

**NOTICE OF REGULAR COUNCIL MEETING
CUMMING CITY COUNCIL
November 23, 2020 – 7:00 p.m.
Cumming City Hall, 649 N 44th St., Cumming Iowa***

- I. **ROLL CALL**
- II. **APPROVAL OF AGENDA** as presented and/or amended
- III. **PUBLIC COMMENT**
- IV. **BOARDS AND COMMISSIONS REPORTS**
 - A. Park and Recreation
 - B. Planning and Zoning
- V. **CONSENT ITEMS**
 - A. 11/9/20 Regular Meeting Minutes
 - B. 11/10/20 Planning & Zoning Special Meeting Minutes
 - C. Claims to Be Approved
- VI. **ACTION/DISCUSSION ITEMS**
 - A. **Public Hearing:** Amending the Code of Ordinances, City of Cumming, IA by Amending Chapter 69 Parking Regulations
 - B. **First Reading of Ordinance 2020-08** An Ordinance Amending the Code of Ordinances of the City of Cumming, Iowa, by Amending Provisions Pertaining to Chapter 69 Parking Regulations
 - C. **Resolution 2020-76** Approving and Authorizing Balance Transfers
 - D. **Resolution 2020-77** Site Plan – Kum & Go
 - E. Authorization to Hire a Deputy Clerk
 - F. Appointment of Planning & Zoning Liaison
 - G. Appointment of Park and Recreation Liaison
- VII. **OLD BUSINESS**
 - A. Designated Truck Route
 - B. N. 34th and N. Cattail Creek Update
- VIII. **REPORTS:**
 - A. Mayor
 - B. Council
 - C. Attorney
 - D. City Administrator
 - F. Deputy Clerk
- IX. **PUBLIC COMMENT**
- X. **UPCOMING CITY COUNCIL MEETING:** Regular Meeting: December 14, 7:00 p.m. at City Hall
- XI. **ADJOURN**

**NOTICE OF REGULAR COUNCIL MEETING
CUMMING CITY COUNCIL
November 23, 2020 – 7:00 p.m.
Cumming City Hall, 649 N 44th St., Cumming Iowa***

*[This meeting will also be held electronically through the Zoom App.](#) If you would like to participate or view this meeting please download the app and choose "Join Meeting" up to 10 minutes prior. If you would like to join by telephone please call: 312-626-6799 and enter the Meeting ID (818 4859 7604) and Password (473018) when prompted. Please keep your microphone muted unless you are called upon to speak during public comment. The standard rules of order apply during this meeting. If have any questions about the operation of this app or how to join please contact City Hall at 515-981-9214.

**OFFICIAL PUBLICATION
CITY OF CUMMING
Regular Council Meeting 11/9/2020
To be Approved at 11/23/20 Regular Meeting**

The Regular City Council Meeting of the City of Cumming was held via Zoom and at City Hall on Monday, November 9, 2020. The Meeting was called to order at 7:00 P.M. by Mayor Tom Becker. Present at Roll Call: Thomas Cackler, Brent Highfill, Kathie Hungerford, and Charlie Ochanpaugh. Dino Goode was absent. Motion by Ochanpaugh, seconded by Cackler to approve the agenda as presented. Approved 4-0.

Public Comment: None

Boards and Commissions Reports:

- A. No Comments by Park and Recreation
- B. No Comments by Planning and Zoning

Consent Items:

Motion by Highfill, seconded by Hungerford to approve the consent items as presented. 10/26/20 Regular Meeting Minutes, 10/27/20 Planning & Zoning Meeting Minutes, October IPERS Wage & Contribution Report, October Fund Balance Report, October Profit & Loss by Fund, October Profit & Loss Budget vs Actual YTD Summary, October Claims Paid & Summary of Receipts, October Revenue Detail, Claims to Be Approved, October Building Permit Log, Fiscal Year 2020 Urban Renewal Report, Tax Increment Financing Indebtedness Certification, Sister Cities Annual Report – Received and File, Resignation of Don Paulin – Planning & Zoning Approved 4-0.

Expenditures:

Kirk Ford	Invoice #5	-300.00
Waste Connections	September 2020 Bill - Inv # 3019733	-2,263.54
Office Depot	office supplies	-75.59
Middlebrook Farm	Friday Night at the Farm Vendor Fees	-100.00
Cardmember Service	8/25-9/23	-166.40
Iowa One Call		-45.00
N/Warren Town & County News	Invoice Dated 9/24/20	-239.96
Veenstra & Kimm Inc.	Engineering costs	-18,351.13
Warren County Oil	Ticket # 0306050	-40.47
Ritchie, Angie	Reimbursements	-260.78
United States Treasury	Notice CP134B	-172.11
Century Link	Replacing Deleted Check?	-326.49
US Bank	Copier Lease	-130.50
Midamerican Energy	Invoices 504904122, 504857514, 505024297, 505012978	-715.87
N/Warren Town & County News	Invoice Dated 10/8/20	-83.35
Skinner Law Office PC	Invoice #16324	-4,203.78
Century Link	Bill Date 10/13/20	-241.55
Ritchie, Angie	Office Supplies/Postage	-61.22
Combined Systems Technology	Inv. # 141714	-3,535.25
Office Depot	Office Supplies	-94.94
Middlebrook Farm	Friday Night at the Farm Vendor Fees	-40.00
Iowa League of Cities	Budget Workshop 2020	-25.00
Accounts Payable Total		<u>-31,472.93</u>
Payroll October		-3,970.06
October Benefits		-1,979.75
October Liabilities/IPERS		-2,898.15
Total		<u>-8,847.96</u>
General Total		<u>-40,320.89</u>
Sewer	WRA Payment - Invoice # 117063	-3,325.10
Capital Projects	Partial Pay Number 2, South Trunk Sewer Phase 3	-89,344.89
		-
Total Expenditures		<u>132,990.88</u>

Action/Discussion Items

- A. Motion by Cackler, seconded Ochanpaugh to approve **Resolution 2020-74** Approving Spangler Plat 1 – Preliminary Plat. Approved 4-0.
- B. Motion by Hungerford, seconded by Cackler to approve **Resolution 2020-75** Set a Date for a Public Hearing to Amend the Code of Ordinances, City of Cumming, Iowa by Amending Chapter 69 Parking Regulations. Approved 4-0.

Old Business:

- A. Potential Truck Route
- B. Work on Fernwood delayed until Spring.

Reports: Mayor: None, Council: None, City Administrator: All meetings going to Zoom until further notice with the exception of possible in person council meetings, Reexamining sewer account, possible Council liaisons in near future, Deputy Clerk: City Hall COVID precautions, Volunteer of the Year discussed.

Public Comment: None

Upcoming City Council Meeting: Regular Council Meeting, Monday, November 23, 2020 at 7:00 p.m. at City Hall/Zoom

Motion by Cackler, seconded by Hungerford to Adjourn at 7:28 p.m. Approved 4-0.

Tom Becker, Mayor

Attest: Angie Ritchie, Deputy Clerk

City of Cumming
Planning and Zoning Commission Meeting
November 10, 2020 Minutes

The Cumming Planning and Zoning Commission held scheduled meeting on November 10, 2020 at 7:00 p.m via Zoom

The meeting was called to order by Vice-Chair, Karen McKinney, at 7:01 p.m.

I. ROLL CALL

Present: Jill Stanford, Matt Daniels, Karen McKinney, Holly De Hamer, Ethan Roos, John Botts,

Absent: none

II. APPROVAL OF AGENDA

Roos moved – Daniels second - unanimously approved

III. CONSENT ITEMS

October 27, 2020 Meeting Minutes

Roos moved – Stanford second - unanimously approved

IV. PUBLIC COMMENT

none

V. ACTION/DISCUSSION ITEMS

A. Kum & Go Site Plan/Public Improvements

Motion to table Daniels -- Stanford Second- unanimously approved

B. Selection of Officers

Chairman: Ethan Roos

Vice Chairman: Karen McKinney

Recorder: Holly De Hamer

VI. Upcoming Planning A Zoning Meeting

A. Regular meeting November 24, 2020 at 7:00 P.M. at City Hall

VII. ADJOURN:

Botts moved – Roos second – unanimously approved –Adjourned 9:07 PM

City of Cumming
Claims To Be Approved
 All Transactions

Type	Date	Num	Name	Memo	Amount
Check	11/23/2020		US Bank	Copier Lease	-118.64
Check	11/23/2020		John McPartland	Reimbursements	-235.72
Check	11/23/2020		Iowa State Bank	Phase 1 Sewer Extension	-4,657.50
Check	11/23/2020		Kirk Ford	Invoice #6	-200.00
Check	11/23/2020		Midamerican Energy	Invoices 505965455, 506038815	-668.32
Check	11/23/2020		Office Depot	Office Supplies	-204.58
Check	11/23/2020		N/Warren Town & C...	Invoice Dated 11/12/20	-144.63
Check	11/23/2020		ClerkBooks, Inc.	Invoice # 6188	-324.95
Check	11/23/2020		Iowa One Call	Invoice #227091	-119.70
Check	11/23/2020		Ritchie, Angie	Traffic Cone Weight	-20.62
Total					-6,694.66

RECOMMENDATION BY THE PLANNING & ZONING COMMISSION

Recommendation:

Aye {Yes} 5 Nay {No} 0
How Many How Many

C. No Parking South Side – All Old Cumming Streets

Motion to include the following:

- N. Callison Avenue, on the south side from North 44th Street to North 43rd street
- N. Callison Avenue, on the south side, from North 43rd to the east end of the street
- N. Dawson Avenue, on the south side from North 44th Street to North 43rd street
- N. Dawson Avenue, on the south side, from North 43rd to the east end of the street

Motion Daniels second Stanford- unanimously approved

Further Review Requested:

By Mayor/City Council By City Attorney By City Planner

Additional Information:

Requested Action To Be Taken By The City Council:

- Motion
- Resolution
- Ordinance

Date: Per 10/27/20 Minutes Signature: _____

Chair/Vice Chair/Secretary

NOTICE OF PUBLIC HEARING

CITY OF CUMMING

AMENDING CHAPTER 69 PARKING REGULATIONS

Notice is hereby given that the City Council of the City of Cumming, Iowa, will conduct a public hearing on Monday, November 23, 2020, 7:00 P.M., at City Hall, 649 N. 44th Street, Cumming, Iowa, to receive comments on the following:

Amending the City of Cumming's Code of Ordinances,
Chapter 69 Parking Regulations

Additional information regarding this request may be obtained by contacting the Deputy Clerk at 981-9214.

Anyone wishing to comment on this matter should attend this hearing or submit written comments at any time prior to the hearing. Send comments to City of Cumming, P. O. Box 100, Cumming, IA, 50061

ORDINANCE 2020-08

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF CUMMING, IOWA, BY AMENDING PROVISIONS PERTAINING TO CHAPTER 69 PARKING REGULATIONS

BE IT ENACTED by the City Council of the City of Cumming, Iowa:

SECTION 1. CHAPTER MODIFIED. Chapter 69.08 of the Code of Ordinances of the City of Cumming, Iowa, is repealed and the following adopted in lieu thereof:

69.08 NO PARKING ZONES No one shall stop, stand or park a vehicle in any of the following specifically designated no parking zones except when necessary to avoid conflict with other traffic or in compliance with the direction of a peace officer or traffic control signal.

(Code of Iowa, Sec. 321.236[1])

1. North 43rd Street, on the west side, from Cumming Avenue to Alice Avenue.
2. Alice Avenue, on the south side, from North 44th Street to North 43rd Street.
3. Alice Avenue, on the south side, from North 43rd Street to the east end of the street.
4. Birch Avenue, on the south side, from North 44th Street to North 43rd Street.
5. North 43rd Street, on the west side, from Birch Avenue to Callison Avenue.
6. N. Callison Avenue, on the south side from North 44th Street to North 43rd Street
7. N. Callison Avenue, on the south side, from North 43rd to the east end of the street
8. N. Dawson Avenue, on the south side from North 44th Street to North 43rd street
9. N. Dawson Avenue, on the south side, from North 43rd to the east end of the street
10. Cumming Avenue, on the north side, from North 44th Street to North 43rd Street (from north side of sidewalk to center of roadway).
11. Cumming Avenue, on the south side, from North 44th Street to North 43rd Street (from existing fence line to center of roadway).

SECTION 2. SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision, or part thereof not adjudged invalid or unconstitutional.

SECTION 3. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval, and publication as provided by law.

Passed and Approved by the Council the _____ day of _____, 2020.

Tom Becker, Mayor

ATTEST:

Robert Fagen, City Administrator/Clerk

First Reading:

Second Reading:

Third Reading:

I certify that the foregoing was published as Ordinance 2020-08 on the _____ day of _____, 2020.

Angie Ritchie, Deputy Clerk

CLERK'S CERTIFICATE

State of Iowa)
) SS
County of Warren)

I, Angie Ritchie, Deputy Clerk of the City of Cumming, Iowa, hereby certify that the "ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF CUMMING, IOWA, BY AMENDING PROVISIONS PERTAINING TO CHAPTER 69.08 NO PARKING ZONES," was adopted by the City Council of the City of Cumming, Iowa, and that an official copy of said Code of Ordinances is on file at the office of the City Clerk, City of Cumming, Iowa, and that Ordinance No. 2020-08 adopting said Code of Ordinances was passed by the City Council of the City of Cumming, Iowa, on the _____ day of _____, 2020, signed by the Mayor on the _____ day of _____, 2020; duly recorded and published as provided by law, and that the effective date of said Code is _____, 2020.

Witness my hand and official seal of the City of Cumming, Iowa, this _____ day of _____, 2020.

SIGNED: _____
Angie Ritchie, Deputy Clerk
CITY OF CUMMING, IOWA

**Resolution 2020-76
City of Cumming**

Approving and Authorizing Balance Transfers

Be it resolved by the Council of the City of Cumming, Iowa, the following transfer is hereby authorized as set out below:

From: Checking - TIF
To: Checking Debt Service - Phase 2 Sewer Project
Amount: \$ 3,675.00 For: Phase 2 Sewer Interest – December 1, 2020 Payment
Amount: \$ 525.00 For: Phase 2 Sewer Service Fee – December 1, 2020 Payment
Effective: 12/01/20

Passed and approved this 23rd day of November, 2020.

Tom Becker, Mayor

Attest:

Robert Fagen, City Administrator/Clerk

**Resolution 2020-77
City of Cumming**

Resolution Approving Site Plan

WHEREAS, RC REAL ESTATE, LLC (Owner) is the owner and Kum & Go ("Purchaser") is the contract purchaser of the property locally known as 5237 Cumming Avenue (the "subject property") located in the City of Cumming, Iowa; and

WHEREAS, Purchaser have presented the City of Cumming with a site plan (attached hereto as Exhibits "A", "B", and "C") for approval of development of the subject property; and

WHEREAS, the site plan attached hereto as Exhibits "A", "B" and "C" were approved by the Planning & Zoning Board at a meeting dated November 17, 2020 and were sent to the City Council of the City of Cumming with their recommendation of approval; and

WHEREAS, is contingent upon the approval of Spangler Plat 1 – Final Plat; and

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Cumming, Iowa:

Section 1. That the City of Cumming, Iowa, approves the site plan which is attached hereto as Exhibit "A", "B", and "C".

Section 2. That the approval of the site plan is contingent on the approval of Spangler Plat 1 – Final Plat.

Passed and approved this 23rd day of November, 2020.

Tom Becker, Mayor

Attest: _____
Robert Fagen, City Administrator/Clerk



November 13, 2020

Angie Ritchie
Deputy City Clerk
City of Cumming
649 N. 44th Street
P.O. Box 100
Cumming, Iowa 50061-0100

CUMMING, IOWA
KUM & GO
REVISED SITE PLAN AND PUBLIC IMPROVEMENTS

Veenstra & Kimm, Inc. has reviewed the revised site plan and public improvements of Kum & Go and offer the following comments:

SITE PLAN

1. All of our comments on the Site Plan have been addressed with the exception of the sidewalk requirement, which the developer is asking to be deferred until future development.
2. The Site Plan can be considered for approval for construction with deferral of the sidewalk requirement until future development to the north, with final formal approval of Site Plan subject to completion and acceptance of the required public improvements in the Spangler Plat 1 Preliminary Plat and approval of the Spangler Plat 1 Final Plat.

PUBLIC IMPROVEMENTS

Sheet 2

1. The proposed street has been widened to the recommended 37' wide to include a continuous 12' wide left turn lane.

Sheet 6

1. The intersection has been revised to provide additional clearance for truck turning movements.

Angie Ritchie
November 13, 2020
Page 2

2. Coordinate changes in pavement details with engineer designing public improvements for G14.

If you have any questions or comments concerning the project, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.



Anthony J. Bellizzi, P.E.

AJB:dml
41233-044
cc: Keith Weggen, Civil Design Advantage



November 12, 2020

City of Cumming
ATTN: Bob Fagen, City Administrator
PO Box 100
Cumming, Iowa 50061

RE: Kum & Go 0198 – Site Plan Submittal #3

Dear Mr. Fagen:

We have received and reviewed the comments from the City of Cumming, dated November 3, 2020, regarding the previously submitted Site Plan and Public Improvements. Revisions and responses, written in bold type, are as follows:

SITE PLAN

Sheet 1 – Autoturn Exhibit

1. In reviewing the turning radii of truck movements as shown that a continuous left turn lane should be considered to provide three lanes of traffic. This street will carry considerably more traffic when the Lot 2 is developed to the east, and the street is extended north to serve future commercial and residential development. The continuous left turn lane will keep the southbound truck movement within the left turn lane rather than into the northbound lane and will allow additional stacking for multiple trucks/vehicles.

The proposed street has been widened to a 37' section to include a 12' wide continuous left turn lane.

PUBLIC IMPROVEMENTS

Sheet 2

1. As noted previously, it is suggested that a third continuous left turn lane be added a minimum 12 feet wide for a total three lane pavement width of 37 feet. The continuous left turn lane may be wider to 14 feet wide as suggested by the Manual on Uniform Traffic Control Devices (MUTCD).

