO SECTIONS AND FIGURES ARE TO THE 2020 SUDAS SPECIFICATIONS.
	ALL REFERENCES TO SECTIONS AND FIGURES ARE TO THE 2020 SUDAS STANDARD SPECIFICATIONS AND CITY OF CUMMING WATER UTILITY STANDARD SPECIFICATIONS.
1	CLEAR AND GRUB ALL AREAS AFFECTED BY GRADING OPERATIONS. THE CONTRACTOR SHALL FIELD VERIFY CLEARING AND GRUBBING NEEDS PRIOR TO BIDDING. INCLUDES REMOVAL OF HOUSES, BUILDINGS, APPURTENANCES, TREES AND UTILITIES INCLUDING WELL ABANDONMENTS ASSOCIATED WITH SAID HOUSES. REMOVAL OF ALL FENCES AND TREES INCLUDED IN THIS BID ITEM. ALL MATERIAL THAT IS REMOVED FROM THE PROJECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
2	STRIP, SALVAGE AND SPREAD THE TOP 6 INCHES OF SOIL IN ALL DISTURBED AREAS. RESPREAD TOPSOIL IN PLAT 1 AREA. STOCKPILE TOPSOIL FOR RESPREAD IN FUTURE PLAT 2. THE TOP 6 INCHES OF SOIL TO BE RESPREAD SHALL BE FREE OF ROCK AND DEBRIS AND BE SUITABLE FOR THE GROWTH OF GRASS.
3	EXCAVATION INCLUDES ALL WORK NECESSARY TO ACHIEVE PROPER GRADES AS SHOWN IN PLANS. NO PAYMENT FOR OVERHAUL SHALL BE ALLOWED. SHRINKAGE WAS ASSUMED TO BE 30%.
4	REFER TO SHEET 2 FOR TYPICAL LOCATIONS AND THICKNESS. COMPACT THE TOP 12 INCHES OF SUBGRADE TO NOT LESS THAN 95% MAXIMUM STANDARD PROCTOR DRY DENSITY WITH A MOISTURE CONTENT AS SPECIFIED IN THE GEOTECHNICAL REPORT. SUBGRADE TO BE PREPARED IN 2 - 6 INCH LIFTS.
5-6	REFER TO FIG. 3010.101 - TRENCH BEDDING AND BACKFILL ZONES AND FIG. 3010.103 - FLEXIBLE GRAVITY PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL. SANITARY SEWER SHALL BE SOLID WALL PVC OR PVC TRUSS PIPE. TELEWISE SANITARY SEWER PRIOR TO PAVING AND PROVIDE TELEVISION REPORT TO CITY IN HARD COPY AND DISC FORMAT. TELEVISION SHALL BE CONSIDERED INCIDENTAL. CONNECTION TO EXISTING SANITARY SEWER SHALL BE CONSIDERED INCIDENTAL. CERTIFICATION FROM A GEOTECHNICAL ENGINEER RELATED TO SETTLEMENT OF THE TRENCHES SHALL BE REQUIRED BEFORE PAVING.
7-10	REFER TO FIG. 3010.101 - TRENCH BEDDING AND BACKFILL ZONES, FIG. 3010.102 - RIGID GRAVITY PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS, FIG. 3010.103 - FLEXIBLE GRAVITY PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL. PIPE LENGTH INCLUDES PIPE APRON. TELEWISE STORM SEWER PRIOR TO PAVING AND PROVIDE TELEVISION REPORT TO CITY IN HARD COPY AND DISC FORMAT. TELEVISION SHALL BE CONSIDERED INCIDENTAL.
	WHERE THE STORM SEWER CROSSES OVER THE WATER MAIN LOCATE ONE FULL LENGTH OF REINFORCED CONCRETE PIPE (RCP) WITH FLEXIBLE O-RING GASKET JOINTS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN.
11-15	REFER TO FIG. 3010.101 - TRENCH BEDDING AND BACKFILL ZONES AND FIG. 3010.104 - PRESSURE PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL GRANULAR PIPE BEDDING MATERIAL SHALL BE CONSIDERED INCIDENTAL. REFER TO FIG. 5010.101 FOR THRUST BLOCK DETAILS. REFER TO FIG. 5010.102 FOR TRACER WIRE DETAILS. CONNECTIONS TO EXISTING WATER MAIN, ALL FITTINGS, PIPE BEDDING MATERIAL, POLYETHYLENE ENCASEMENT, THRUST BLOCKS AND TRACER WIRE SYSTEM SHALL BE CONSIDERED INCIDENTAL. ALL WATER MAIN SHALL BE INSTALLED A MINIMUM OF 5.5 FEET BELOW FINISHED GRADE.
