

**NOTICE OF REGULAR COUNCIL MEETING
CUMMING CITY COUNCIL
December 14, 2020 – 7:00 p.m.
Cumming City Hall, 649 N 44th St., Cumming Iowa***

This meeting of the City of Cumming City Council, on Monday, December 14, 2020 will be held electronically. Pursuant to Iowa Code Sections 21.4 and 21.8 this meeting will be held by electronic means due to the Governor's proclamations regarding social gatherings due to the spread of COVID-19. Attendees can access the meeting via [Zoom](#).

- I. ROLL CALL**
- II. APPROVAL OF AGENDA** as presented and/or amended
- III. STAFF COMMENT**
- IV. PUBLIC COMMENT**
- V. BOARDS AND COMMISSIONS REPORTS**
 - A. Park and Recreation
 - B. Planning and Zoning
- VI. CONSENT ITEMS**
 - A. 11/26/20 Regular Meeting Minutes
 - B. 11/17/20 Planning & Zoning Meeting Minutes
 - C. November IPERS Wage & Contribution Report
 - D. November Fund Balance Report
 - E. November Profit & Loss by Fund
 - F. November Treasurer's Report
 - G. November Profit & Loss Budget vs Actual YTD Summary
 - H. November Claims Paid & Summary of Receipts
 - I. November Revenue Detail
 - J. Claims to Be Approved
 - K. November Building Permit Log
- VII. ACTION/DISCUSSION ITEMS**
 - A. **Resolution 2020-77** Site Plan – Kum & Go (5237 Cumming Ave)
 - B. **Second Reading of Ordinance 2020-08** An Ordinance Amending the Code of Ordinances of the City of Cumming, Iowa, by Amending Provisions Pertaining to Chapter 69 Parking Regulations
 - C. Approve Park and Board Member - Jackie Haan
 - D. Centurylink Quote for City Hall
 - E. Sewer Update
 - F. FY2022 Budget Discussion
- VIII. OLD BUSINESS**
 - A. Designated Truck Route – Send to P&Z
 - B. Food Truck Application Fees – Send to P&Z
 - C. Summer Long Event Ordinance – Send to P&Z
- IX. REPORTS:**
 - A. Mayor
 - B. Council
 - C. Attorney
 - D. City Administrator

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F. Deputy Clerk

PUBLIC COMMENT

X. UPCOMING CITY COUNCIL MEETING: Regular Meeting: January 11, 7:00 p.m. at City Hall

XI. ADJOURN

*This meeting will also be held electronically through the Zoom App. If you would like to participate or view this meeting please download the app and choose “Join Meeting” up to 10 minutes prior or click the link. The **meeting ID is: 879 8100 5255 Password: 275696** If you would like to join by telephone please call: 312-626-6799 and enter the Meeting ID and Password when prompted. Please keep your microphone muted unless you are called upon to speak during public comment. The standard rules of order apply during this meeting. If have any questions about the operation of this app or how to join please contact City Hall at 515-981-9214 no later than 4:00 p.m.

**NOTICE OF REGULAR COUNCIL MEETING
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City Administrator Notes

- I. **ROLL CALL**
- II. **APPROVAL OF AGENDA** as presented and/or amended
- III. **STAFF COMMENT**

As you may recall at the last Council Meeting, the Mayor requested that Staff come back with information to address some of the comments that came up during the Public Comment section. These have been addressed on the next page.
- IV. **PUBLIC COMMENT**

The purpose of this section is to allow the public an opportunity to address the Mayor and City Council. Comments will be held to no more than 3 minutes. It should be noted that the Mayor and Council does not engage during this time but may refer an item to City Staff.
- V. **BOARDS AND COMMISSIONS REPORTS**
 - A. Park and Recreation
 - B. Planning and Zoning
- VI. **CONSENT ITEMS**
 - A. 11/26/20 Regular Meeting Minutes
 - B. 11/17/20 Planning & Zoning Meeting Minutes
 - C. November IPERS Wage & Contribution Report
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 - H. November Claims Paid & Summary of Receipts
 - I. November Revenue Detail
 - J. Claims to Be Approved
 - K. November Building Permit Log
 - L. Centurylink Quote to Increase Internet Speed at City Hall
- VII. **ACTION/DISCUSSION ITEMS**
 - A. **Resolution 2020-77** Site Plan – Kum & Go at 5237 Cumming Ave

Enclosed in your packet information is a Resolution approving the Site Plan for Kum & Go. The P&Z recommended approval of the site plan at their November 17, 2021 meeting. At your last meeting, the Council voted to table the vote to allow time for the City Staff to look into some of the comments that were made during the Public Comment section of the agenda. It should be noted that Kum & Go has agreed to post both No Overnight Parking signs, as well as, 30 Minute Parking signs. They have also updated their architectural design to meet with our code, replacing some of the exterior with brick veneer.