The proposed street has been widened to a 37' section to include a 12' wide continuous left turn lane.

Sheet 6

1. As shown on the "Autoturn Exhibits" the turning radii of the trucks northbound from the east, and southbound to the west, closely hug the edge of the intersection pavement. The pavement radii should be increased to have a clearance of 2 feet between the vehicle and the edge of pavement.

The offset and intersection have been revised to provide more clearance (see attached turning movement exhibit).

Enclosed with this submittal, you will find the following:

1. Revised Site Plan Drawings (PDF via e-mail)
2. Revised Public Improvement Drawings (PDF via e-mail)
3. Revised Turning Movement Exhibit (PDF via e-mail)

Please let us know if you have any questions or need anything else.

Sincerely,

CIVIL DESIGN ADVANTAGE

Keith Weggen, ASLA

Copy: Britni Andreassen, Kum & Go
File

PROJECT TEAM:

OWNER/DEVELOPER/APPLICANT:

KUM & GO L.C.
1459 GRAND AVENUE
DES MOINES, IA 50309
ATTN: BRITNI ANDREASSEN
PH: (515) 457-6083

WATER:

DES MOINES WATER WORKS
2201 GEORGE FLAGG PARKWAY
DES MOINES, IOWA 50321
CONTACT: BRYAN POLLPETER
PH: (515) 323-6204

ENGINEER:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

SANITARY SEWER:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)
(515) 225-8000

LANDSCAPE ARCHITECT:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

ELECTRIC:

MIDAMERICAN ENERGY COMPANY
3500 104TH STREET
URBANDALE, IA 50322
CONTACT: CRAIG RANFELD
PH: (515) 252-6532

SURVEYOR:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

STORM SEWER:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)
(515) 225-8000

TELEPHONE/CABLE:

CENTURYLINK
2103 EAST UNIVERSITY AVENUE
DES MOINES, IA 50317
CONTACT: MINDI BURGETT
PH: (515) 263-7230

BUILDING DEPARTMENT:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: JASON VANAUSSDALL (VEENSTRA & KIMM)
(515) 225-8000

GEOTECHNICAL ENGINEER:

TERRACON CONSULTANTS, INC.
600 SW 7TH STREET, SUITE M
DES MOINES, IOWA 50309
BRETT BRADFELD
PH: (515) 244-3184

BENCH MARKS

CITY OF WEST DES MOINES BM# 108 LOCATED AT THE INTERSECTION OF 10TH STREET AND WARREN AVENUE, NORTH OF INTERSECTION, 4 FEET WEST OF THE CENTERLINE EXTENDED, 20 FEET SOUTH OF THE EASTWEST FENCE, ELEVATION=211.99

CITY OF WEST DES MOINES BM# 140 LOCATED AT THE NW CORNER OF ADAMS STREET AND 20TH AVENUE, 4 FEET SOUTH OF POWER POLE, 38 FEET WEST OF CENTERLINE OF 20TH AVENUE, 68 FEET NORTH OF CENTERLINE OF ADAMS STREET, ELEVATION=183.87

PROPERTY DESCRIPTION

LOT 1, SPANGLER PLAT 1 AN OFFICIAL PLAT IN THE CITY OF CUMMING, WARREN COUNTY, IOWA, INCLUDING 2.99 ACRES (130,375 SF).

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = NOVEMBER, 1 2020
ANTICIPATED FINISH DATE = NOVEMBER, 1 2021

GENERAL LEGEND

PROPOSED

- LOT LINE
- CENTER LINE
- RIGHT OF WAY
- PERMANENT EASEMENT
- TEMPORARY EASEMENT
- TYPE SW-501 STORM INTAKE
- TYPE SW-503 STORM INTAKE
- TYPE SW-401 STORM MANHOLE
- TYPE SW-301 SANITARY MANHOLE
- STORM/SANITARY CLEANOUT
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- SIGN
- DETECTABLE WARNING PANEL
- SANITARY SEWER WITH SIZE
- STORM SERVICE
- WATERMAIN WITH SIZE
- SAWCUT (FULL DEPTH)
- SILT FENCE

EXISTING

- SANITARY MANHOLE
- WATER VALVE BOX
- FIRE HYDRANT
- WATER CURB STOP
- STORM SEWER MANHOLE
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ELECTRIC POWER POLE
- GUY ANCHOR
- STREET LIGHT
- POWER POLE W/ TRANSFORMER
- UTILITY POLE W/ LIGHT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE OR VAULT
- TRAFFIC SIGN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE/VAULT
- TELEPHONE POLE
- GAS VALVE BOX
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE/VAULT
- BENCH MARK
- SOIL BORING
- UNDERGROUND TV CABLE
- GAS MAIN
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- SANITARY SEWER W/ SIZE
- STORM SEWER W/ SIZE
- WATER MAIN W/ SIZE

SUBMITTAL DATES

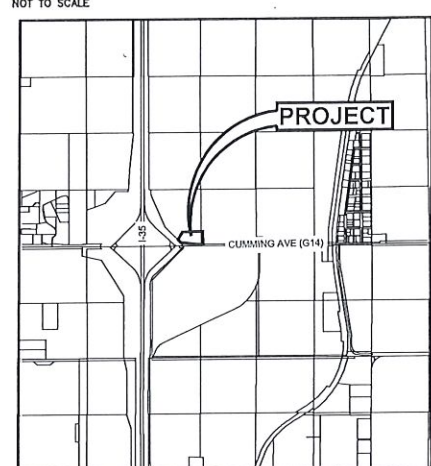
SUBMITTAL #1: SEPTEMBER 11, 2020
SUBMITTAL #2: OCTOBER 29, 2020
SUBMITTAL #3: NOVEMBER 13, 2020



WHERE & MEANS MORE

VICINITY MAP

NOT TO SCALE



CUMMING, IOWA

SITE PLAN DRAWINGS
STORE #0198
I-35 & CUMMING AVENUE
CUMMING, IA 50061

SHEET INDEX		
1	COVER SHEET	C0.0
2	SITE PLAN	C1.1
3	TOPOGRAPHIC SURVEY / DEMOLITION PLAN	C1.2
4-5	GRADING PLAN	C2.1-C2.2
6	EROSION & SEDIMENT CONTROL	C2.3
7	UTILITY PLAN	C3.1
8	LANDSCAPE PLAN	L1.1

SITE DATA		
STORE TYPE		INTERSTATE
CANOPY / DISPENSER ARRANGEMENT		5 DISPENSERS (SINGLE), 3 HI-FLOW DISPENSERS
TYPE OF USE		CONVENIENCE STORE WITH FUEL
HEIGHT	BUILDING	21'-0"
	TOP OF BLADE WALL	22'-7"
	CANOPY	20'-10"
	DIESEL CANOPY	19'-0"
GROSS FLOOR AREA		6,015 S.F.
GROSS CANOPY AREA		4,356 S.F.
GROSS LOT AREA		130,375 S.F. 12.99 ACRES
FAR (INCLUDING CANOPY)		0.08
KUM & GO BUILDING COVERAGE		6,015 S.F. (4.6%)
LANDSCAPE COVERAGE		50,095 SF (38.4%)
PARKING/DRIVE/ COVERAGE		74,283 SF (57.0%)
BICYCLE PARKING		N/A
REQUIRED PARKING	STANDARD	31
	ADA	1
	TOTAL	32
PARKING RATIO = 1 SPACE/ 187 GFA		
PROVIDED PARKING	STANDARD	25
	ADA	2
	TRUCKS	5
TOTAL		32
PARKING RATIO = 5.4 CARS/1000 S.F.		

ZONING INFORMATION	
ZONE: C-1 HIGHWAY COMMERCIAL DISTRICT	
MINIMUM LOT AREA (SQUARE FEET)	
MINIMUM LOT WIDTH (FEET)	
SITE AREA PER UNIT (SQUARE FEET)	N/A
FRONT YARD SETBACK (FEET)	50
FRONT YARD CANOPY SETBACK (FEET)	15
LEFT SIDE YARD SETBACK (FEET)	0
RIGHT SIDE YARD SETBACK (FEET)	0
REAR YARD SETBACK (FEET)	0
BUILDING MAXIMUM HEIGHT (FEET)	35
CANOPY MAXIMUM HEIGHT (FEET)	20
MAXIMUM BUILDING COVERAGE	N/A



CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DR., SUITE G, GRIMES, IOWA 50111
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 2002-259



1459 Grand Avenue
Des Moines, Iowa 50309
P: 515-226-0128
F: 515-223-9873

0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
COVER SHEET

KG PROJECT TEAM:
RDR:
SDM:
CPM:

REVISION DESCRIPTION	DATE

DATE: 11-13-2020

SHEET NUMBER:
C0.0

CONFIDENTIAL DOCUMENT:
INFORMATION CONTAINED IN THIS DOCUMENT IS
PROPRIETARY TO KUM & GO, L.C. AND SHALL NOT
BE DISTRIBUTED.

IOWA ONE CALL
1-800-292-8989
www.iowacall.com

CALL 811 SEVENTY-TWO HOURS PRIOR TO
DIGGING, GRADING OR EXCAVATING FOR THE
MARKING OF UNDERGROUND MEMBER UTILITIES.

REFER TO GEOTECHNICAL ENGINEERING REPORT NO. 08205135 PREPARED BY TERRACON CONSULTANTS, INC. FOR GEOTECHNICAL REQUIREMENTS

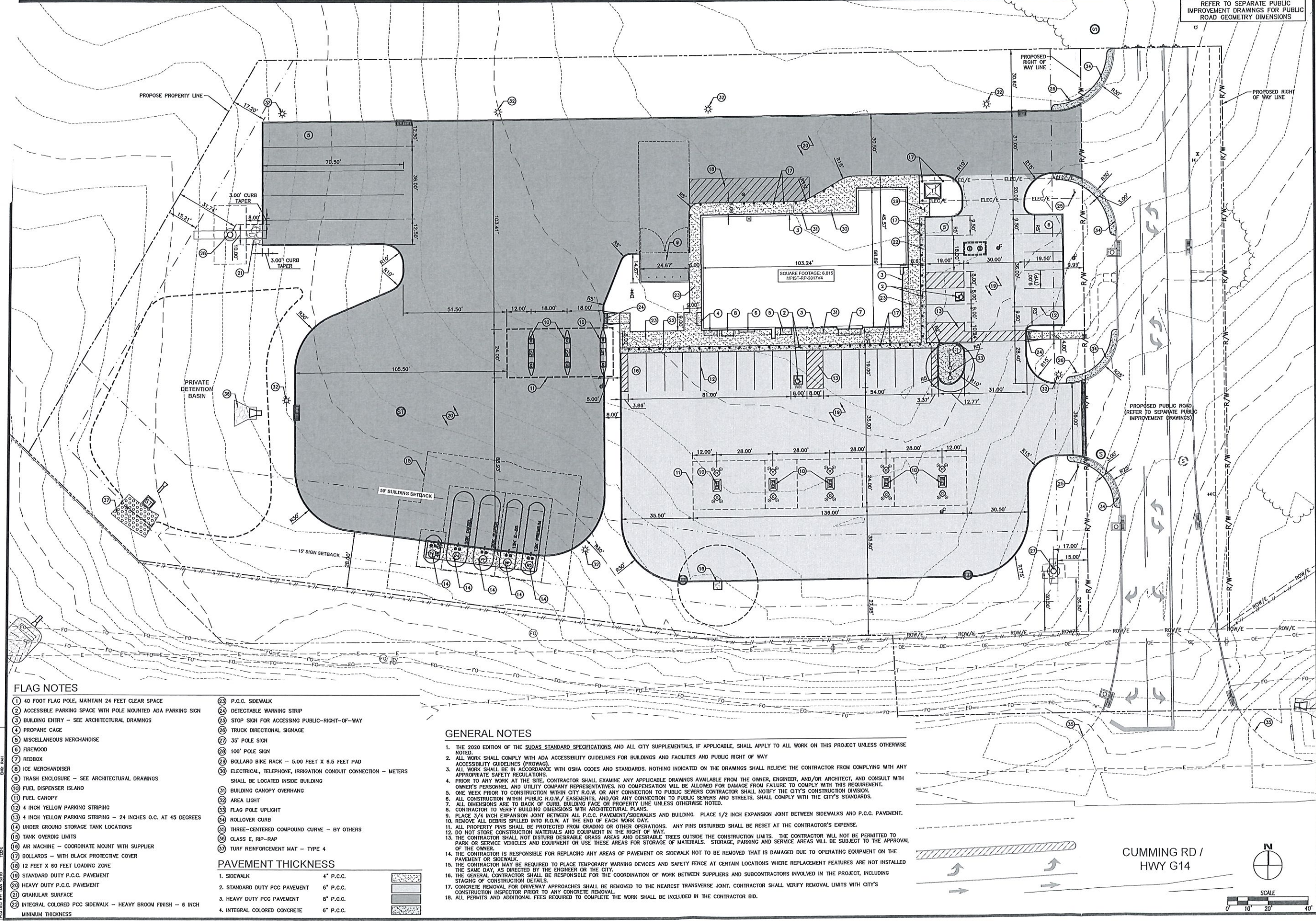
ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

KEITH WEGGEN, ASLA
DATE: 11/13/2020
MY LICENSE EXPIRES ON: JUNE 30, 2022
PAGES OR SHEETS COVERED BY THIS SEAL:
ALL SHEETS



REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR PUBLIC ROAD GEOMETRY DIMENSIONS

ESA
 CIVIL DESIGN ADVANTAGE
 3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111
 PH: 515-226-4400 FAX: 515-226-4410
 PROJECT NO. 2020-024



1459 Grand Avenue
 Des Moines, Iowa 50309
 P: 515-226-0128
 F: 515-223-9873

0198 - CUMMING, IOWA
1-35 & CUMMING AVENUE
 SITE PLAN

FLAG NOTES

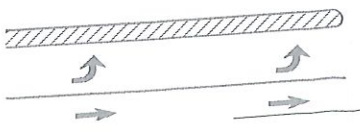
- 1 40 FOOT FLAG POLE, MAINTAIN 24 FEET CLEAR SPACE
- 2 ACCESSIBLE PARKING SPACE WITH POLE MOUNTED ADA PARKING SIGN
- 3 BUILDING ENTRY - SEE ARCHITECTURAL DRAWINGS
- 4 PROPANE CAGE
- 5 MISCELLANEOUS MERCHANDISE
- 6 FIREWOOD
- 7 REDBOX
- 8 ICE MERCHANDISER
- 9 TRASH ENCLOSURE - SEE ARCHITECTURAL DRAWINGS
- 10 FUEL DISPENSER ISLAND
- 11 FUEL CANOPY
- 12 4 INCH YELLOW PARKING STRIPING
- 13 4 INCH YELLOW PARKING STRIPING - 24 INCHES O.C. AT 45 DEGREES
- 14 UNDER GROUND STORAGE TANK LOCATIONS
- 15 TANK OVERDIG LIMITS
- 16 AIR MACHINE - COORDINATE MOUNT WITH SUPPLIER
- 17 BOLLARDS - WITH BLACK PROTECTIVE COVER
- 18 12 FEET X 60 FEET LOADING ZONE
- 19 STANDARD DUTY P.C.C. PAVEMENT
- 20 HEAVY DUTY P.C.C. PAVEMENT
- 21 GRANULAR SURFACE
- 22 INTEGRAL COLORED PCC SIDEWALK - HEAVY BROOM FINISH - 6 INCH MINIMUM THICKNESS
- 23 P.C.C. SIDEWALK
- 24 DETECTABLE WARNING STRIP
- 25 STOP SIGN FOR ACCESSING PUBLIC-RIGHT-OF-WAY
- 26 TRUCK DIRECTIONAL SIGNAGE
- 27 35' POLE SIGN
- 28 100' POLE SIGN
- 29 BOLLARD BIKE RACK - 5.00 FEET X 6.5 FEET PAD
- 30 ELECTRICAL, TELEPHONE, IRRIGATION CONDUIT CONNECTION - METERS SHALL BE LOCATED INSIDE BUILDING
- 31 BUILDING CANOPY OVERHANG
- 32 AREA LIGHT
- 33 FLAG POLE UPLIGHT
- 34 ROLL-OVER CURB
- 35 THREE-CENTERED COMPOUND CURVE - BY OTHERS
- 36 CLASS E, R/W-RAP
- 37 TURF REINFORCEMENT MAT - TYPE 4

PAVEMENT THICKNESS

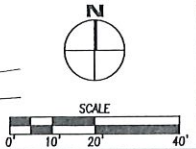
1. SIDEWALK	4" P.C.C.	
2. STANDARD DUTY PCC PAVEMENT	6" P.C.C.	
3. HEAVY DUTY PCC PAVEMENT	8" P.C.C.	
4. INTEGRAL COLORED CONCRETE	6" P.C.C.	

GENERAL NOTES

1. THE 2020 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES AND PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.