11	INCLUDES VALVE, VALVE BOX AND COVER, VALVE BOX EXTENSION, AND VALVE STEM EXTENSION.
14-15	REFER TO FIG. 5020.201 - FIRE HYDRANT ASSEMBLY FOR FIRE HYDRANT CONSTRUCTION DETAILS. INCLUDES ANCHORING TEE, ANCHORING ELBOW, GATE VALVE, VALVE BOX, ANCHORING PIPE, ANCHORING COUPLING, ELBOWS, TRACER WIRE STATION, FIRE HYDRANT AND THRUST BLOCKS.
16	REFER TO FIG. 6010.301 - CIRCULAR SANITARY SEWER MANHOLE (SW-301) FOR CONSTRUCTION DETAILS. REFER TO FIG. 6010.601 - CASTINGS FOR SANITARY SEWER MANHOLES FOR CASTING DETAILS. TYPE B CASTINGS REQUIRED FOR ALL MANHOLES IN PAVEMENT. THE MAXIMUM HEIGHT OF ADJUSTING RINGS ALLOWED FOR MANHOLE CASTINGS IS 12 IN. ROTATE STRUCTURE CONES AWAY FROM FUTURE SIDEWALKS.
17	REFER TO FIG. 6010.505 - DOUBLE GRATE INTAKE (SW-505) FOR CONSTRUCTION DETAILS. REFER TO FIG. 6010.602 - CASTINGS FOR STORM SEWER MANHOLES FOR CASTING DETAILS. TYPE F CASTINGS REQUIRED FOR ALL MANHOLES IN PAVEMENT. THE MAXIMUM HEIGHT OF ADJUSTING RINGS ALLOWED FOR MANHOLE CASTINGS IS 12 INCHES. ROTATE STRUCTURE CONES AWAY FROM FUTURE SIDEWALKS.
18	REFER TO FIG. 6010.50 - DOUBLE GRATE INTAKE WITH MANHOLE (SW-506) FOR CONSTRUCTION DETAILS. REFER TO FIG. 6010.602 - CASTINGS FOR STORM SEWER MANHOLES FOR CASTING DETAILS. TYPE F CASTINGS REQUIRED FOR ALL MANHOLES IN PAVEMENT. THE MAXIMUM HEIGHT OF ADJUSTING RINGS ALLOWED FOR MANHOLE CASTINGS IS 12 INCHES. ROTATE STRUCTURE CONES AWAY FROM FUTURE SIDEWALKS.
19	REFER TO FIG. 7030.101 - JOINTS FOR CONSTRUCTION. REFER TO INTERSECTION SHEET FOR JOINTING AND GEOMETRIC PLAN DETAILS. TYPICAL 'CD' JOINT SPACING IS 15 FEET. COARSE AGGREGATE FOR PCC PAVEMENT SHALL BE CLASS 3 DURABILITY.
20	REFER TO FIG. 7030.210 FOR GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK AND FIG. 7030.207 - CURB RAMPS FOR CLASS B OR C SIDEWALK FOR CONSTRUCTION DETAILS. REFER TO INTERSECTION DETAILS FOR SIDEWALK GRADES, SIDEWALK SLOPES SHALL NOT EXCEED A CROSS SLOPE OF 1.5%. DETECTABLE WARNING PANELS TO BE ARMOR TILE ADA SOLUTIONS OR APPROVED EQUAL, RED IN COLOR ACCESSIBLE RAMPS SHALL BE 6" THICK P.C.C. AND CROSS SLOPES SHALL NOT EXCEED 1.5%.
22-24	INCLUDES ALL MATERIALS, EQUIPMENT AND LABOR TO PERFORM REMOVALS. ALL REMOVALS SHALL BECOME PROPERTY OF THE CONTRACTOR.
25	REFER TO IOWA DEPARTMENT OF TRANSPORTATION STANDARD ROAD PLAN DRAWING S-182 AND DETAIL ON SHEET 2 FOR CONSTRUCTION DETAILS. SIGNS SHALL BE BLACK DIAMOND WITH RED DOTS.
26-27	REFER TO IDOT STD. RD. PLAN PM-110 - LINE TYPES, TABULATIONS 108-22 AND 108-29 ON SHEET 2 AND SHEETS 6-7 FOR LOCATIONS. INCLUDES ALL MATERIAL, LABOR AND EQUIPMENT, CLEANING AND PREPARING THE PAVEMENT SURFACE, GROOVE MARKINGS AND SYMBOLS INTO SURFACE, AND APPLICATION OF PAVEMENT MARKINGS AND SYMBOLS IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.