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B. Second Reading of Ordinance 2020-08 An Ordinance Amending the Code of Ordinances of the City of Cumming, Iowa, by Amending Provisions Pertaining to Chapter 69 Parking Regulations

Enclosed in your packet information is an amended ordinance pertaining to no parking regulations. The affected area is listed below:

6. N. Callison Avenue, on the south side from North 44th Street to North 43rd Street
7. N. Callison Avenue, on the south side, from North 43rd to the east end of the street
8. N. Dawson Avenue, on the south side from North 44th Street to North 43rd street
9. N. Dawson Avenue, on the south side, from North 43rd to the east end of the street

All of the properties that are affected have been notified by mail. A Public Hearing was held on November 23, 2020. The first reading of the ordinance was approved by the Council. **Staff would recommend approval of the 2nd reading.**

C. Approve Park and Board Member - Jackie Haan

The Park Board voted to recommend Jackie Hann to fill a vacancy on the Park Board.

D. Sewer Update

As you may recall, I had briefly discussed with the Council the preliminary WRA flow volume estimate for the FY 22 budget. Our 2019 flow went from 13 million gallons per year to 29 million gallons per year. Our Engineer as well as myself met with WRA employees concerning the drastic increase. We ended our conversation they agreed in principle, that we would use the 13 million gallons of flow for FY 22. This would allow us to work with the WRA to determine what is causing the change in flow.

E. FY2022 Budget Discussion

Enclose in your packet information is the schedule we will be using for the FY 22 budget.

VIII. OLD BUSINESS

- A. Designated Truck Route – Send to P&Z
- B. Food Truck Application Fees – Send to P&Z
- C. Summer Long Event Ordinance – Send to P&Z

IX. REPORTS:

- A. Mayor
- B. Council
- C. Attorney
- D. City Administrator

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December 14, 2020 – 7:00 p.m.
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F. Deputy Clerk

X. PUBLIC COMMENT

XI. UPCOMING CITY COUNCIL MEETING: Regular Meeting: January 11, 7:00 p.m. at City Hall

XII. ADJOURN

*This meeting will also be held electronically through the Zoom App. If you would like to participate or view this meeting please download the app and choose "Join Meeting" up to 10 minutes prior or click the link. The **meeting ID is: 879 8100 5255 Password: 275696** If you would like to join by telephone please call: 312-626-6799 and enter the Meeting ID and Password when prompted. Please keep your microphone muted unless you are called upon to speak during public comment. The standard rules of order apply during this meeting. If have any questions about the operation of this app or how to join please contact City Hall at 515-981-9214 no later than 4:00 p.m.

To: Mayor and Council
From: City Administrator
Re: Addressing Concerns
Date: December 9, 2020

As you may recall, at the November 23 Council Meeting, the Council requested that City Staff provide a report pertaining to the Public Comments that they received at that the Council Meeting. See below:

Transparency – During the November 23, 2020 Public Comments, there were many concerns expressed as to why residents were not made aware of a truck stop coming to the area and simply put, because there is not. The proposed gas station is not a truck stop. It is indeed a gas station where trucks, cars, vans, RV's, busses, and any other vehicles propelled by fuel are welcome. It is an equal opportunity fueling station.

Under chapter 165.05, Section 151 of the Zoning Code, the definition of what constitutes a **"Truck Stop"** – means a service station which is **designed principally** for the servicing and temporary parking of trucks. The proposed Kum & Go does not fit that definition.

Also, under chapter 165.05, Section 64 of the Zoning Code, the definition of what constitutes a **"Gas or service station"** – means any building or premises used for the retail sale of liquefied petroleum products for the propulsion of motor vehicles, and including such products as kerosene, fuel oil, gasoline and diesel fuel.

Chapter 165.18 **"C-1 Highway Commercial District Regulations"** describes the allowable uses for the property in question. Chapter 165.18 Section 1B (6), Gas Stations or Service Stations are an allowed use. Furthermore, chapter 165.18 Section 1B (16) states that any use which is found by the Zoning Administrator to be a use similar to one of the above named uses, and in his/her opinion, conforms to the intent to this section. As the Zoning Administrator, it was deemed that the "Gas or Service Station" met the intent. Our City Attorney also at the same opinion.