CUMMING RD / HWY G14

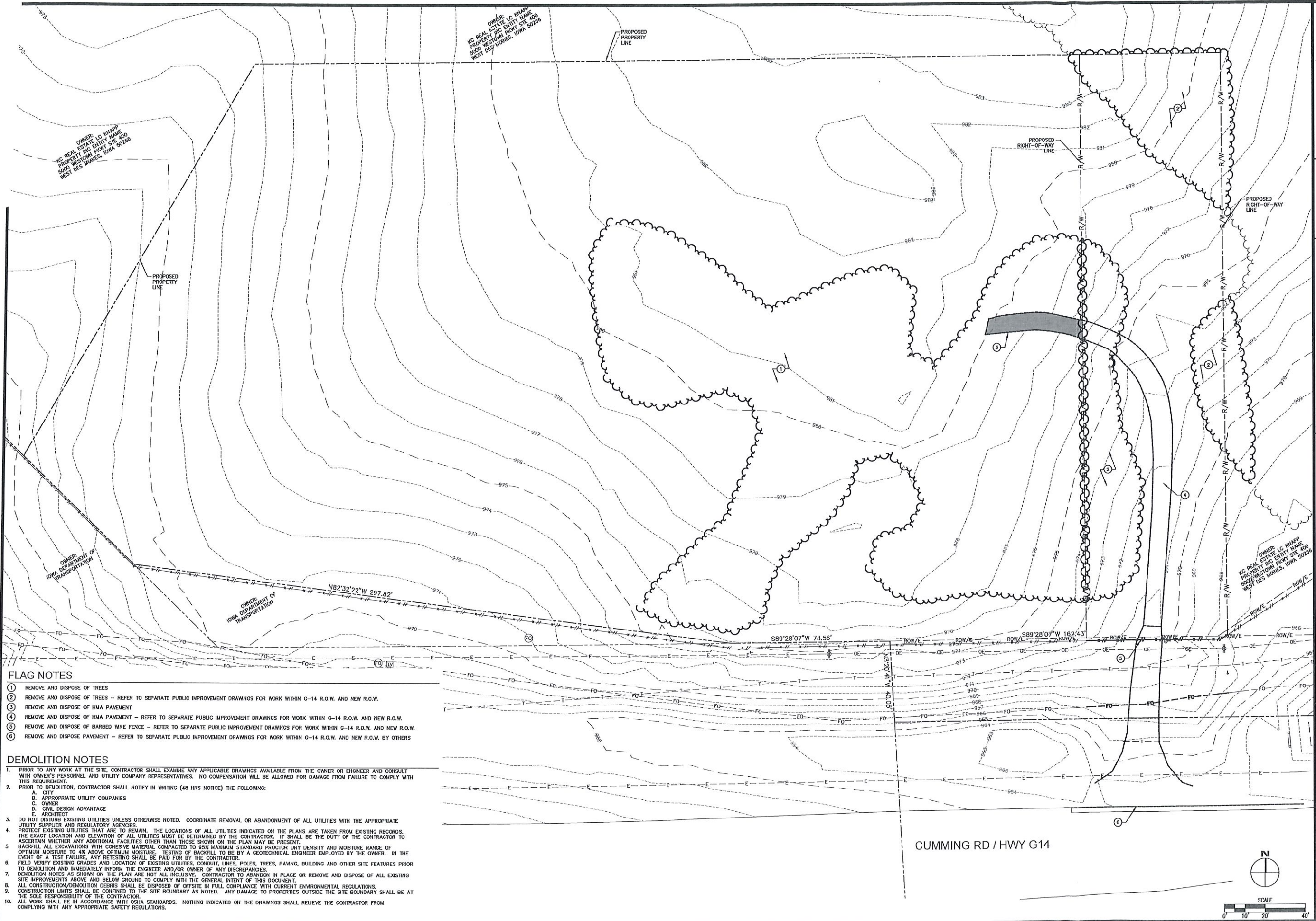


REVISION DESCRIPTION	DATE	BY

KG PROJECT TEAM:
 RDR:
 SOM:
 CPL:

DATE: 11-13-2020

SHEET NUMBER:
C1.1



FLAG NOTES

- ① REMOVE AND DISPOSE OF TREES
- ② REMOVE AND DISPOSE OF TREES - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W.
- ③ REMOVE AND DISPOSE OF HMA PAVEMENT
- ④ REMOVE AND DISPOSE OF HMA PAVEMENT - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W.
- ⑤ REMOVE AND DISPOSE OF BARBED WIRE FENCE - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W.
- ⑥ REMOVE AND DISPOSE PAVEMENT - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W. BY OTHERS

DEMOLITION NOTES

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE
 - E. ARCHITECT
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

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 DATE PLOTTED: 11/13/2020 10:45 AM
 PLOTTED BY: SAJ



1459 Grand Avenue
Des Moines, Iowa 50309
P: 515-226-0128
F: 515-223-9873

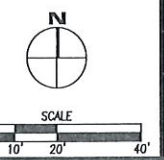
0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
TOPOGRAPHIC SURVEY & DEMOLITION PLAN

KG PROJECT TEAM:
RDR:
SDM:
CPM:

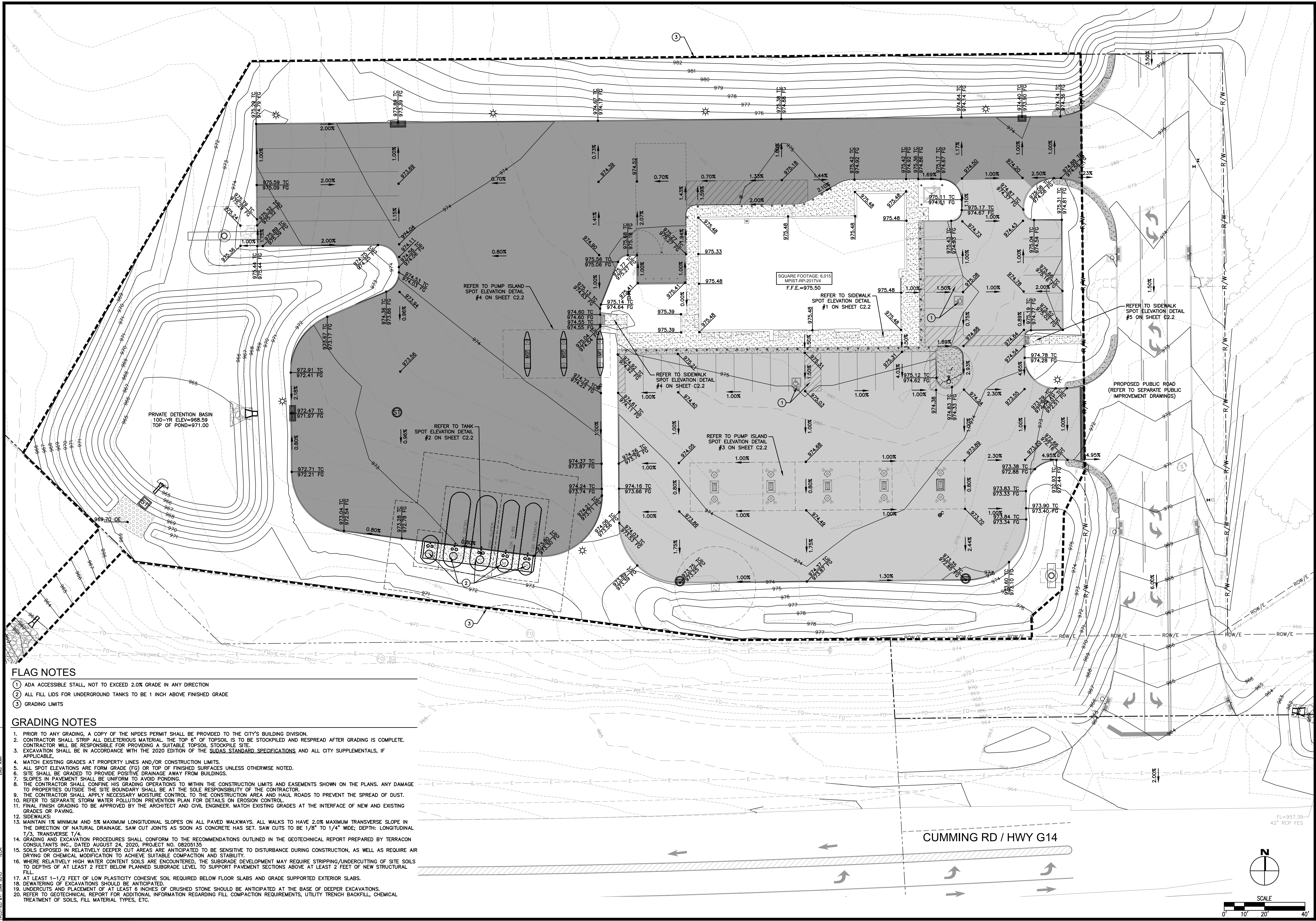
DATE	REVISION DESCRIPTION	REVISIONS

DATE: 11-13-2020

SHEET NUMBER:
C1.2



CUMMING RD / HWY G14



FLAG NOTES

- ① ADA ACCESSIBLE STALL, NOT TO EXCEED 2.0% GRADE IN ANY DIRECTION
- ② ALL FILL LIDS FOR UNDERGROUND TANKS TO BE 1 INCH ABOVE FINISHED GRADE
- ③ GRADING LIMITS

GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2020 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS:
13. MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE 1/4.
14. GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS INC., DATED AUGUST 24, 2020, PROJECT NO. 08205135
15. SOILS EXPOSED IN RELATIVELY DEEPER CUT AREAS ARE ANTICIPATED TO BE SENSITIVE TO DISTURBANCE DURING CONSTRUCTION, AS WELL AS REQUIRE AIR DRYING OR CHEMICAL MODIFICATION TO ACHIEVE SUITABLE COMPACTION AND STABILITY.
16. WHERE RELATIVELY HIGH WATER CONTENT SOILS ARE ENCOUNTERED, THE SUBGRADE DEVELOPMENT MAY REQUIRE STRIPPING/UNDERCUTTING OF SITE SOILS TO DEPTHS OF AT LEAST 2 FEET BELOW PLANNED SUBGRADE LEVEL TO SUPPORT PAVEMENT SECTIONS ABOVE AT LEAST 2 FEET OF NEW STRUCTURAL FILL.
17. AT LEAST 1-1/2 FEET OF LOW PLASTICITY COHESIVE SOIL REQUIRED BELOW FLOOR SLABS AND GRADE SUPPORTED EXTERIOR SLABS.
18. DEWATERING OF EXCAVATIONS SHOULD BE ANTICIPATED.
19. UNDERCUTS AND PLACEMENT OF AT LEAST 6 INCHES OF CRUSHED STONE SHOULD BE ANTICIPATED AT THE BASE OF DEEPER EXCAVATIONS.
20. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION REGARDING FILL COMPACTION REQUIREMENTS, UTILITY TRENCH BACKFILL, CHEMICAL TREATMENT OF SOILS, FILL MATERIAL TYPES, ETC.

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 PLOT SCALE: 1"=40'
 PLOT NUMBER: 1 OF 2



1459 Grand Avenue
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 P: 515-226-0128
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0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
GRADING PLAN

KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

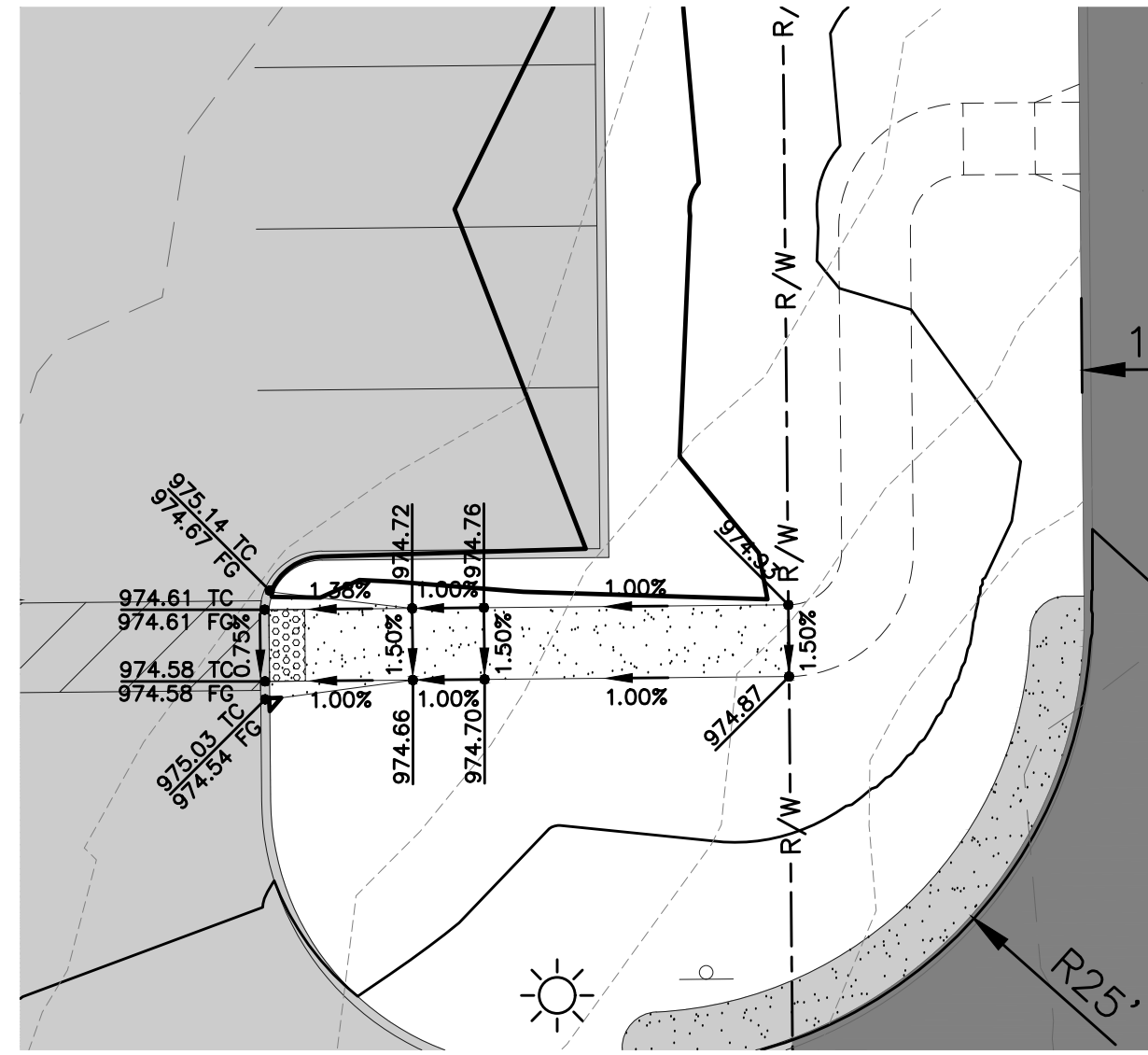
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DATE: 11-13-2020
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C2.1