**GENERAL NOTES**

- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING:
  - CITY OF CUMMING
  - APPROPRIATE UTILITY COMPANIES
  - OWNER
  - CIVIL DESIGN ADVANTAGE
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN ALL SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT. INCLUDING STAGING OF CONSTRUCTION DETAILS.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- THE CONTRACTOR MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR THE CITY, TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY.
- SPECIAL CARE SHALL BE TAKEN WHEN FORMING AT INTERSECTIONS SO THE PROFILES SHOWN ON THE PLANS AND THE ELEVATIONS SHOWN ON THE INTERSECTION DETAILS ARE OBTAINED. SHORT LENGTHS OF FORMS OR FLEXIBLE FORMS MAY BE NECESSARY AT THESE LOCATIONS.
- TO OBTAIN THE CORRECT FORM GRADES AT LOW POINTS WHERE INTAKES ARE LOCATED, THE CONTRACTOR MUST EXERCISE ADDITIONAL CARE WHEN PAVING FULL WIDTH PAVEMENTS. THIS MAY REQUIRE POURING ONE HALF OF THE PAVEMENT AT A TIME OR OTHER METHODS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE PROPOSED AND EXISTING RIGHT OF WAY, CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS.
- PLAN AND PROFILE SHEETS INCLUDED IN THE PROJECT ARE FOR THE PURPOSE OF ALIGNMENT, LOCATION AND SPECIFIC DIRECTIONS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT. IRRELEVANT DATA ON THESE SHEETS IS NOT TO BE CONSIDERED A PART OF THIS CONTRACT.
- THE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH AND COMPLY WITH OSHA STANDARDS. NOTHING WITHIN THESE PLANS SHALL RELIEVE THE CONTRACTOR OF THIS REQUIREMENT.
- CIVIL DESIGN ADVANTAGE WILL PROVIDE ALL CONSTRUCTION STAKING ON THIS PROJECT. NOTIFY MIKE BROONER (369-4400) A MINIMUM OF 48 HOURS BEFORE CONSTRUCTION STAKES ARE REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES REQUIRED ON THE STORM WATER POLLUTION PREVENTION PLAN.
- IN THE EVENT OF A DISCREPANCY BETWEEN DETAILED PLANS AND QUANTITIES, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL. ALL TRAFFIC CONTROL SHALL COMPLY WITH MUTCD AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO ENGINEER FOR NOTATION ON AS-BUILTS INCLUDING LOCATION, TYPE OF TILE, & TILE ELEVATION.
- PRIOR TO ANY WORK AT THIS SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- CONTRACTOR SHALL COMPLY WITH ALL PROWAG A.D.A. REQUIREMENTS FOR ACCESSIBLE SIDEWALK RAMPS INCLUDING RAISED TRUNCATED DOME DETECTABLE WARNINGS.
- CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- ALL MATERIAL TESTING SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION.
- ALL MANHOLE THREE PIECE CASTINGS SHALL BE BOXED OUT IN THE PAVEMENT.
- THE GRADING OF THE DETENTION FACILITY AND INSTALLATION OF THE STORM SEWER SYSTEM SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN THE SIZE OF IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.
- BENDS SHOULD BE INSTALLED AS NEEDED THROUGHOUT THE PLAN.
- WATER MAIN INSTALLATION SHALL COMPLY WITH THE CITY OF CUMMING WATER UTILITY STANDARD SPECIFICATIONS.

**GRADING NOTES**

- GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS INC., DATED AUGUST 24, 2020, PROJECT NO. 08205135
- SOILS EXPOSED IN RELATIVELY DEEPER CUT AREAS ARE ANTICIPATED TO BE SENSITIVE TO DISTURBANCE DURING CONSTRUCTION, AS WELL AS REQUIRE AIR DRYING OR CHEMICAL MODIFICATION TO ACHIEVE SUITABLE COMPACTION AND STABILITY.
- WHERE RELATIVELY HIGH WATER CONTENT SOILS ARE ENCOUNTERED, THE SUBGRADE DEVELOPMENT MAY REQUIRE STRIPPING/UNDERCUTTING OF SITE SOILS TO DEPTHS OF AT LEAST 2 FEET BELOW PLANNED SUBGRADE LEVEL TO SUPPORT PAVEMENT SECTIONS ABOVE AT LEAST 2 FEET OF NEW STRUCTURAL FILL.
- AT LEAST 1-1/2 FEET OF LOW PLASTICITY COHESIVE SOIL REQUIRED BELOW FLOOR SLABS AND GRADE SUPPORTED EXTERIOR SLABS.
- DEWATERING OF EXCAVATIONS SHOULD BE ANTICIPATED.
- UNDERCUTS AND PLACEMENT OF AT LEAST 6 INCHES OF CRUSHED STONE SHOULD BE ANTICIPATED AT THE BASE OF DEEPER EXCAVATIONS.
- REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION REGARDING FILL COMPACTION REQUIREMENTS, UTILITY TRENCH BACKFILL, CHEMICAL TREATMENT OF SOILS, FILL MATERIAL TYPES, ETC.

FILE: \\A:\2020\20205135\DWG\CONSEWER\_PCC\CONSEWER\_PCC\CONSEWER\_PCC\CONSEWER\_PCC.dwg  
 FILE DATE: 11/12/2020 11:09 AM  
 DATE PLOTTED: 11/12/2020 11:09 AM  
 PLOTTED BY: DAN SOTO  
 TECH:



1459 GRAND AVENUE  
 Des Moines, Iowa 50309  
 P: 515-226-0128  
 F: 515-223-9873

**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**QUANTITIES, NOTES AND REFERENCE NOTES**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