Additionally, there are **no** amenities which are universally accepted as meeting the criteria for a truck stop such as: showers, overnight or long-term parking, restaurants and entertainment available on site. For those reasons, as well as those defined by our code, the proposed Kum & Go is not defined as anything other than a gas station.

It is important to point out that the Future Land Use Map shows this site to be Highway Commercial (C-1). This map was approved by both the P&Z and the City Council in 2015. You can find this map, along with the up-to-date zoning map on the City's website.

Crime/Safety – A concern of public safety with a possible increase of crime was expressed. I have recently reached out to 2 local Police Chiefs to get their opinion on whether or not the current proposal for the gas station would cause them concerns in regards to crime or safety.

They both stated they would not have any major concerns. I also confirmed that should an event occur, in the addition to the Warren County Sheriff, the Highway Patrol and Norwalk Police Department could respond as well.

Safety of bikes - Staff understands that a lot of bike riders come through Cumming. Some time in the near future, improvements will be made to Highway G-14. We would look to see if a trail could be added at that time.

Decrease of valuation – The concern that homeowners would see their home valuations decrease should the Kum & Go station locate here. I contacted the Warren County Assessor's Office on this item. They stated that the Kum & Go station would have no effect on residential valuations. Under state law, the Assessor determines the value of a home based on the surrounding residential home sales.

Noise Pollution – The topic of the noise because of the semi-trucks was brought up during the Public Comments. Chapter 69.09 (2) reads as follows:

2. Noise. No such vehicle shall be left standing or parked upon any street, public or private parking lot, or drive of any service station between the hours of ten o'clock (10:00) p.m. and six o'clock (6:00) a.m. with the engine, auxiliary engine, air compressor, refrigerating equipment or other device in operation giving off audible sounds excepting only the drive of a service station when actually being serviced, and then in no event for more than thirty (30) minutes

Light Pollution It is staff's intention to have this item as part of the site plan for Kum & Go. This would allow staff to work with them to minimize the impact.

No Overnight parking – Kum & Go has agreed to add the no overnight parking sign as part of the site plan.

Expansion – The topic of expansion to the site was brought up during Public Comments. Kum & Go has already stated that they have no plans nor room to expand their operations.

Procedures for Rezoning – In future rezoning, the City will post a sign on the land that has requested the change. The sign will state the time and date of when the City Council will hold the hearing on.

Wording on the Agenda – Add addresses to plat names on the agenda. Staff was made aware that plat names are too vague. In order to address this, we are going to add the address of where the plat is located. If an address has not yet been assigned, a location description will be provided.

Size of Signs – See the response from the City Attorney attached

Request from Mr. Ms. Holzworth, to their questions and our response to be available to the Mayor and Council as well as the public. We have enclosed the City Attorney's response to them as part of this memo.

OFFICIAL PUBLICATION
CITY OF CUMMING
Regular Council Meeting 11/23/2020
To be Approved at 12/14/20 Regular Meeting

This meeting of the City of Cumming City Council, on Monday, November 23, 2020 was held electronically. Pursuant to Iowa Code Sections 21.4 and 21.8 this meeting was held by electronic means for all participants due to the Governor's proclamations regarding social gatherings due to the spread of COVID-19. All attendees could access the meeting via Zoom.

The Meeting was called to order at 7:00 P.M. by Mayor Tom Becker. Present at Roll Call: Thomas Cackler, Brent Highfill, Kathie Hungerford, Dino Goode and Charlie Ochanpaugh. Motion by Goode, seconded by Hungerford to approve the agenda as presented. Approved 5-0, voice vote. (Voting recorded as either voice vote or RC = roll call vote)

Welcome and Public Comments: Public comments were taken in regards to the proposed Kum & Go site plan. Public comment was closed at 7:45 pm.

Boards and Commissions Reports:

- A. Park and Recreation collaborated with the Hometown Pride committee to replace more than a 150 light bulbs on the holiday decorations. Thanks went out to Bob Perkins and Bakers Group who volunteered their time and vehicle to hang the lights in the City.
- B. No Comments by Planning and Zoning

Consent Items:

Motion by Highfill, seconded by Hungerford to approve the consent items as presented. 11/9/20 Council Meeting Minutes, 11/10/20 Planning & Zoning Special Meeting Minutes, Claims to be Approved. Approved 5-0, voice vote.