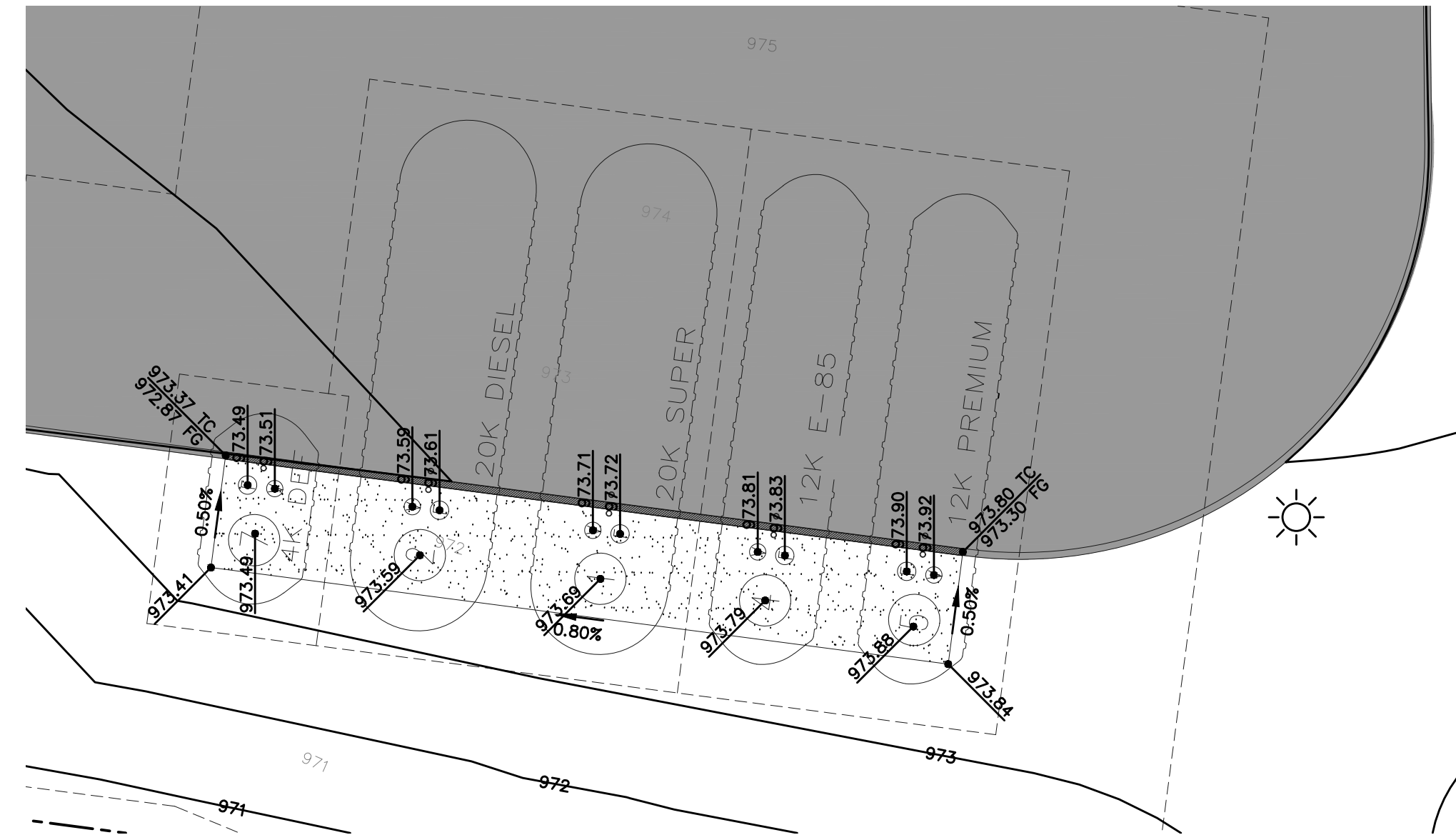
REVISIONS

GRADING NOTES

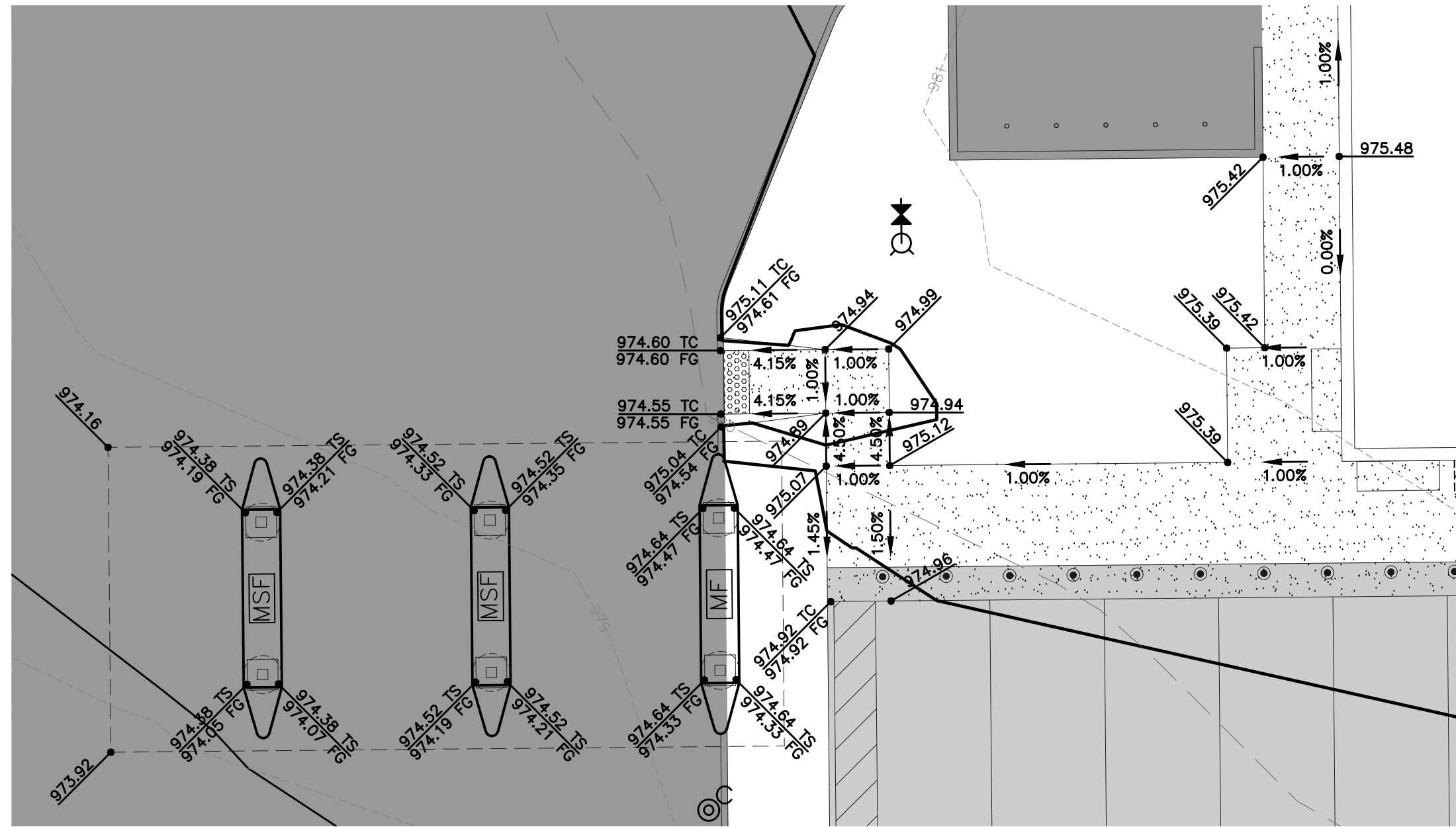
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3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS:
13. MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
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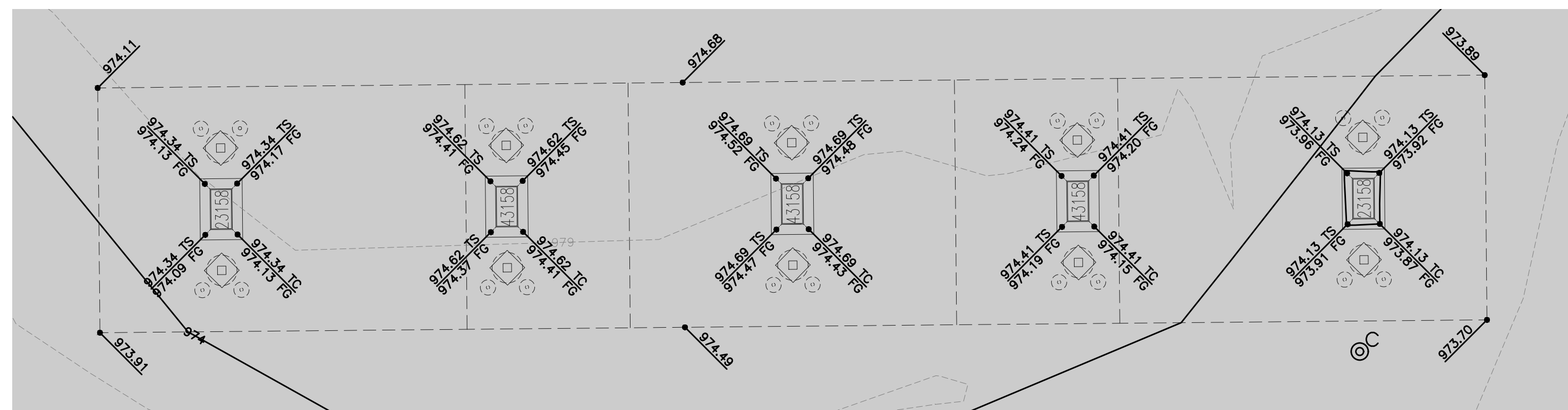
5 SIDEWALK SPOT ELEVATION DETAIL
1"=10'



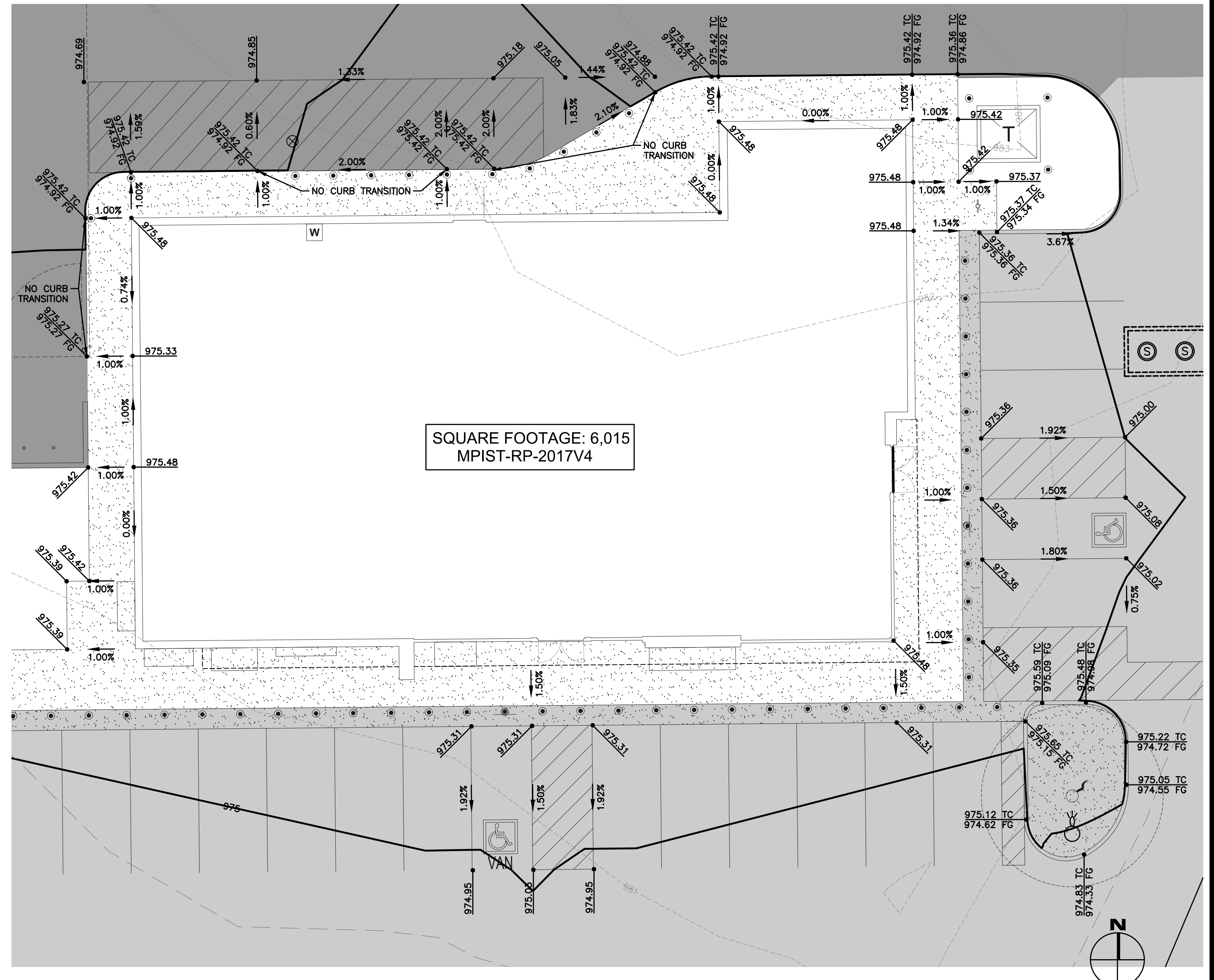
2 TANK LID SPOT ELEVATIONS DETAIL
1"=10'



4 PUMP ISLAND & SIDESALK SPOT ELEVATIONS DETAIL
1"=10'



3 PUMP ISLAND SPOT ELEVATIONS DETAIL
1"=10'



1 SIDEWALK SPOT ELEVATION DETAIL
1"=10'

DATE	REVISION DESCRIPTION

FILE: H:\2020\2005259\DWG\2005259-SITE.DWG COMMENT: 11/17/2020 10:45 AM
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PLOTTER: HP DesignJet T1200

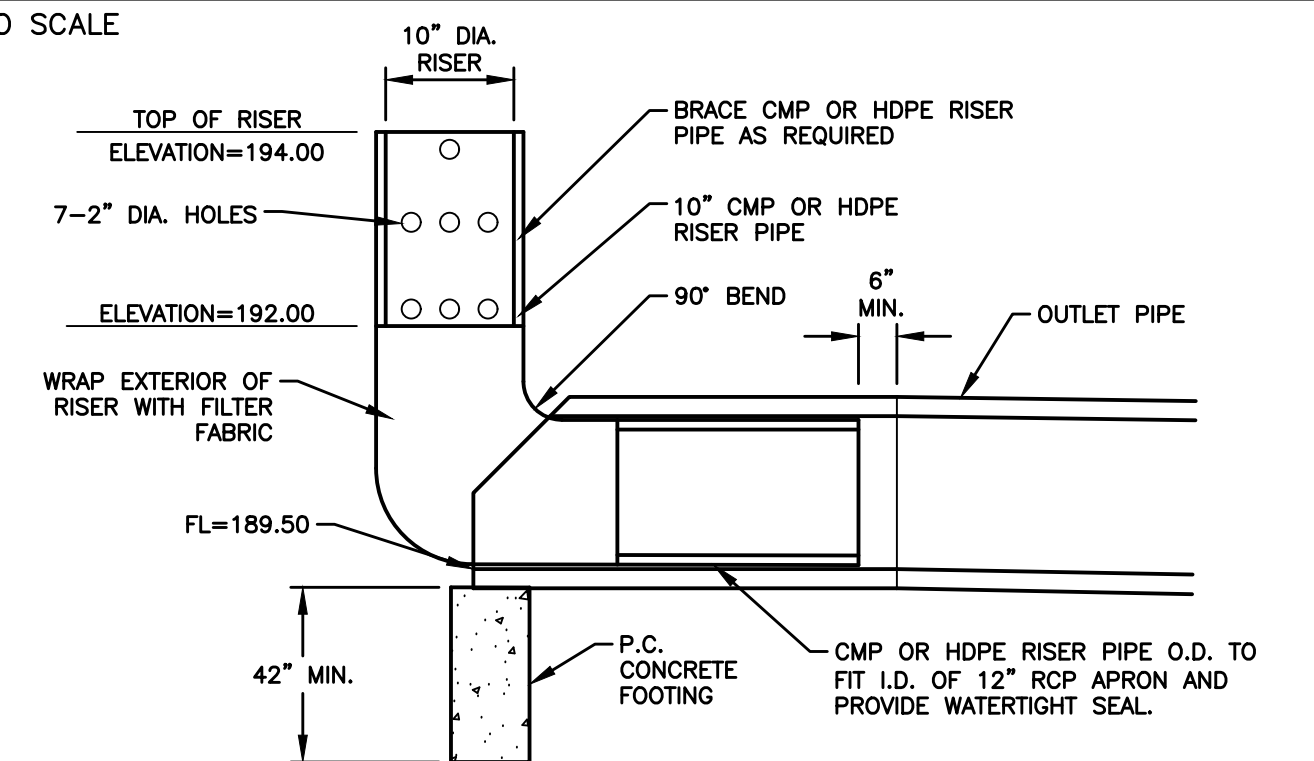


REVISION DESCRIPTION	DATE

DATE: 11-13-2020
 SHEET NUMBER: **C2.3**

TEMPORARY STAND PIPE DETAIL

NOT TO SCALE



STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1,344
2	SEEDING, FERTILIZING, AND MULCHING	AC	1.77
3	INLET PROTECTION DEVICES	EA	11
4	CONCRETE WASHOUT PIT	EA	1
5	10\"/>		

NOTES:

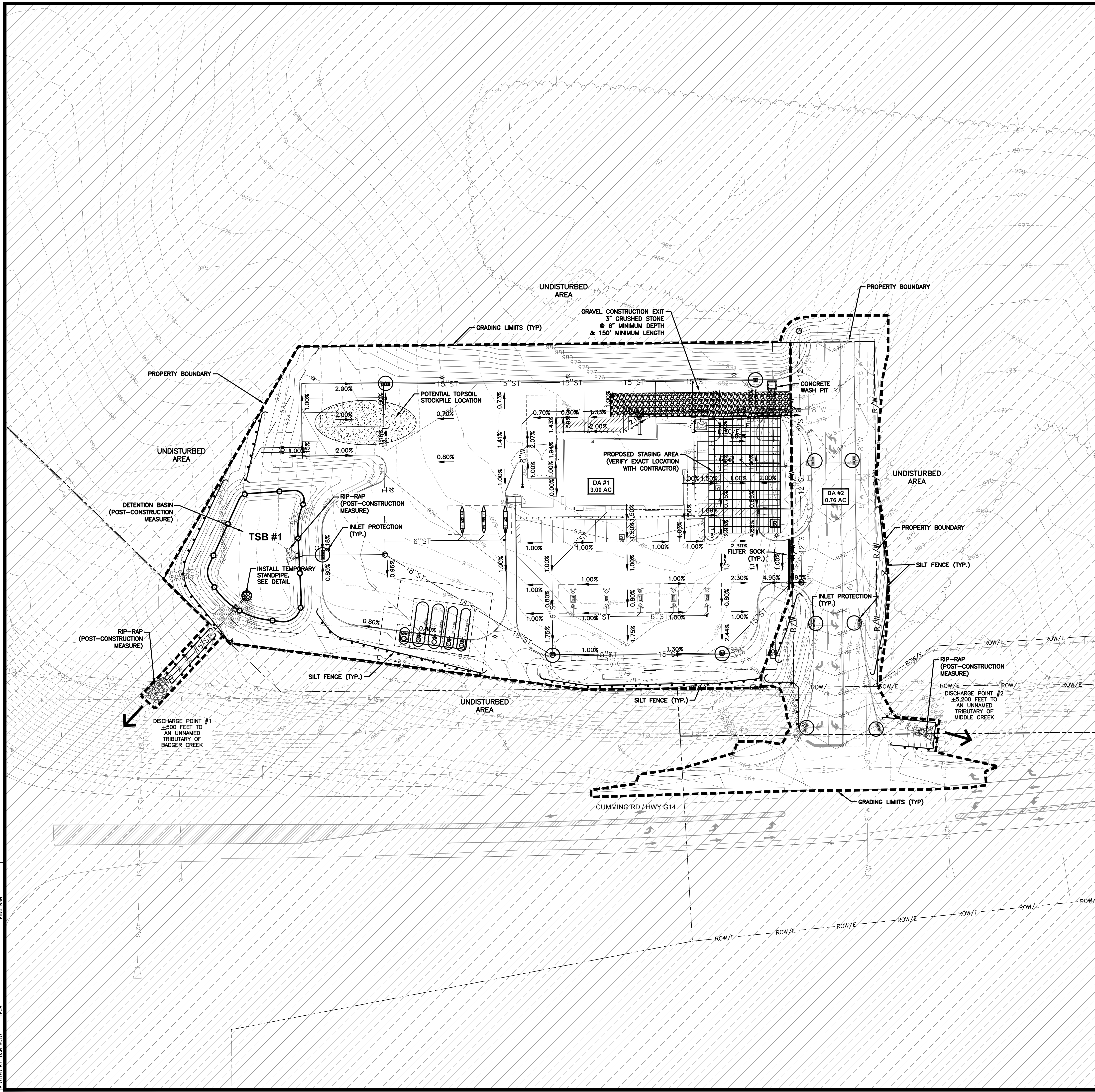
- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.