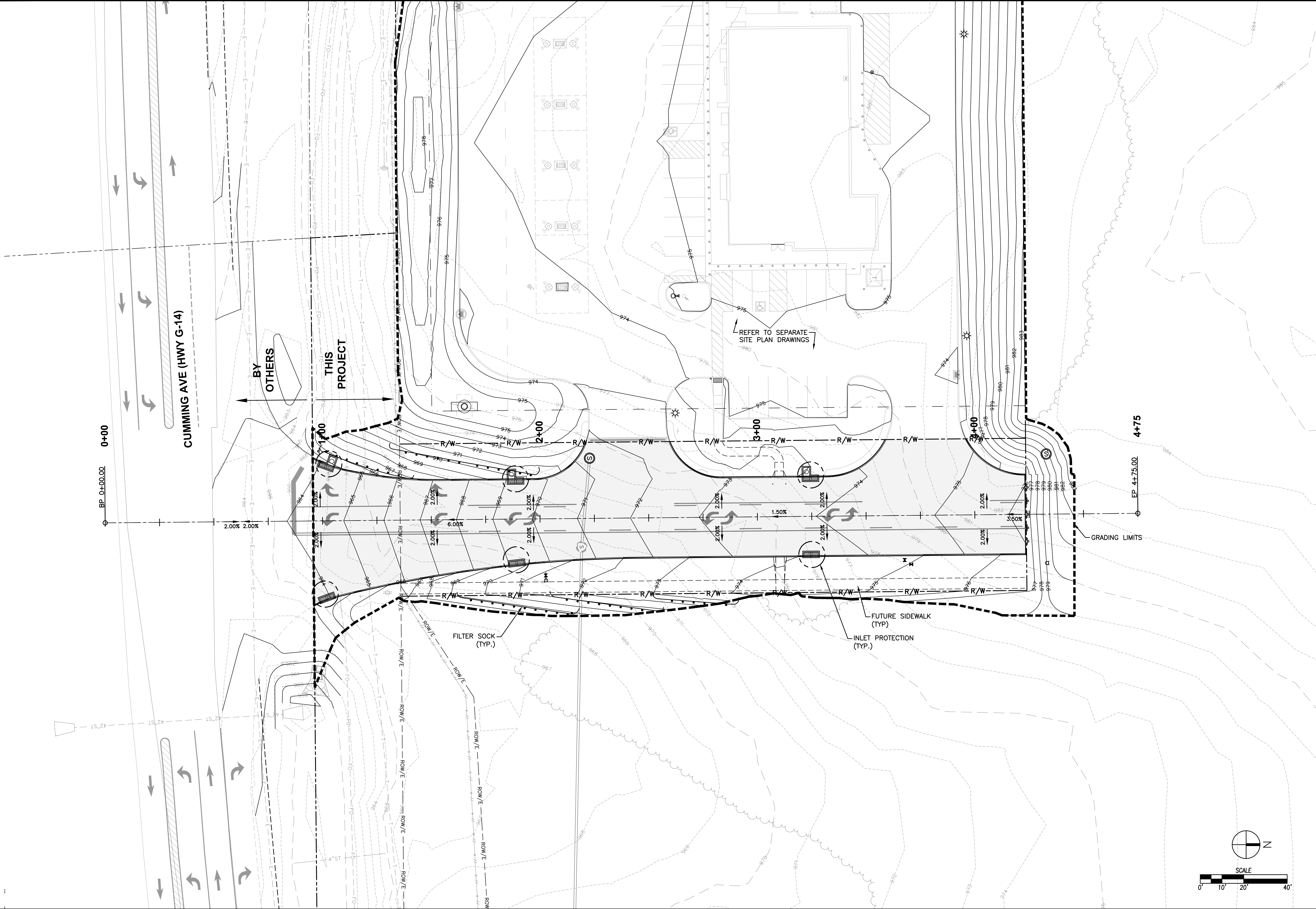
REVISION DESCRIPTION	DATE	BY

DATE: 11-13-2020

SHEET NUMBER:  
**3 OF 10**



FILE: \\A:\2020\2020259 DWA\20259A - PUBLIC IMPROVEMENT DRAWINGS.dwg  
 FILE DATE: 11/12/20 DATE PLOTTED: 11/12/2020 11:09 AM COMMENT:  
 TECH: ENG



1459 GRAND AVENUE  
 Des Moines, Iowa 50309  
 P: 515-226-0128  
 F: 515-223-9873

**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**GRADING PLAN**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