Action/Discussion Items

- A. **Public Hearing:** Amending the Code of Ordinances, City of Cumming, IA by Amending Chapter 69 Parking Regulations opened at 7:49 pm. Motion by Ochanpaugh, seconded by Highfill to close the public hearing at 7:50 p.m. No public or written comments were made. Approved 5-0, RC vote.
- B. Motion by Hungerford, seconded by Goode to approve the first reading of **Ordinance 2020-08** An Ordinance Amending the Code of Ordinances of the City of Cumming, Iowa, by Amending Provisions Pertaining to Chapter 69 Parking Regulations. Approved 5-0, RC vote.
- C. Motion by Goode, seconded by Cackler to approve **Resolution 2020-76** Approving and Authorizing Balance Transfers. Approved 5-0, RC vote.
- D. Motion by Cackler, seconded by Highfill to approve **Resolution 2020-77** Site Plan – Kum & Go. Discussion held. Cackler withdrew his motion. Item was tabled.
- E. Motion by Goode, seconded by Highfill to approve authorization to begin the process of hiring a Deputy Clerk. Approved 5-0, RC vote.
- F. Highfill was appointed as Planning & Zoning Liaison, Ochanpaugh alternate.
- G. Hungerford was appointed as Park and Recreation Liaison, Goode alternate.

Old Business:

- A. Designated Truck Route was discussed.
- B. N. 34th and N. Cattail Creek Update: The work has been completed. Mr. Fagen and Mr. Highfill will look at some possible proactive work directly west of this project.

Reports: Mayor: None, Council: Thanks to HTP and Park and Rec for putting up holiday lights. City Attorney: City Admin and City Attorney will collaborate on new P&Z processes. City Administrator: Sewer expenses will be coming up for discussion. Deputy Clerk: Care Act application was processed and we are expected to receive nearly \$10,000. We also have an ICAP grant pending for \$1000.

Public Comment: None

Upcoming City Council Meeting: Regular Council Meeting, Monday, December 14, 2020 at 7:00 p.m. at City Hall/Zoom

Motion by Highfill, seconded by Ochanpaugh to Adjourn at 9:00 p.m. Approved 5-0.

Tom Becker, Mayor

Attest: Angie Ritchie, Deputy Clerk

City of Cumming
Planning and Zoning Commission Meeting
November 17, 2020 Minutes

The Cumming Planning and Zoning Commission held scheduled meeting on November 10, 2020 at 7:00 p.m via Zoom
The meeting was called to order by Chair, Ethan Roos, at 7:04 p.m.

I. ROLL CALL

Present: Jill Stanford, Matt Daniels, Karen McKinney, Holly De Hamer, Ethan Roos, John Botts,

Absent: none

II. APPROVAL OF AGENDA

McKinney moved – Botts second – McKinney, Roos, Botts, Daniels approved, Stanford, De Hamer abstained.

III. CONSENT ITEMS

November 10th, 2020 Meeting Minutes

Stanford moved – Daniels second - unanimously approved

IV. PUBLIC COMMENT

Mayor Tom Becker: Why Commercial here? This was set up years ago

V. ACTION

A. Kum & Go Site Plan

Discussion about the site plan included questions about the following code requirements:

- 165.18.1 C-1 District Use lists "gas stations or service stations", but it does not list diesel fueling stations or truck stops. This site plan includes diesel fueling bays and semi-truck parking, so the commission questioned if it fits the intention of the city code. The City attorney determined this site plan meets the C-1 intended use.
- 165.29 landscaping requirements. Tony will verify if the number of tree/shrub meets guidelines.
- 166.09 Architectural guidelines for C-1 building materials. Tony will verify percent composition of materials.
- 167.08 Signs Permitted for C-1. The following categories do not comply with existing code: Facia/wall signs, number of signs, gasoline pump signs. 167.10.17 Pole signs prohibited by all districts. However, the all signs are excluded from the site plan review and will be handled with a separate process.
- Matt Daniels asked about a concept drawing for the “no overnight parking” signs. Alex from Kum & Go said they can include one in the site plan.

McKinney motion Botts – second – McKinney, Roos, Botts approved. Motion passed

VI. DISCUSSION

A. Public Improvements G-14

B. Future Concept Plan

C. Signs: Discussed how the sign process will proceed if Kum & Go is granted an exception through the Board Of Adjustments. Ultimately P&Z will see it again if an exception is granted.