DISCHARGE POINT SUMMARY

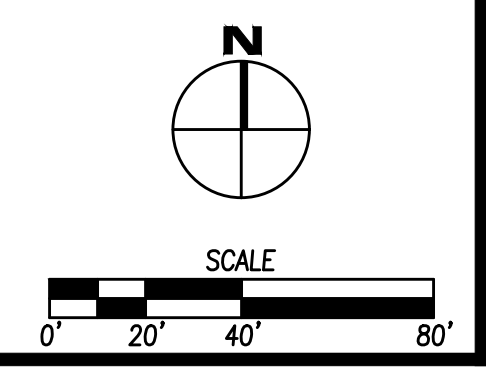
DISCHARGE POINT #1 TO AN UNNAMED TRIBUTARY OF BADGER CREEK ±500 FT	3.00 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	10,800 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN SILT FENCE (696 LF @ 4.5 CU FT/LF OF FENCE)	3,132 CU FT
VOLUME PROVIDED IN FILTER SOCK (42 LF @ 2.0 CU FT/LF OF SOCK)	84 CU FT
VOLUME PROVIDED IN TSB #1	17,966 CU FT
TOTAL VOLUME PROVIDED	21,182 CU FT
DISCHARGE POINT #2 TO AN UNNAMED TRIBUTARY OF MIDDLE CREEK ±5,200 FT	0.76 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	2,736 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN SILT FENCE (648 LF @ 4.5 CU FT/LF OF FENCE)	2,916 CU FT
TOTAL VOLUME PROVIDED	2,916 CU FT

SWPPP LEGEND

DRAINAGE ARROW	-X.XX %	AREA TO BE SEEDED	
GRADING LIMITS	---	UNDISTURBED AREA	
FILTER SOCK		RIP-RAP	
SILT FENCE	---	GRAVEL ENTRANCE	
INLET PROTECTION		STAGING AREA	
PORTABLE RESTROOM		TEMPORARY SEDIMENT BASIN	
TEMPORARY STANDPIPE			
CONCRETE WASHOUT PIT			



FILE: H:\2020\2005259\DWG\2005259-SITE.DWG
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 PLOTTER: HP DesignJet T1100PS
 PLOT SCALE: 1"=40'

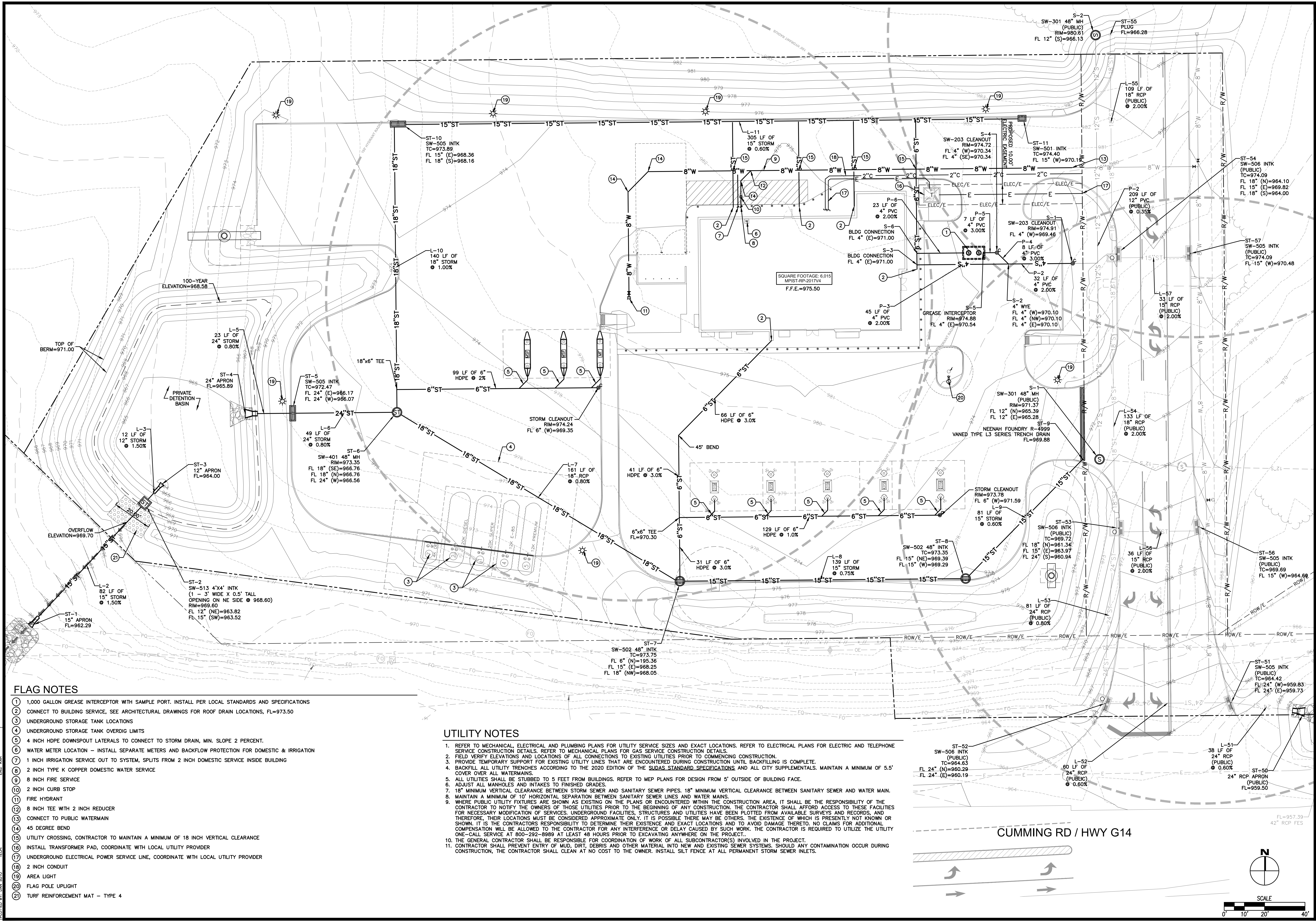


REVISION DESCRIPTION	DATE

DATE: 11-13-2020

SHEET NUMBER:

C3.1



- FLAG NOTES**
- 1,000 GALLON GREASE INTERCEPTOR WITH SAMPLE PORT. INSTALL PER LOCAL STANDARDS AND SPECIFICATIONS
 - CONNECT TO BUILDING SERVICE. SEE ARCHITECTURAL DRAWINGS FOR ROOF DRAIN LOCATIONS, FL=973.50
 - UNDERGROUND STORAGE TANK LOCATIONS
 - UNDERGROUND STORAGE TANK OVERDIG LIMITS
 - 4 INCH HDPE DOWNSPOUT LATERALS TO CONNECT TO STORM DRAIN, MIN. SLOPE 2 PERCENT.
 - WATER METER LOCATION - INSTALL SEPARATE METERS AND BACKFLOW PROTECTION FOR DOMESTIC & IRRIGATION
 - 1 INCH IRRIGATION SERVICE OUT TO SYSTEM, SPLITS FROM 2 INCH DOMESTIC SERVICE INSIDE BUILDING
 - 2 INCH TYPE K COPPER DOMESTIC WATER SERVICE
 - 8 INCH FIRE SERVICE
 - 2 INCH CURB STOP
 - FIRE HYDRANT
 - 8 INCH TEE WITH 2 INCH REDUCER
 - CONNECT TO PUBLIC WATERMAIN
 - 45 DEGREE BEND
 - UTILITY CROSSING, CONTRACTOR TO MAINTAIN A MINIMUM OF 18 INCH VERTICAL CLEARANCE
 - INSTALL TRANSFORMER PAD, COORDINATE WITH LOCAL UTILITY PROVIDER
 - UNDERGROUND ELECTRICAL POWER SERVICE LINE, COORDINATE WITH LOCAL UTILITY PROVIDER
 - 2 INCH CONDUIT
 - AREA LIGHT
 - FLAG POLE UPLIGHT
 - TURF REINFORCEMENT MAT - TYPE 4

- UTILITY NOTES**
1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
 2. FIELD VERIFY ELEVATIONS AND LOCATION OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
 4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2020 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5' COVER OVER ALL WATERMANS.
 5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDERS AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
 6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
 7. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
 8. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
 9. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
 10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
 11. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS, AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.

FILE: H:\2020\2006259\DWG\2006259-SITE05.dwg
 PLOT DATE: 11/13/2020 10:45 AM
 PLOTTER: HP DesignJet T1200
 PLOT SCALE: 1"=20'
 USER: JAM 2020

PROJECT TEAM:

OWNER/DEVELOPER/APPLICANT:

KUM & GO L.C.
1459 GRAND AVENUE
DES MOINES, IA 50309
ATTN: BRITNI ANDREASSEN
PH: (515) 457-6083

WATER:

DES MOINES WATER WORKS
2201 GEORGE FLAGG PARKWAY
DES MOINES, IOWA 50321
CONTACT: BRYAN POLLPETER
PH: (515) 323-6204

ENGINEER:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

SANITARY SEWER:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)
(515) 225-8000

LANDSCAPE ARCHITECT:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
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ELECTRIC:

MIDAMERICAN ENERGY COMPANY
3500 104TH STREET
URBANDALE, IA 50322
CONTACT: CRAIG RANFELD
PH: (515) 252-6632

SURVEYOR:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
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PH: (515) 369-4400

STORM SEWER:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)
(515) 225-8000

TELEPHONE/CABLE:

CENTURYLINK
2103 EAST UNIVERSITY AVENUE
DES MOINES, IA 50317
CONTACT: MINDI BURGETT
PH: (515) 263-7230

BUILDING DEPARTMENT:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: JASON VANAUSDALL (VEENSTRA & KIMM)
(515) 225-8000

GEOTECHNICAL ENGINEER:

TERRACON CONSULTANTS, INC.
600 SW 7TH STREET, SUITE M
DES MOINES, IOWA 50309
BRETT BRADFIELD
PH: (515) 244-3184

BENCH MARKS

CITY OF WEST DES MOINES BM# 108 LOCATED AT THE INTERSECTION OF 105TH STREET AND WARREN AVENUE, NORTH OF INTERSECTION, 4 FEET WEST OF THE CENTERLINE EXTENDED, 20 FEET SOUTH OF THE EAST/WEST FENCE. ELEVATION=211.96

CITY OF WEST DES MOINES BM# 140 LOCATED AT THE NW CORNER OF ADAMS STREET AND 20TH AVENUE, 4 FEET SOUTH OF POWER POLE, 38 FEET WEST OF CENTERLINE OF 20TH AVENUE, 68 FEET NORTH OF CENTERLINE OF ADAMS STREET. ELEVATION=183.87

PROPERTY DESCRIPTION

LOT 1, SPANGLER PLAT 1 AN OFFICIAL PLAT IN THE CITY OF CUMMING, WARREN COUNTY, IOWA, INCLUDING 2.99 ACRES (130,375 SF).

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = 11/01/2020
ANTICIPATED FINISH DATE = 11/01/2021

REFER TO GEOTECHNICAL ENGINEERING REPORT NO. 08205135 PREPARED BY TERRACON CONSULTANTS, INC. FOR GEOTECHNICAL REQUIREMENTS

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY
NOT FOR CONSTRUCTION

JOHN PATRICK BECKER, P.E. DATE _____
LICENSE NO. 55523
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020
PAGES OR SHEETS COVERED BY THIS SEAL:
1-10



WHERE & MEANS MORE

PUBLIC IMPROVEMENT DRAWINGS
STORE #0198
I-35 & CUMMING AVENUE
CUMMING, IA 50061

SHEET INDEX	
1	COVER SHEET
2	TYPICAL SECTIONS AND DETAILS
3	QUANTITIES, NOTES AND REFERENCE NOTES
4	TOPOGRAPHIC SURVEY / DEMOLITION PLAN
5	GRADING PLAN
6	SANITARY SEWER & WATERMAIN PLAN AND PROFILE
7-8	STORM SEWER PLAN & PROFILE
9-10	JOINTING PLAN

SITE DATA		
STORE TYPE	INTERSTATE	
CANOPY / DISPENSER ARRANGEMENT	5 DISPENSERS (SINGLE), 3 HI-FLOW DISPENSERS	
TYPE OF USE	CONVENIENCE STORE WITH FUEL	
HEIGHT	BUILDING	21'-0"
	TOP OF BLADE WALL	22'-7"
	CANOPY	20'-10"
	DIESEL CANOPY	19'-0"
GROSS FLOOR AREA	6,015 S.F.	
GROSS CANOPY AREA	4,536 S.F.	
GROSS LOT AREA	±130,375 S.F.	
FAR (INCLUDING CANOPY)	0.08	
KUM & GO BUILDING COVERAGE	6,015 S.F. (4.6%)	
LANDSCAPE COVERAGE	50,095 SF (38.4%)	
PARKING/DRIVE/ COVERAGE	74,283 SF (57.0%)	
BICYCLE PARKING	N/A	
REQUIRED PARKING	STANDARD	31
	ADA	1
	TOTAL	32
PARKING RATIO = 1 SPACE/ 187 GFA		
PROVIDED PARKING	STANDARD	25
	ADA	2
	TRUCKS	5
	TOTAL	32
PARKING RATIO = 5.4 CARS/1000 S.F.		

ZONING INFORMATION	
ZONE: C-1 HIGHWAY COMMERCIAL DISTRICT	
MINIMUM LOT AREA (SQUARE FEET)	
MINIMUM LOT WIDTH (FEET)	
SITE AREA PER UNIT (SQUARE FEET)	N/A
FRONT YARD SETBACK (FEET)	50
FRONT YARD CANOPY SETBACK (FEET)	15
LEFT SIDE YARD SETBACK (FEET)	0
RIGHT SIDE YARD SETBACK (FEET)	0
REAR YARD SETBACK (FEET)	0
BUILDING MAXIMUM HEIGHT (FEET)	35
CANOPY MAXIMUM HEIGHT (FEET)	20
MAXIMUM BUILDING COVERAGE	N/A

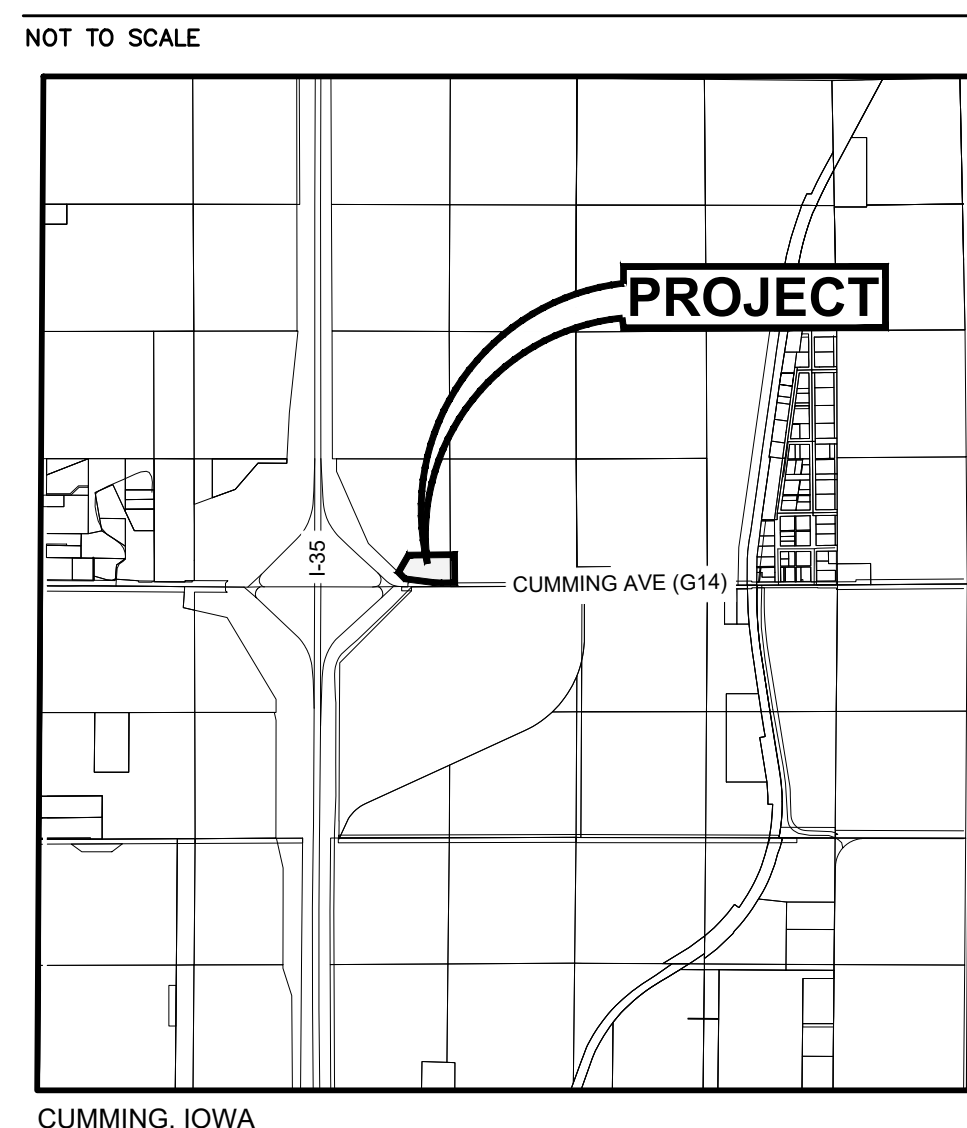
GENERAL LEGEND

PROPOSED		EXISTING	
LOT LINE	---	SANITARY MANHOLE	(S)
CENTER LINE	---	WATER VALVE BOX	(V)
RIGHT OF WAY	---R/W---	FIRE HYDRANT	(H)
PERMANENT EASEMENT	---P/E---	WATER CURB STOP	(CS)
TEMPORARY EASEMENT	---T/E---	STORM SEWER MANHOLE	(SM)
TYPE SW-501 STORM INTAKE	(SI)	STORM SEWER SINGLE INTAKE	(SSI)
TYPE SW-503 STORM INTAKE	(SI)	STORM SEWER DOUBLE INTAKE	(SDI)
TYPE SW-401 STORM MANHOLE	(SM)	FLARED END SECTION	(FES)
TYPE SW-301 SANITARY MANHOLE	(S)	DECIDUOUS TREE	(T)
STORM/SANITARY CLEANOUT	(C)	CONIFEROUS TREE	(T)
WATER VALVE	(V)	DECIDUOUS SHRUB	(S)
FIRE HYDRANT ASSEMBLY	(H)	CONIFEROUS SHRUB	(S)
SIGN	(S)	ELECTRIC POWER POLE	(E)
DETECTABLE WARNING PANEL	(DWP)	GUY ANCHOR	(GA)
SANITARY SEWER WITH SIZE	8" S	STREET LIGHT	(SL)
STORM SERVICE	ST ST	POWER POLE W/ TRANSFORMER	(E-T)
WATERMAIN WITH SIZE	8" W	UTILITY POLE W/ LIGHT	(E-L)
SAWCUT (FULL DEPTH)	(SA)	ELECTRIC BOX	(EB)
SILT FENCE	(SF)	ELECTRIC TRANSFORMER	(ET)
		ELECTRIC MANHOLE OR VAULT	(EM)
		TRAFFIC SIGN	(T)
		TELEPHONE JUNCTION BOX	(TJ)
		TELEPHONE MANHOLE/VAULT	(TM)
		TELEPHONE POLE	(TP)
		GAS VALVE BOX	(GV)
		CABLE TV JUNCTION BOX	(CTJ)
		CABLE TV MANHOLE/VAULT	(CTM)
		BENCH MARK	(BM)
		SOIL BORING	(SB)
		UNDERGROUND TV CABLE	(TV)
		GAS MAIN	(G)
		FIBER OPTIC	(F)
		UNDERGROUND TELEPHONE	(T)
		OVERHEAD ELECTRIC	(OE)
		UNDERGROUND ELECTRIC	(UE)
		SANITARY SEWER W/ SIZE	8" S
		STORM SEWER W/ SIZE	18" ST
		WATER MAIN W/ SIZE	8" W