DATE	REVISION DESCRIPTION

DATE: 11-13-2020

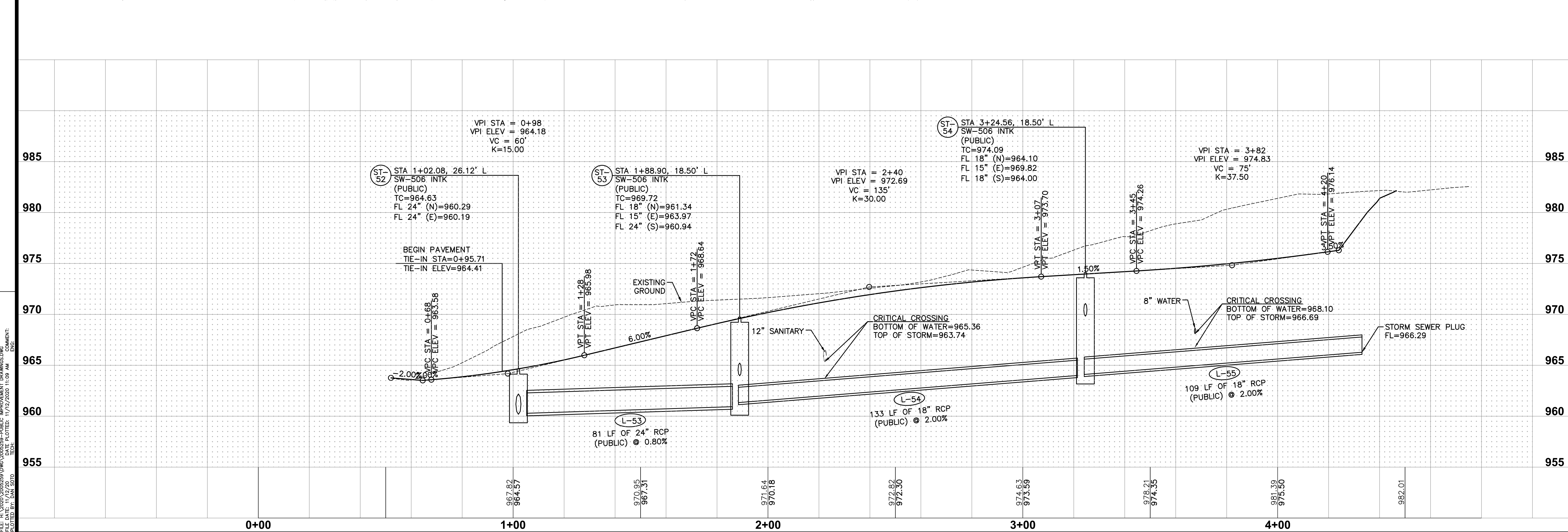
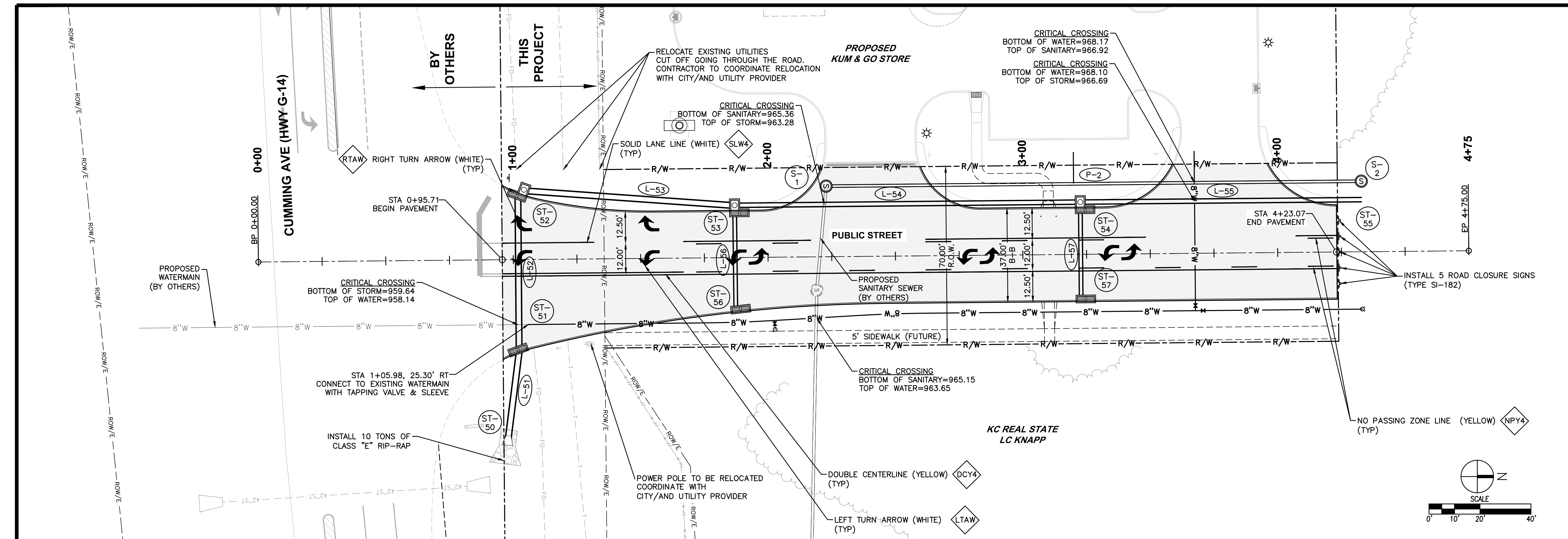
SHEET NUMBER:

**5 OF 10**

REVISIONS







FILE: N:\2020\202020\0198 - CUMMING - PUBLIC IMPROVEMENT DRAWINGS.DWG  
 FILE DATE: 11/12/20  
 COMMENT: DATE PLOTTED: 11/12/2020 11:09 AM  
 TECH: DAN SOTO



1459 GRAND AVENUE  
 Des Moines, Iowa 50309  
 P: 515-226-0128  
 F: 515-223-9873

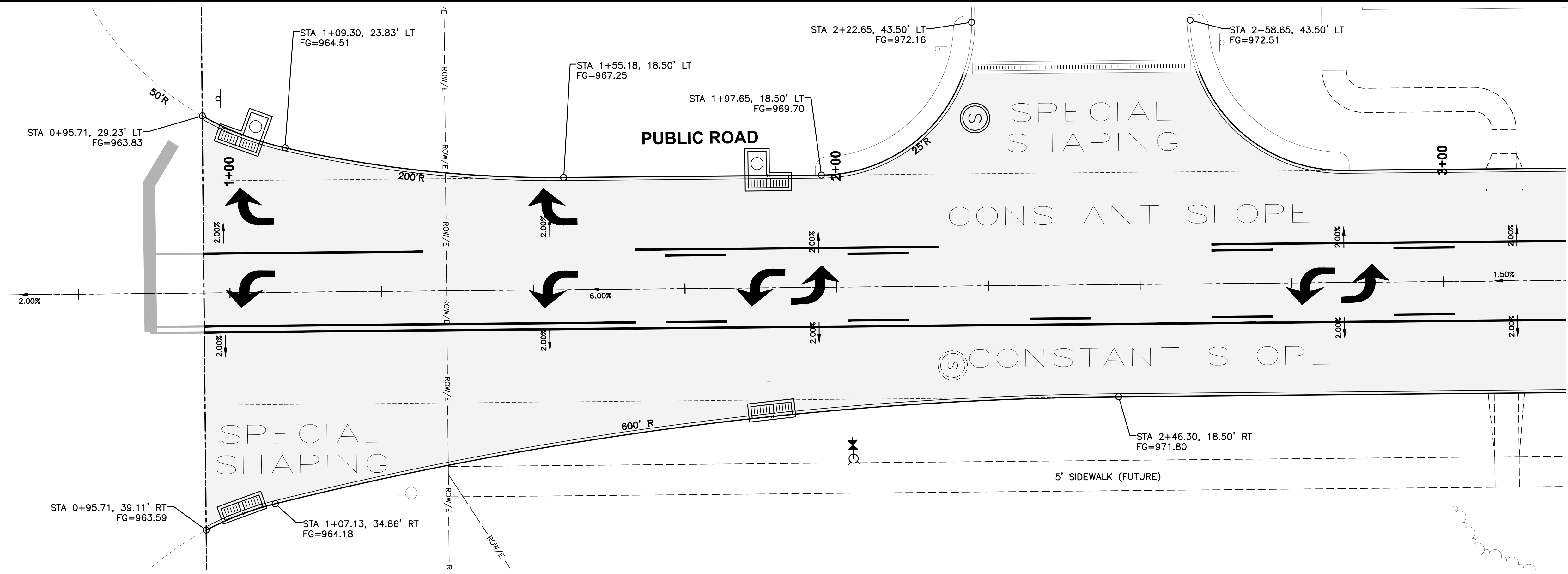
**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**STORM SEWER PLAN & PROFILE**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