SUBMITTAL DATES

SUBMITTAL #1: SEPTEMBER 11, 2020
SUBMITTAL #2: OCTOBER 29, 2020
SUBMITTAL #3: NOVEMBER 13, 2020

VICINITY MAP



CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DR., SUITE G, GRIMES, IOWA 50111
PH: (515) 369-4400 FAX: (515) 369-4410
PROJECT NO. 2005-259



1459 GRAND AVENUE
Des Moines, Iowa 50309
P: 515-226-0128
F: 515-223-9873

0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
COVER SHEET

KG PROJECT TEAM:
RDR:
SDM:
CPM:

REVISION DESCRIPTION	DATE

DATE: 11-13-2020

SHEET NUMBER:
1 OF 10

FILE: I:\2020\2005259\KUM & GO STORES - PUBLIC IMPROVEMENT DRAWINGS\DWG...
FILE NAME: 11/2/20
DATE PLOTTED: 11/2/2020 11:09 AM
COMMENT:
PLOTTED BY: DAN SOTO

ESTIMATED PROJECT QUANTITIES

ITEM NO.	ITEM DESCRIPTION	UNIT	QUANTITY
1	CLEARING AND GRUBBING	LS	1
2	TOPSOIL STRIP, SALVAGE AND SPREAD	LS	1
3	EXCAVATION	SY	1,848
4	SUBGRADE PREPARATION	SY	1,848
5	SANITARY SEWER GRAVITY MAIN, TRENCHED, PVC, 8 IN. DIA.	LF	209
6	SANITARY SEWER SERVICE STUB, PVC 4 IN. DIA.	EA	1
7	STORM SEWER, TRENCHED, RCP, 15 IN. DIA.	LF	69
8	STORM SEWER, TRENCHED, RCP, 18 IN. DIA.	LF	242
9	STORM SEWER, TRENCHED, RCP, 24 IN. DIA.	LF	182
10	STORM SEWER, 24 IN. RCP APRON WITH APRON GUARD	EA	1
11	WATER MAIN, TRENCHED, PVC, 8 IN. DIA.	LF	390
12	VALVE 8 IN. DIA.	EA	2
13	TAPPING SLEEVE AND VALVE	EA	1
14	FIRE HYDRANT ASSEMBLY	EA	1
15	BLOWOFF HYDRANT	EA	1
16	SANITARY MANHOLE, TYPE SW-301, 48 IN. DIA	EA	1
17	STORM INTAKE, TYPE SW-505	EA	3
18	STORM INTAKE, TYPE SW-506	EA	3
19	PAVEMENT P.C.C. 8 IN.	SY	1,655
20	SIDEWALK, P.C.C. 4 IN	SF	248
21	DETECTABLE WARNING PANELS	SF	16
22	PAVEMENT HMA REMOVAL	SY	176
23	GRAVEL SURFACE REMOVAL	SY	67
24	FENCE REMOVAL	LF	70
25	PERMANENT ROAD CLOSURE URBAN SI-182	EA	1
26	PAINTED PAVEMENT MARKINGS, WATERBORNE	STA	6.65
27	PAINTED PAVEMENT SYMBOLS, WATERBORNE	EA	10

ESTIMATE REFERENCE INFORMATION

DATA LISTED BELOW IS FOR INFORMATIONAL PURPOSE ONLY AND SHALL NOT CONSTITUTE A BASIS FOR ANY EXTRA WORK ORDERS.

ITEM NO.	DESCRIPTION
	THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE CITY OF CUMMING SUPPLEMENTAL SPECIFICATIONS, AND THE CUMMING WATER UTILITY SPECIFICATIONS SHALL APPLY TO ALL WORK ON THIS PROJECT EXCEPT AS MODIFIED HEREIN. ALL REFERENCES TO SECTIONS AND FIGURES ARE TO THE 2020 SUDAS SPECIFICATIONS.
	ALL REFERENCES TO SECTIONS AND FIGURES ARE TO THE 2020 SUDAS STANDARD SPECIFICATIONS AND CITY OF CUMMING WATER UTILITY STANDARD SPECIFICATIONS.
1	CLEAR AND GRUB ALL AREAS AFFECTED BY GRADING OPERATIONS. THE CONTRACTOR SHALL FIELD VERIFY CLEARING AND GRUBBING NEEDS PRIOR TO BIDDING. INCLUDES REMOVAL OF HOUSES, BUILDINGS, APPURTENANCES, TREES AND UTILITIES INCLUDING WELL ABANDONMENTS ASSOCIATED WITH SAID HOUSES. REMOVAL OF ALL FENCES AND TREES INCLUDED IN THIS BID ITEM. ALL MATERIAL THAT IS REMOVED FROM THE PROJECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
2	STRIP, SALVAGE AND SPREAD THE TOP 6 INCHES OF SOIL IN ALL DISTURBED AREAS. RESPREAD TOPSOIL IN PLAT 1 AREA. STOCKPILE TOPSOIL FOR RESPREAD IN FUTURE PLAT 2. THE TOP 6 INCHES OF SOIL TO BE RESPREAD SHALL BE FREE OF ROCK AND DEBRIS AND BE SUITABLE FOR THE GROWTH OF GRASS.
3	EXCAVATION INCLUDES ALL WORK NECESSARY TO ACHIEVE PROPER GRADES AS SHOWN IN PLANS. NO PAYMENT FOR OVERHAUL SHALL BE ALLOWED. SHRINKAGE WAS ASSUMED TO BE 30%.
4	REFER TO SHEET 2 FOR TYPICAL LOCATIONS AND THICKNESS. COMPACT THE TOP 12 INCHES OF SUBGRADE TO NOT LESS THAN 95% MAXIMUM STANDARD PROCTOR DRY DENSITY WITH A MOISTURE CONTENT AS SPECIFIED IN THE GEOTECHNICAL REPORT. SUBGRADE TO BE PREPARED IN 2 - 6 INCH LIFTS.
5-6	REFER TO FIG. 3010.101 - TRENCH BEDDING AND BACKFILL ZONES AND FIG. 3010.103 - FLEXIBLE GRAVITY PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL. SANITARY SEWER SHALL BE SOLID WALL PVC OR PVC TRUSS PIPE. TELEWISE SANITARY SEWER PRIOR TO PAVING AND PROVIDE TELEVISION REPORT TO CITY IN HARD COPY AND DISC FORMAT. TELEVISION SHALL BE CONSIDERED INCIDENTAL. CONNECTION TO EXISTING SANITARY SEWER SHALL BE CONSIDERED INCIDENTAL. CERTIFICATION FROM A GEOTECHNICAL ENGINEER RELATED TO SETTLEMENT OF THE TRENCHES SHALL BE REQUIRED BEFORE PAVING.
7-10	REFER TO FIG. 3010.101 - TRENCH BEDDING AND BACKFILL ZONES, FIG. 3010.102 - RIGID GRAVITY PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS, FIG. 3010.103 - FLEXIBLE GRAVITY PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL. PIPE LENGTH INCLUDES PIPE APRON. TELEWISE STORM SEWER PRIOR TO PAVING AND PROVIDE TELEVISION REPORT TO CITY IN HARD COPY AND DISC FORMAT. TELEVISION SHALL BE CONSIDERED INCIDENTAL.
	WHERE THE STORM SEWER CROSSES OVER THE WATER MAIN LOCATE ONE FULL LENGTH OF REINFORCED CONCRETE PIPE (RCP) WITH FLEXIBLE O-RING GASKET JOINTS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN.
11-15	REFER TO FIG. 3010.101 - TRENCH BEDDING AND BACKFILL ZONES AND FIG. 3010.104 - PRESSURE PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL GRANULAR PIPE BEDDING MATERIAL SHALL BE CONSIDERED INCIDENTAL. REFER TO FIG. 5010.101 FOR THRUST BLOCK DETAILS. REFER TO FIG. 5010.102 FOR TRACER WIRE DETAILS. CONNECTIONS TO EXISTING WATER MAIN, ALL FITTINGS, PIPE BEDDING MATERIAL, POLYETHYLENE ENCASEMENT, THRUST BLOCKS AND TRACER WIRE SYSTEM SHALL BE CONSIDERED INCIDENTAL. ALL WATER MAIN SHALL BE INSTALLED A MINIMUM OF 5.5 FEET BELOW FINISHED GRADE.
11	INCLUDES VALVE, VALVE BOX AND COVER, VALVE BOX EXTENSION, AND VALVE STEM EXTENSION.
14-15	REFER TO FIG. 5020.201 - FIRE HYDRANT ASSEMBLY FOR FIRE HYDRANT CONSTRUCTION DETAILS. INCLUDES ANCHORING TEE, ANCHORING ELBOW, GATE VALVE, VALVE BOX, ANCHORING PIPE, ANCHORING COUPLING, ELBOWS, TRACER WIRE STATION, FIRE HYDRANT AND THRUST BLOCKS.
16	REFER TO FIG. 6010.301 - CIRCULAR SANITARY SEWER MANHOLE (SW-301) FOR CONSTRUCTION DETAILS. REFER TO FIG. 6010.601 - CASTINGS FOR SANITARY SEWER MANHOLES FOR CASTING DETAILS. TYPE B CASTINGS REQUIRED FOR ALL MANHOLES IN PAVEMENT. THE MAXIMUM HEIGHT OF ADJUSTING RINGS ALLOWED FOR MANHOLE CASTINGS IS 12 IN. ROTATE STRUCTURE CONES AWAY FROM FUTURE SIDEWALKS.
17	REFER TO FIG. 6010.505 - DOUBLE GRATE INTAKE (SW-505) FOR CONSTRUCTION DETAILS. REFER TO FIG. 6010.602 - CASTINGS FOR STORM SEWER MANHOLES FOR CASTING DETAILS. TYPE F CASTINGS REQUIRED FOR ALL MANHOLES IN PAVEMENT. THE MAXIMUM HEIGHT OF ADJUSTING RINGS ALLOWED FOR MANHOLE CASTINGS IS 12 INCHES. ROTATE STRUCTURE CONES AWAY FROM FUTURE SIDEWALKS.
18	REFER TO FIG. 6010.50 - DOUBLE GRATE INTAKE WITH MANHOLE (SW-506) FOR CONSTRUCTION DETAILS. REFER TO FIG. 6010.602 - CASTINGS FOR STORM SEWER MANHOLES FOR CASTING DETAILS. TYPE F CASTINGS REQUIRED FOR ALL MANHOLES IN PAVEMENT. THE MAXIMUM HEIGHT OF ADJUSTING RINGS ALLOWED FOR MANHOLE CASTINGS IS 12 INCHES. ROTATE STRUCTURE CONES AWAY FROM FUTURE SIDEWALKS.
19	REFER TO FIG. 7030.101 - JOINTS FOR CONSTRUCTION. REFER TO INTERSECTION SHEET FOR JOINTING AND GEOMETRIC PLAN DETAILS. TYPICAL 'CD' JOINT SPACING IS 15 FEET. COARSE AGGREGATE FOR PCC PAVEMENT SHALL BE CLASS 3 DURABILITY.
20	REFER TO FIG. 7030.210 FOR GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK AND FIG. 7030.207 - CURB RAMPS FOR CLASS B OR C SIDEWALK FOR CONSTRUCTION DETAILS. REFER TO INTERSECTION DETAILS FOR SIDEWALK GRADES, SIDEWALK SLOPES SHALL NOT EXCEED A CROSS SLOPE OF 1.5%. DETECTABLE WARNING PANELS TO BE ARMOR TILE ADA SOLUTIONS OR APPROVED EQUAL, RED IN COLOR ACCESSIBLE RAMPS SHALL BE 6" THICK P.C.C. AND CROSS SLOPES SHALL NOT EXCEED 1.5%.
22-24	INCLUDES ALL MATERIALS, EQUIPMENT AND LABOR TO PERFORM REMOVALS. ALL REMOVALS SHALL BECOME PROPERTY OF THE CONTRACTOR.
25	REFER TO IOWA DEPARTMENT OF TRANSPORTATION STANDARD ROAD PLAN DRAWING S-182 AND DETAIL ON SHEET 2 FOR CONSTRUCTION DETAILS. SIGNS SHALL BE BLACK DIAMOND WITH RED DOTS.
26-27	REFER TO IDOT STD. RD. PLAN PM-110 - LINE TYPES, TABULATIONS 108-22 AND 108-29 ON SHEET 2 AND SHEETS 6-7 FOR LOCATIONS. INCLUDES ALL MATERIAL, LABOR AND EQUIPMENT, CLEANING AND PREPARING THE PAVEMENT SURFACE, GROOVE MARKINGS AND SYMBOLS INTO SURFACE, AND APPLICATION OF PAVEMENT MARKINGS AND SYMBOLS IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.

GENERAL NOTES

- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING:
 - CITY OF CUMMING
 - APPROPRIATE UTILITY COMPANIES
 - OWNER
 - CIVIL DESIGN ADVANTAGE
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN ALL SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT. INCLUDING STAGING OF CONSTRUCTION DETAILS.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- THE CONTRACTOR MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR THE CITY, TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY.
- SPECIAL CARE SHALL BE TAKEN WHEN FORMING AT INTERSECTIONS SO THE PROFILES SHOWN ON THE PLANS AND THE ELEVATIONS SHOWN ON THE INTERSECTION DETAILS ARE OBTAINED. SHORT LENGTHS OF FORMS OR FLEXIBLE FORMS MAY BE NECESSARY AT THESE LOCATIONS.
- TO OBTAIN THE CORRECT FORM GRADES AT LOW POINTS WHERE INTAKES ARE LOCATED, THE CONTRACTOR MUST EXERCISE ADDITIONAL CARE WHEN PAVING FULL WIDTH PAVEMENTS. THIS MAY REQUIRE POURING ONE HALF OF THE PAVEMENT AT A TIME OR OTHER METHODS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE PROPOSED AND EXISTING RIGHT OF WAY, CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS.
- PLAN AND PROFILE SHEETS INCLUDED IN THE PROJECT ARE FOR THE PURPOSE OF ALIGNMENT, LOCATION AND SPECIFIC DIRECTIONS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT. IRRELEVANT DATA ON THESE SHEETS IS NOT TO BE CONSIDERED A PART OF THIS CONTRACT.
- THE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH AND COMPLY WITH OSHA STANDARDS. NOTHING WITHIN THESE PLANS SHALL RELIEVE THE CONTRACTOR OF THIS REQUIREMENT.
- CIVIL DESIGN ADVANTAGE WILL PROVIDE ALL CONSTRUCTION STAKING ON THIS PROJECT. NOTIFY MIKE BROONER (369-4400) A MINIMUM OF 48 HOURS BEFORE CONSTRUCTION STAKES ARE REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES REQUIRED ON THE STORM WATER POLLUTION PREVENTION PLAN.
- IN THE EVENT OF A DISCREPANCY BETWEEN DETAILED PLANS AND QUANTITIES, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL. ALL TRAFFIC CONTROL SHALL COMPLY WITH MUTCD AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO ENGINEER FOR NOTATION ON AS-BUILTS INCLUDING LOCATION, TYPE OF TILE, & TILE ELEVATION.
- PRIOR TO ANY WORK AT THIS SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- CONTRACTOR SHALL COMPLY WITH ALL PROWAG A.D.A. REQUIREMENTS FOR ACCESSIBLE SIDEWALK RAMPS INCLUDING RAISED TRUNCATED DOME DETECTABLE WARNINGS.
- CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- ALL MATERIAL TESTING SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION.
- ALL MANHOLE THREE PIECE CASTINGS SHALL BE BOXED OUT IN THE PAVEMENT.
- THE GRADING OF THE DETENTION FACILITY AND INSTALLATION OF THE STORM SEWER SYSTEM SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN THE SIZE OF IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.
- BENDS SHOULD BE INSTALLED AS NEEDED THROUGHOUT THE PLAN.
- WATER MAIN INSTALLATION SHALL COMPLY WITH THE CITY OF CUMMING WATER UTILITY STANDARD SPECIFICATIONS.