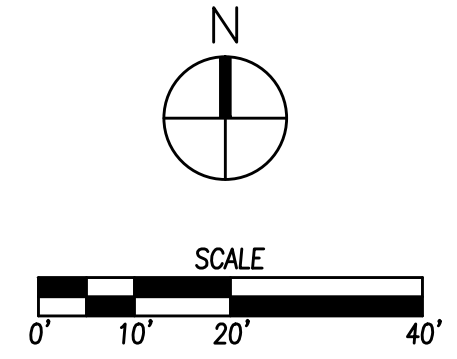
DATE	REVISION DESCRIPTION

DATE: 11-13-2020

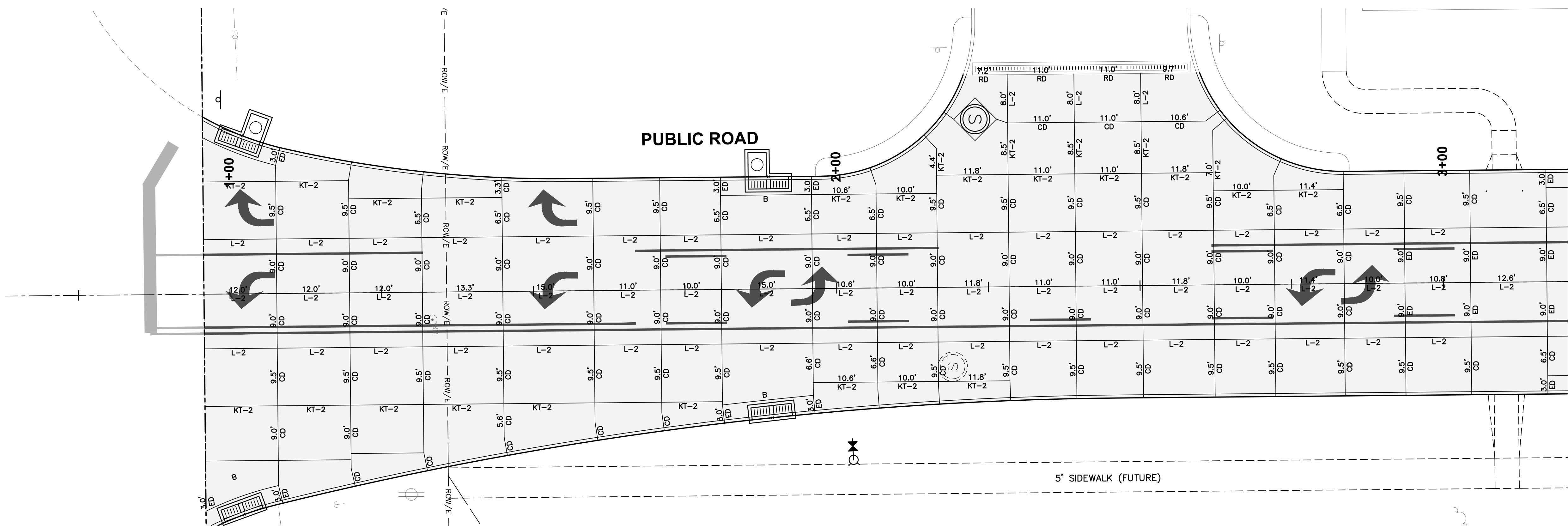




**GEOMETRICS AND STAKING LAYOUT**



- NOTES:**
- ELEVATIONS SHOWN ARE TOP OF SLAB AND/OR FORM GRADE.
  - DROP CURBS AT LOCATIONS SHOWN FOR FUTURE ACCESSIBLE RAMPS.
  - REFER TO FIGURE 6010.514 FOR GRATE INTAKE BOXOUT FOR PCC PAVEMENT DETAILS.



**JOINTING PLAN**



1459 GRAND AVENUE  
 Des Moines, Iowa 50309  
 P: 515-226-0128  
 F: 515-223-9873

**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**INTERSECTION DETAILS**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CPM:

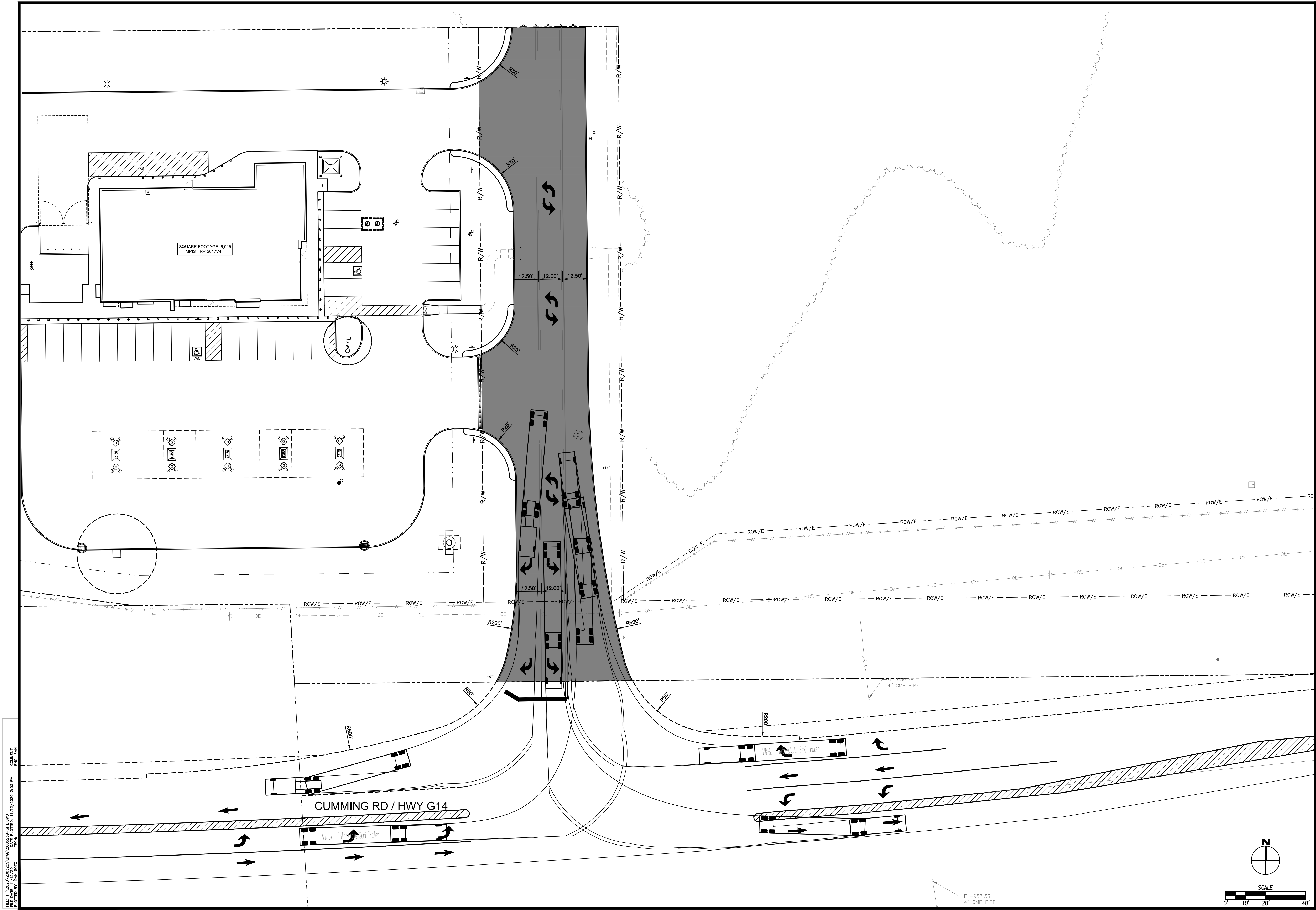
DATE	REVISION DESCRIPTION

DATE: 11-13-2020

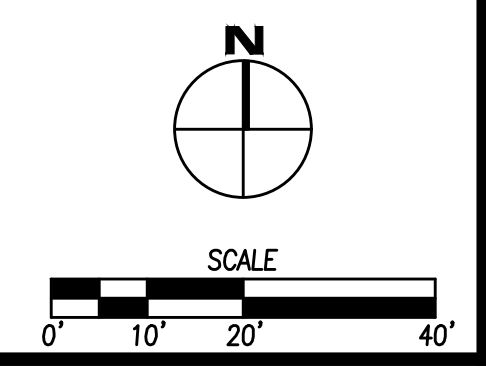
SHEET NUMBER:  
**9 OF 10**

FILE: \\A:\2020\2020589 DUNA CONCRETE PUBLIC IMPROVEMENT DRAWINGS.DWG  
 FILE DATE: 11/12/2020 11:10 AM COMMENT:  
 DATE PLOTTED: 11/12/2020 11:10 AM  
 PLOTTED BY: DAN SOTO  
 TECH:





FILE: H:\2020\20052589\DWG\20052589-SITE.DWG  
 PLOT DATE: 11/13/2020 2:53 PM  
 DATE PLOTTED: 11/13/2020  
 PLOTTER: HP DesignJet 5000



1459 Grand Avenue  
 Des Moines, Iowa 50309  
 P: 515-226-0128  
 F: 515-223-9873

**0198 - CUMMING, IOWA**  
**I-35 & CUMMING AVENUE**  
**AUTOTURN EXHIBIT - WB-67**

KG PROJECT TEAM:  
 RDR:  
 SDM:  
 CRM:

REVISIONS	DATE	REVISION DESCRIPTION

DATE: 11-13-2020

SHEET NUMBER:

**10** OF **1**

PLOT BY: AUSTIN ROEMER - 2020/11/29 - Q:\E-FILES\B000E895\CAD Drawings\Schematic\EB345 G-14 IMPROVEMENTS.dwg - ANSI EXPAND D (94.00 X 22.00 INCHES) - DWG TO PDF.PCS - CEC-XES TEST.CTB - PLOT SCALE = 1/1



I-35 NORTHBOUND  
ON RAMP

I-35 EXIT 65  
G-14 OFF RAMP

OWNER:  
KC REAL ESTATE LC KNAPP  
PROOF INC ENTITY NAME  
5000 WESTOWN PKWY STE 400  
WEST DES MOINES IA 50266

OWNER:  
KC REAL ESTATE LC KNAPP  
PROOF INC ENTITY NAME  
5000 WESTOWN PKWY STE 400  
WEST DES MOINES IA 50266

OWNER:  
IOWA DEPARTMENT  
OF TRANSPORTATION

OWNER:  
IOWA DEPARTMENT  
OF TRANSPORTATION

OWNER:  
MIDDLETON FAMILY LC  
3830 GRAND AVE #308  
DES MOINES IA 50312

1  
130,636 S.F.  
3.00 AC.

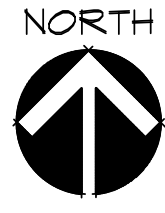
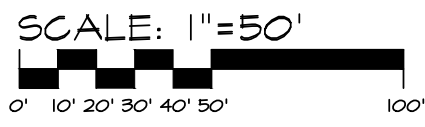
2  
130,680 S.F.  
3.00 AC.

LOT 'A'  
20,153 S.F.  
0.46 AC.

LOT 'B'  
50,321 S.F.  
1.16 AC.

WARREN COUNTY HWY 6-14

HORIZONTAL SCALE  
1"=50' PRINTED ON 22"x34"  
1"=100' PRINTED ON 11"x17"



PRELIMINARY - NOT FOR CONSTRUCTION

COUNTY HIGHWAY 6/14

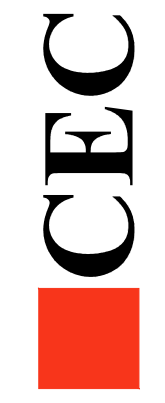
FCC PAVEMENT WIDENING, ----  
PAVEMENT MARKINGS PLAN

SHEET  
D-30  
OF 30  
E-8345

PUBLISH DATE: November 19, 2020

DATE OF SURVEY:	JULY 23, 2020	PC
DESIGNED BY:		MEH
DRAWN BY:		

Civil Engineering Consultants, Inc.  
2400 86th Street, Unit 12, Des Moines, Iowa, 50322  
515.276.4884 · Fax: 515.276.7084 · mail@cecinc.com





6.05 ACRES

8.21 ACRES

5.34 ACRES

6.05 ACRES

OPEN SPACE

INDUSTRIAL COMMERCE

7.13 ACRES

4.09 ACRES

FLEX BUSINESS

5.46 ACRES

7.85 ACRES

4.05 ACRES

9.30 ACRES

2.02 ACRES

4.75 ACRES

4.05 ACRES

OPEN SPACE

3.27 ACRES

2.02 ACRES

SUPPORT COMMERCIAL

7.75 ACRES

2.22 ACRES

2.22 ACRES

8.00 ACRES

SUPPORT COMMERCIAL

SMALL FLEX BUSINESS

2.22 ACRES

2.22 ACRES