GRADING NOTES

- GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS INC., DATED AUGUST 24, 2020, PROJECT NO. 08205135
- SOILS EXPOSED IN RELATIVELY DEEPER CUT AREAS ARE ANTICIPATED TO BE SENSITIVE TO DISTURBANCE DURING CONSTRUCTION, AS WELL AS REQUIRE AIR DRYING OR CHEMICAL MODIFICATION TO ACHIEVE SUITABLE COMPACTION AND STABILITY.
- WHERE RELATIVELY HIGH WATER CONTENT SOILS ARE ENCOUNTERED, THE SUBGRADE DEVELOPMENT MAY REQUIRE STRIPPING/UNDERCUTTING OF SITE SOILS TO DEPTHS OF AT LEAST 2 FEET BELOW PLANNED SUBGRADE LEVEL TO SUPPORT PAVEMENT SECTIONS ABOVE AT LEAST 2 FEET OF NEW STRUCTURAL FILL.
- AT LEAST 1-1/2 FEET OF LOW PLASTICITY COHESIVE SOIL REQUIRED BELOW FLOOR SLABS AND GRADE SUPPORTED EXTERIOR SLABS.
- DEWATERING OF EXCAVATIONS SHOULD BE ANTICIPATED.
- UNDERCUTS AND PLACEMENT OF AT LEAST 6 INCHES OF CRUSHED STONE SHOULD BE ANTICIPATED AT THE BASE OF DEEPER EXCAVATIONS.
- REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION REGARDING FILL COMPACTION REQUIREMENTS, UTILITY TRENCH BACKFILL, CHEMICAL TREATMENT OF SOILS, FILL MATERIAL TYPES, ETC.

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 TECH:



1459 GRAND AVENUE
 Des Moines, Iowa 50309
 P: 515-226-0128
 F: 515-223-9873

0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
QUANTITIES, NOTES AND REFERENCE NOTES

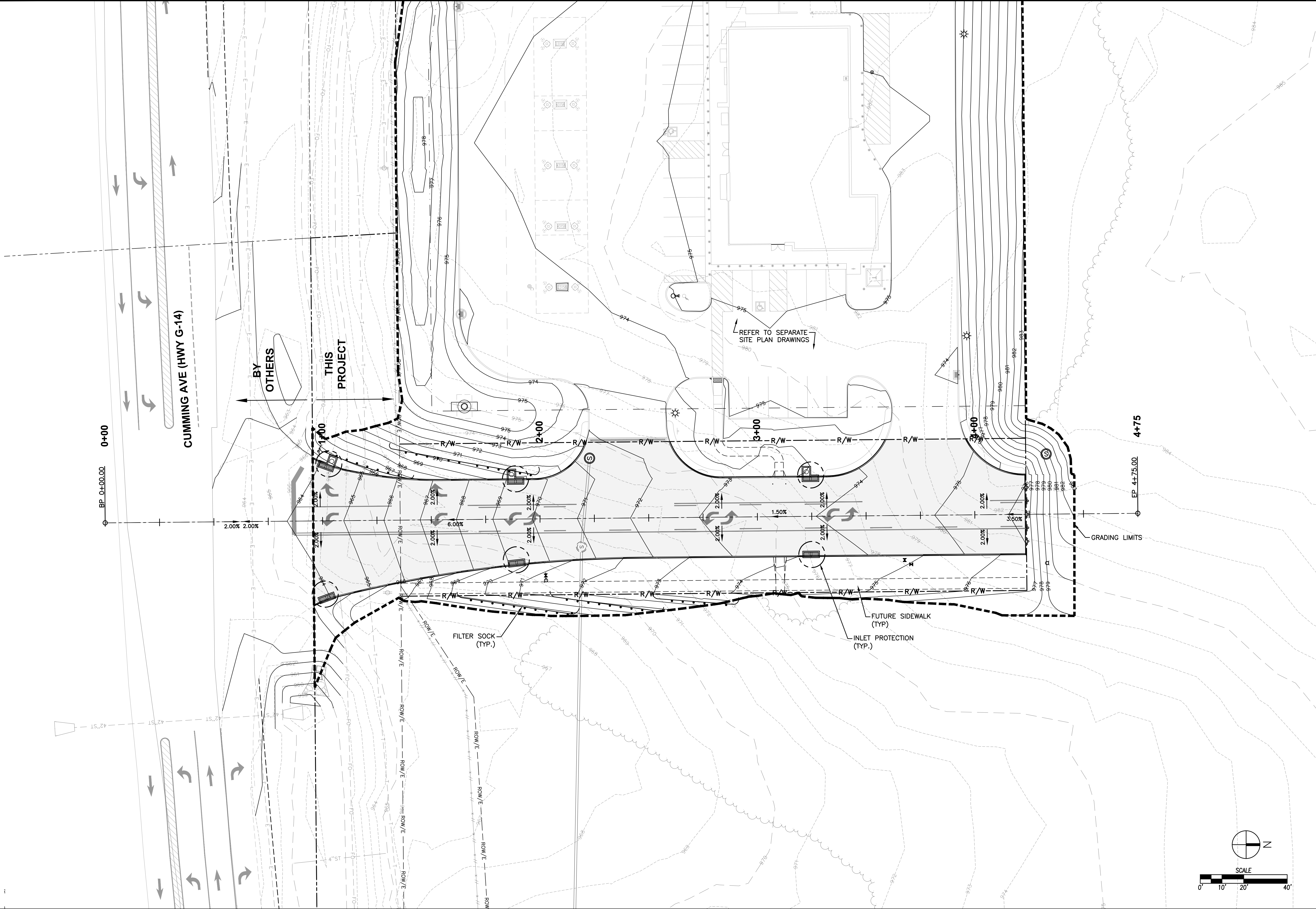
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 RDR:
 SDM:
 CPM:

REVISION DESCRIPTION	DATE	REVISIONS

DATE: 11-13-2020

SHEET NUMBER:
3 OF 10

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I-35 & CUMMING AVENUE
GRADING PLAN

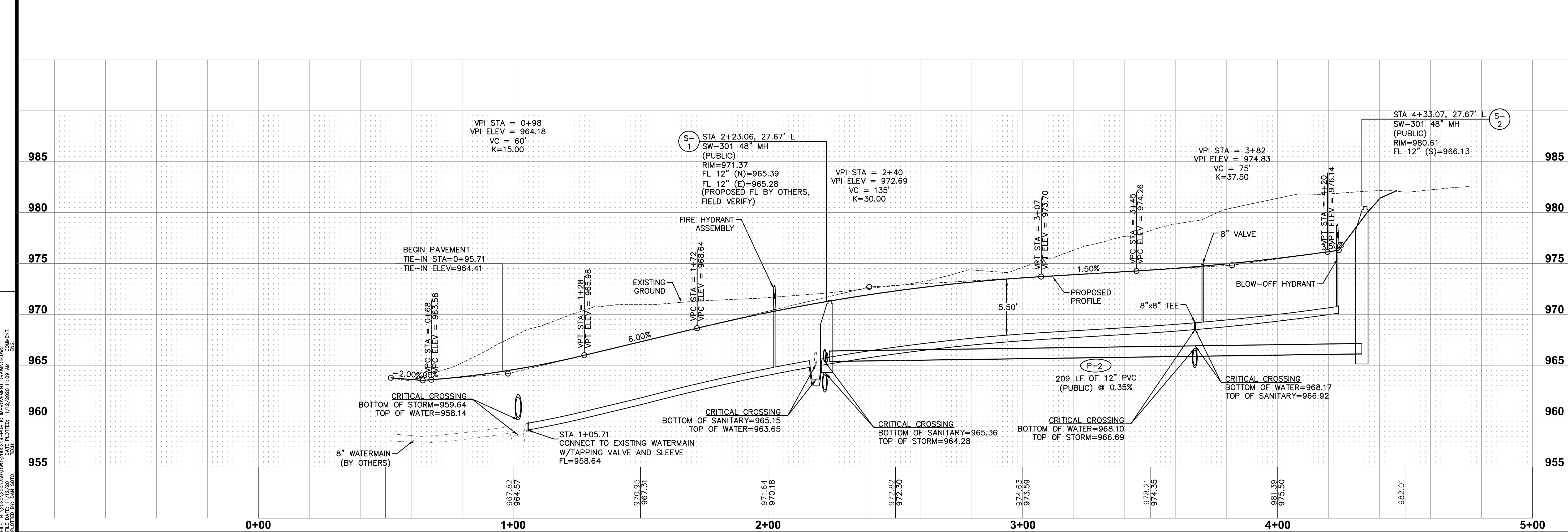
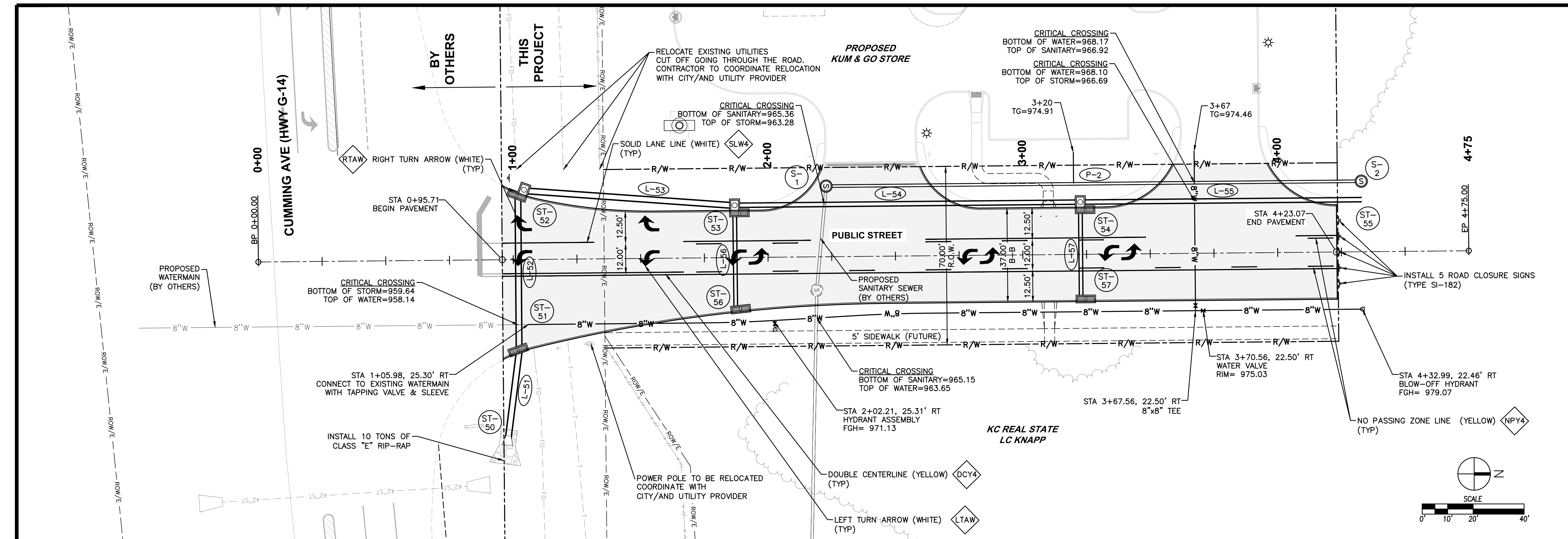
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 RDR:
 SDM:
 CPM:

DATE	REVISION DESCRIPTION

DATE: 11-13-2020

SHEET NUMBER:
5 OF 10

REVISIONS



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0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
SANITARY SEWER & WATERMAIN
PLAN & PROFILE

KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

DATE	REVISION DESCRIPTION

DATE: 11-13-2020

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 F: 515-223-9873

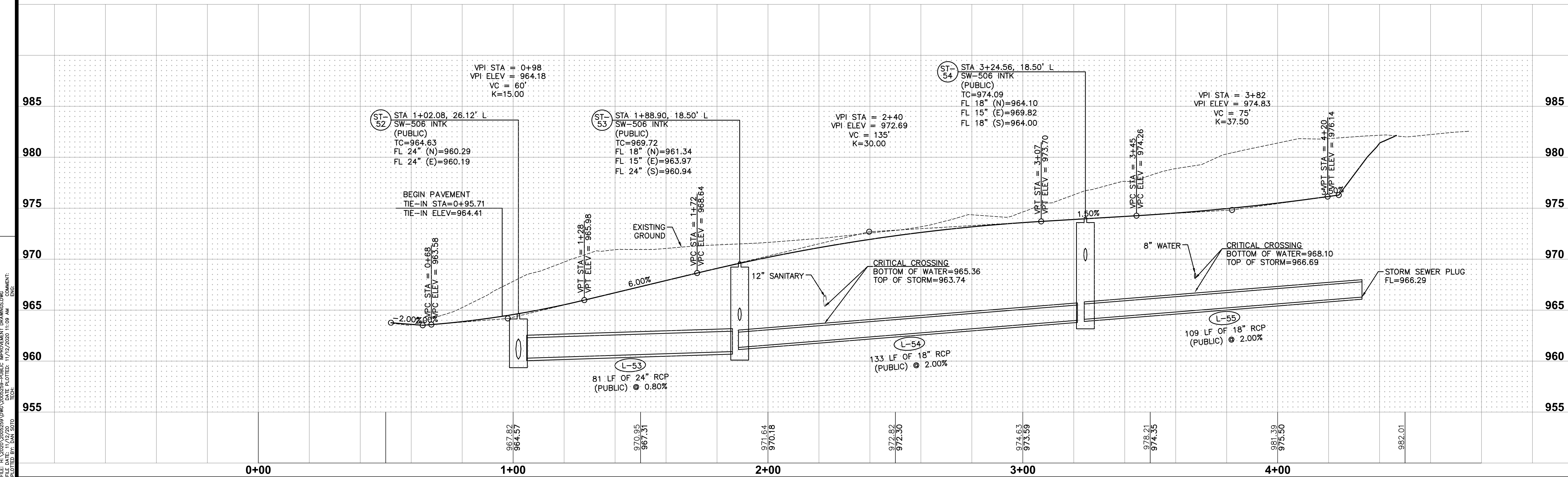
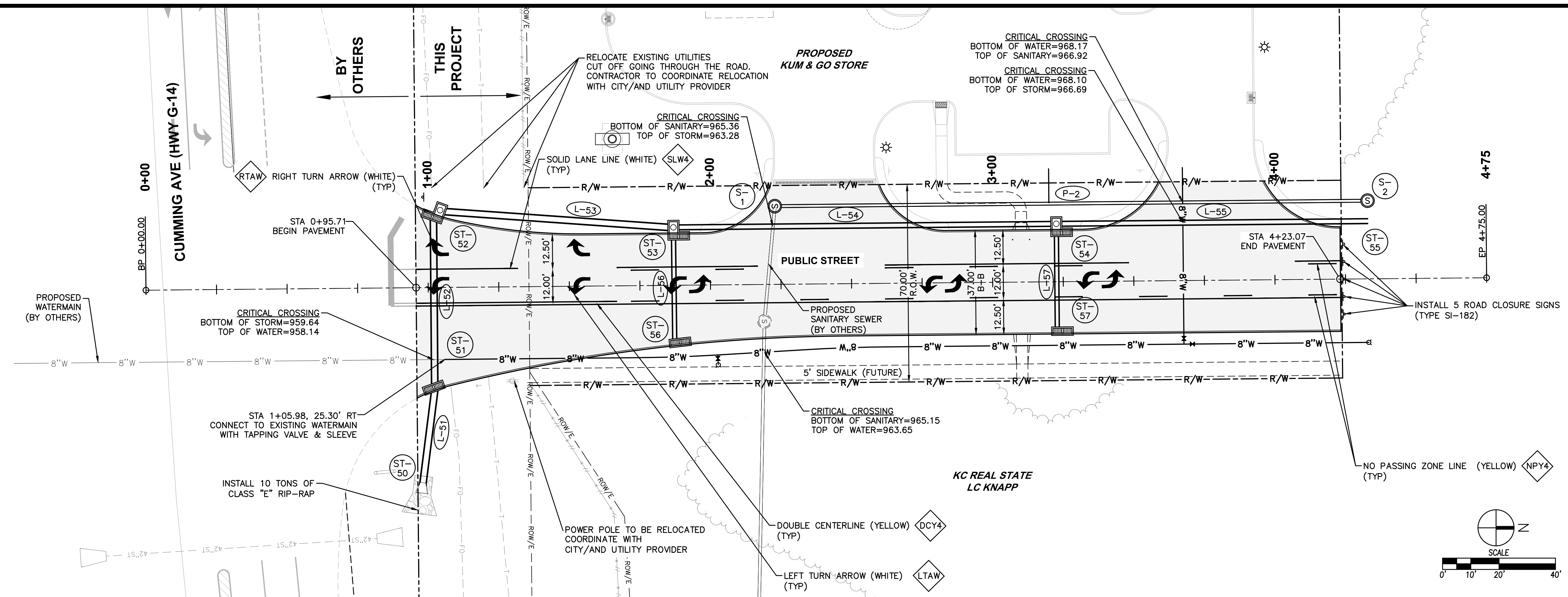
0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
STORM SEWER PLAN & PROFILE

KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

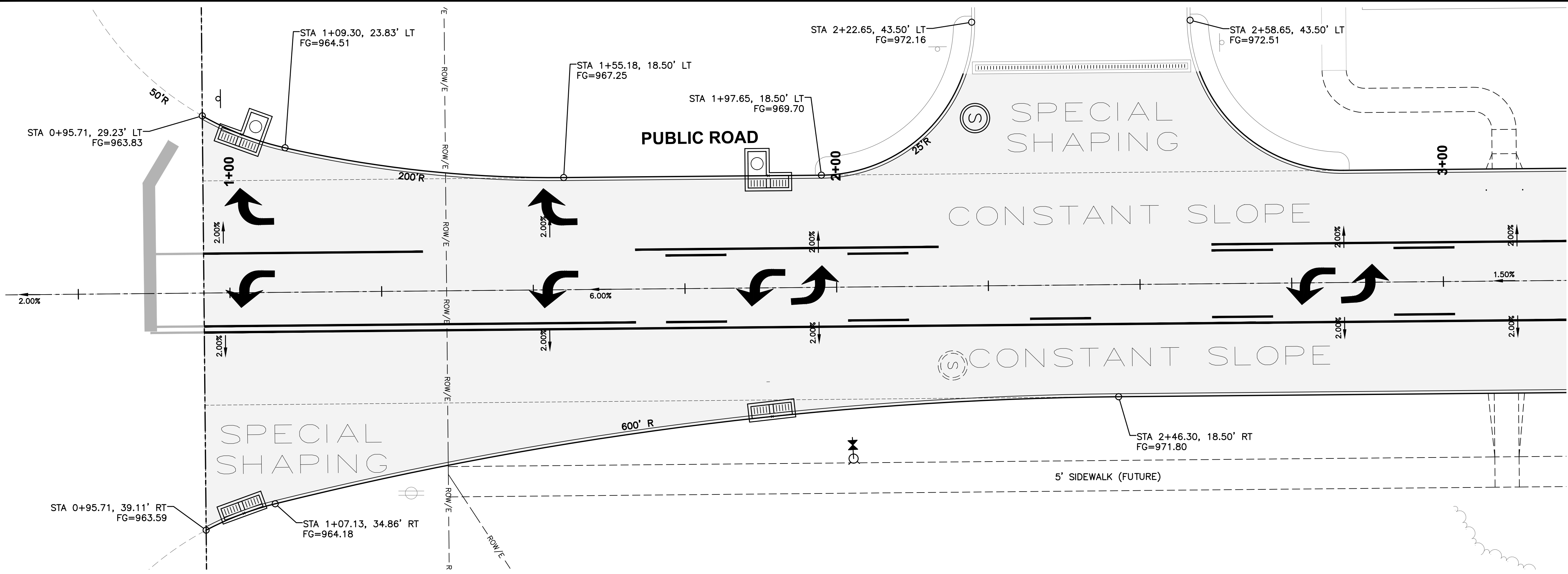
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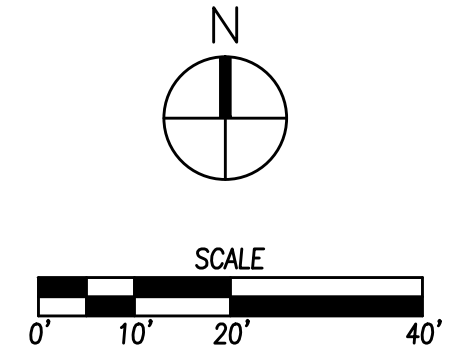
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7 OF 10



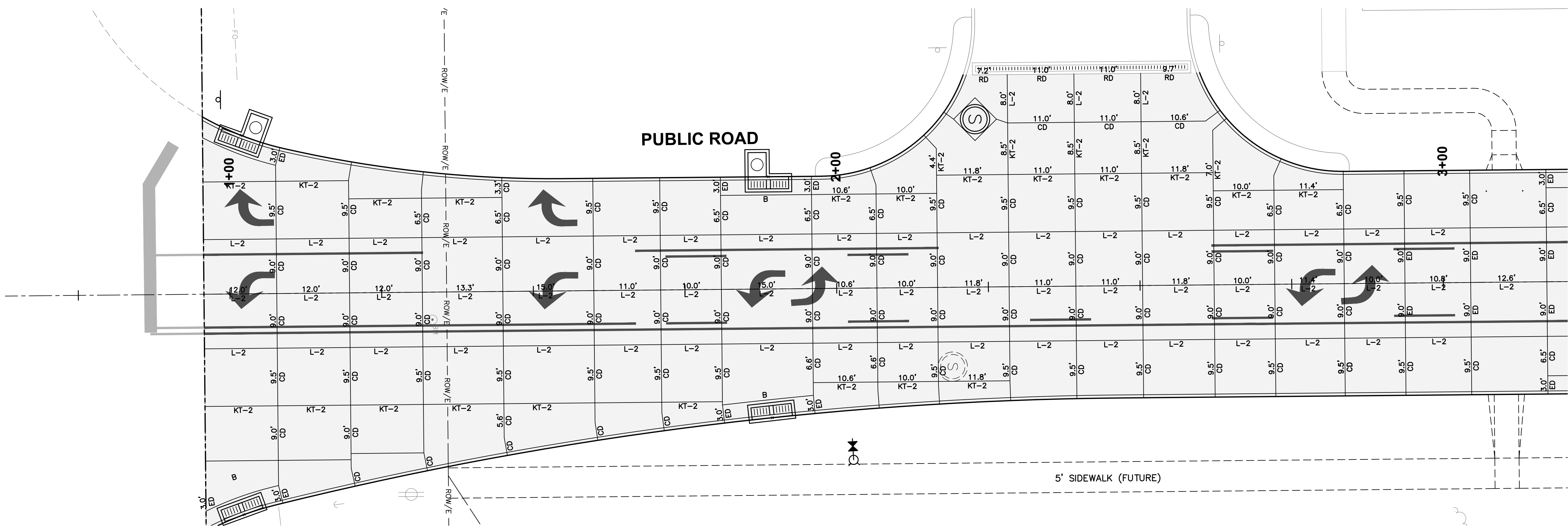
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GEOMETRICS AND STAKING LAYOUT



- NOTES:**
- ELEVATIONS SHOWN ARE TOP OF SLAB AND/OR FORM GRADE.
 - DROP CURBS AT LOCATIONS SHOWN FOR FUTURE ACCESSIBLE RAMPS.
 - REFER TO FIGURE 6010.514 FOR GRATE INTAKE BOXOUT FOR PCC PAVEMENT DETAILS.



JOINTING PLAN

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0198 - CUMMING, IOWA
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INTERSECTION DETAILS

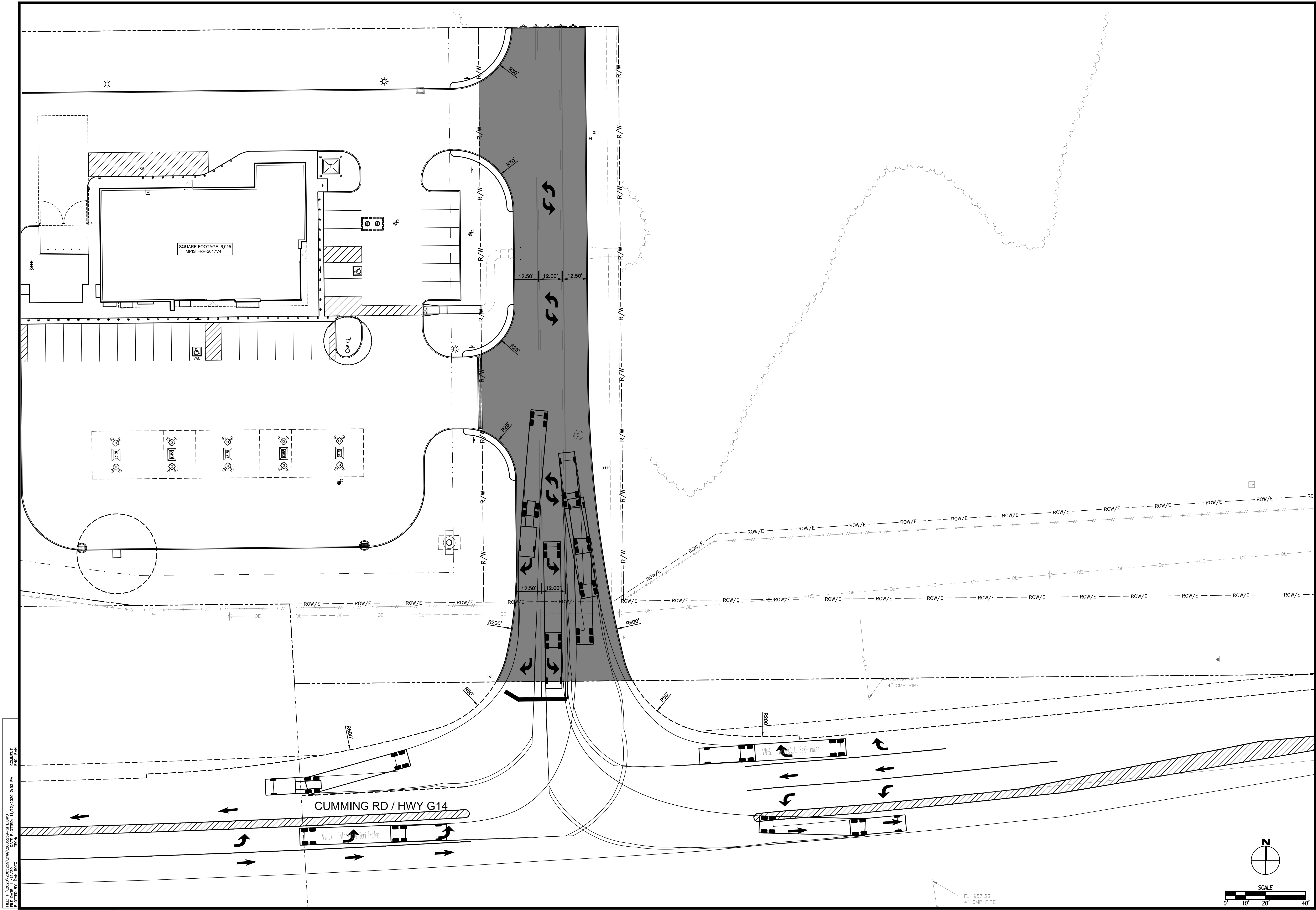
KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

DATE	REVISION DESCRIPTION

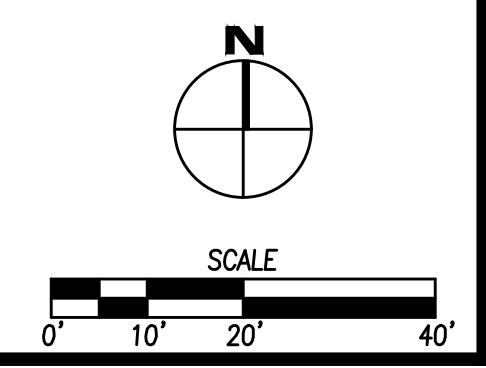
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SHEET NUMBER:
9 OF 10

REVISIONS



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 DATE PLOTTED: 11/13/2020
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 Des Moines, Iowa 50309
 P: 515-226-0128
 F: 515-223-9873

0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
AUTOTURN EXHIBIT - WB-67

KG PROJECT TEAM:
 RDR:
 SDM:
 CRM:

REVISIONS	DATE	REVISION DESCRIPTION

DATE: 11-13-2020

SHEET NUMBER:

10 OF **1**

PLOT BY: AUSTIN ROEMER - 2020/11/23 - Q:\E-FILES\800008945_CAD Drawings\Schematic\8395 G-14 IMPROVEMENTS.dwg - ANSI EXPAND D (94.00 X 22.00 INCHES) - DWG TO PDF.PCS - CEC-XES TEST.CTB - PLOT SCALE = 1/1



I-35 NORTHBOUND
ON RAMP

I-35 EXIT 65
G-14 OFF RAMP

OWNER:
KC REAL ESTATE LC KNAPP
PROF INC ENTITY NAME
5000 WESTOWN PKWY STE 400
WEST DES MOINES IA 50266

OWNER:
KC REAL ESTATE LC KNAPP
PROF INC ENTITY NAME
5000 WESTOWN PKWY STE 400
WEST DES MOINES IA 50266

OWNER:
IOWA DEPARTMENT
OF TRANSPORTATION

OWNER:
IOWA DEPARTMENT
OF TRANSPORTATION

OWNER:
MIDDLETON FAMILY LC
3930 GRAND AVE #308
DES MOINES IA 50312

1
130,636 S.F.
3.00 AC.

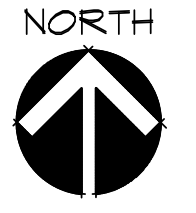
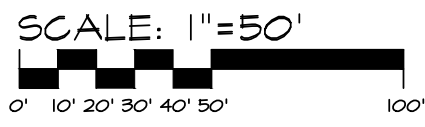
2
130,680 S.F.
3.00 AC.

LOT 'A'
20,153 S.F.
0.46 AC.

LOT 'B'
50,321 S.F.
1.16 AC.

WARREN COUNTY HWY 6-14

HORIZONTAL SCALE
1"=50' PRINTED ON 22"x34"
1"=100' PRINTED ON 11"x17"



PRELIMINARY - NOT FOR CONSTRUCTION

COUNTY HIGHWAY 6/14

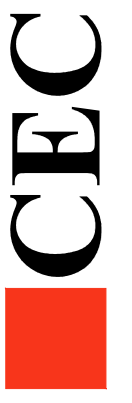
FCC PAVEMENT WIDENING, ----

PAVEMENT MARKINGS PLAN

SHEET
D-30
OF 30
E-8395

PUBLISH DATE: November 19, 2020

DATE OF SURVEY:	JULY 23, 2020	PC
DESIGNED BY:		MEH
DRAWN BY:		



Civil Engineering Consultants, Inc.
2400 86th Street, Unit 12, Des Moines, Iowa, 50322
515.276.4884 · Fax: 515.276.7084 · mail@cecinc.com

City of Cumming

Deputy Clerk Job Posting

The City of Cumming is seeking a part-time (20-25 hours a week) Deputy Clerk to join our team. Hours will be Monday thru Friday 10:00 am to 2:00 pm. Attendance at evening meetings 1-3 times per month may be required.

Responsibilities include but not limited to:

- Learn all aspects of the City Clerk job and take on Clerk duties in his/her absence
- Handle payables, receivables and other accounting tasks as assigned
- Aid in retention and maintenance of City records and files
- Assist in preparing agendas, minutes, ordinances, resolutions and packets for Council and Planning & Zoning meetings
- Answer phones and help residents in person while providing excellent customer service
- Assist with City Facebook pages and website
- Assist preparing and sending out newsletters
- Generate permits, collect permit fees, and coordinate building permits with Building Inspectors
- Weekly cleaning of City Hall
- Other duties as required

Qualifications:

- Associates degree with business or accounting emphasis preferred
- General knowledge of accounting/bookkeeping, basic municipal government functions, building codes and permitting processes is preferred
- Must have good organizational skills, as well as excellent communication skills, both written and oral, to interact with staff, elected officials and residents
- Use Word, Excel, Access, PowerPoint and Outlook proficiently from date of hire
- Must be proficient from date of hire at managing Facebook pages
- Ability to learn ClerkBooks accounting software quickly and efficiently
- Must demonstrate a high level of initiative and be able to prioritize and manage multiple tasks at the same time under strict deadlines.
- Must hold valid driver's license
- Must be bondable and able to pass a background check

Salary: \$15.00 to \$17.00 per hour - DOQ

To be considered for this position, email a cover letter and resume to
deputyclerk@cumming.iowa.gov

CHAPTER 66

LOAD AND WEIGHT RESTRICTIONS

66.01 Temporary Embargo
66.02 Permits for Excess Size and Weight
66.03 Load Limits Upon Certain Streets

66.04 Load Limits on Bridges
66.05 Truck Routes

66.01 TEMPORARY EMBARGO. If the Council declares an embargo when it appears by reason of deterioration, rain, snow or other climatic conditions that certain streets will be seriously damaged or destroyed by vehicles weighing in excess of an amount specified by the signs, no such vehicles shall be operated on streets so designated by such signs.

(Code of Iowa, Sec. 321.471 & 472)

66.02 PERMITS FOR EXCESS SIZE AND WEIGHT. The Mayor may, upon application and good cause being shown, issue a special permit in writing authorizing the applicant to operate or move a vehicle or combination of vehicles of a size or weight or load exceeding the maximum specified by State law or the City over those streets or bridges named in the permit which are under the jurisdiction of the City and for which the City is responsible for maintenance.

(Code of Iowa, Sec. 321.473 & 321E)

66.03 LOAD LIMITS UPON CERTAIN STREETS. When signs are erected giving notice thereof, no person shall operate any vehicle with a gross weight in excess of the amounts specified on such signs at any time upon any of the following streets or parts of streets:

(Code of Iowa, Sec. 321.473 & 475)

- NONE -

66.04 LOAD LIMITS ON BRIDGES. Where it has been determined that any City bridge has a capacity less than the maximum permitted on the streets of the City, or on the street serving the bridge, the Council may cause to be posted and maintained signs on said bridge and at suitable distances ahead of the entrances thereof to warn drivers of such maximum load limits. No person shall drive upon said bridge any vehicle weighing, loaded or unloaded, in excess of such posted limit.

(Code of Iowa, Sec. 321.471)

66.05 TRUCK ROUTES. Truck route regulations are established as follows:

1. Truck Routes Designated. Every motor vehicle weighing 10,000 pounds or more, when loaded or empty, having no fixed terminal within the City or making no scheduled or definite stops within the City for the purpose of loading or unloading shall travel over or upon the following streets within the City and none other:

(Code of Iowa, Sec. 321.473)

- NONE -

2. Deliveries Off Truck Route. Any motor vehicle weighing 10,000 pounds or more, when loaded or empty, having a fixed terminal, making a scheduled or definite stop within the City for the purpose of loading or unloading shall proceed over or upon the designated routes set out in this section to the nearest point of its scheduled or definite stop and shall proceed thereto, load or unload, and return by the most direct route to its point of departure from said designated route.

(Code of Iowa, Sec. 321.473)

3. Employer's Responsibility. The owner or any other person employing or otherwise directing the driver of any vehicle shall not require or knowingly permit the operation of such vehicle upon a street in any manner contrary to this section.

(Code of Iowa, Sec. 321.473)

FY22 Budget Timeline

Budget Discussion - Orders notice of Max Levy Hearing (MLH)	1/11/21 – Regular Meeting
Notice of MLH sent to paper by noon	1/15/21*
Notice of MLH is published in newspaper, online, and 3 places. (1/23-1/3**)	1/21/21 – (19 days prior to hearing)
Budget Work Session	1/25/21 – Regular Meeting
Public Max Levy Hearing held, Resolution Signed. Council adopts final Proposed Budget and sets Public Hearing	2/8/21 – Regular Meeting
Signed Max Levy Resolution is posted online	2/9/21
Final Budget sent to newspaper by noon	2/12/21
Notice of Public Hearing is published (2/17-2/27**)	2/18/21 – (19 days prior to hearing)
Public Hearing and Resolution to certify budget	3/08/21 – Regular Meeting
Certified Budget to County Auditor and filed with the Iowa Dept. of Management (IDOM)	3/31/21*
Person affected by the budget have 10 days after certification to file a written protest.	4/01/21*
IDOM certifies taxes back to county auditor	6/15/21*
Budget takes effect	7/1/21*

*Deadline, statutory deadlines or requirements

**Notices need to be published 10/20. No less than 10 days and no more than 20 days before the Hearing Date.