VI. Upcoming Planning A Zoning Meeting

A. Regular meeting December 15, 2020 at 7:00 P.M. at City Hall

VII. ADJOURN:

McKinney moved – Botts second – unanimously approved –Adjourned 8:25PM

Wage & Contribution Report

Effective Date: 11/01/2020
 Generated On: 11/24/2020 10:30:37
 Due Date:2020-12-15
 WAGE REPORT NOVEMBER 2020
 Report Status: Initial
 Trans#: 120891899
 Date Released: null
 Member Count: 3
 Report Source: LOB - manual

Employer Name: 91308 CITY OF CUMMING

Wage History Summary

| Agreement | Occupation Code | Period Wages | Employer Contributions | Member Contributions | Funds Total |
|----------------|--------------------------------|--------------|------------------------|----------------------|-------------|
| MONTHLY Cities | 01-Regular | \$ 3,200.00 | \$ 302.08 | \$ 201.28 | \$ 503.36 |
| MONTHLY Cities | 17-Part-time Elected Officials | \$ 0.00 | \$ 0.00 | \$ 0.00 | \$ 0.00 |
| Totals | | \$ 3,200.00 | \$ 302.08 | \$ 201.28 | \$ 503.36 |

Cash Summary

| Fund | Due | Paid | Balance |
|-------------------------------|-----------|---------|-----------|
| Employer Contributions | \$ 302.08 | \$ 0.00 | \$ 302.08 |
| Member Contributions | \$ 201.28 | \$ 0.00 | \$ 201.28 |
| Totals | \$ 503.36 | \$ 0.00 | \$ 503.36 |

Wage & Contribution Report

Effective Date: 11/01/2020
 Generated On: 11/24/2020 10:30:37
 Due Date: 2020-12-15
 WAGE REPORT NOVEMBER 2020
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|----------------|--------------------------------|--------------|------------------------|----------------------|-------------|
| MONTHLY Cities | 01-Regular | \$ 3,200.00 | \$ 302.08 | \$ 201.28 | \$ 503.36 |
| MONTHLY Cities | 17-Part-time Elected Officials | \$ 0.00 | \$ 0.00 | \$ 0.00 | \$ 0.00 |
| Nov 1, 2020 | <u>Thomas Becker</u> | \$ 0.00 | \$ 0.00 | \$ 0.00 | \$ 0.00 |
| Nov 1, 2020 | <u>Kathie Hungerford</u> | \$ 0.00 | \$ 0.00 | \$ 0.00 | \$ 0.00 |
| Nov 1, 2020 | <u>Angie Ritchie</u> | \$ 3,200.00 | \$ 302.08 | \$ 201.28 | \$ 503.36 |
| | | \$ 3,200.00 | \$ 302.08 | \$ 201.28 | \$ 503.36 |
| Totals: | | \$ 3,200.00 | \$ 302.08 | \$ 201.28 | \$ 503.36 |

City of Cumming
Balance Sheet by Month (Fiscal Year-To-Date)
As of November 30, 2020

| | Jul 31, 20 | Aug 31, 20 | Sep 30, 20 | Oct 31, 20 | Nov 30, 20 |
|--|---------------------|---------------------|-------------------|---------------------|---------------------|
| ASSETS | | | | | |
| Current Assets | | | | | |
| Checking/Savings | | | | | |
| 0001110 - Operating Checking | 7,068.96 | -28,496.51 | 15,615.79 | 46,465.78 | 21,528.14 |
| 0001111 - Savings | 1,011.32 | 1,011.32 | 1,011.66 | 1,011.66 | 1,011.66 |
| 0001112 - Money Market | 1,012,822.52 | 977,400.26 | 740,122.52 | 1,364,492.20 | 1,333,949.70 |
| Total Checking/Savings | 1,020,902.80 | 949,915.07 | 756,749.97 | 1,411,969.64 | 1,356,489.50 |
| Accounts Receivable | | | | | |
| 1220 - Accounts Receivable | 135,595.28 | 135,595.28 | 135,545.28 | 138,898.23 | 131,359.79 |
| Total Accounts Receivable | 135,595.28 | 135,595.28 | 135,545.28 | 138,898.23 | 131,359.79 |
| Other Current Assets | | | | | |
| Undeposited Funds | 0.00 | 0.00 | 0.00 | 5,115.30 | 0.00 |
| Total Other Current Assets | 0.00 | 0.00 | 0.00 | 5,115.30 | 0.00 |
| Total Current Assets | 1,156,498.08 | 1,085,510.35 | 892,295.25 | 1,555,983.17 | 1,487,849.29 |
| TOTAL ASSETS | 1,156,498.08 | 1,085,510.35 | 892,295.25 | 1,555,983.17 | 1,487,849.29 |
| LIABILITIES & EQUITY | | | | | |
| Liabilities | | | | | |
| Current Liabilities | | | | | |
| Other Current Liabilities | | | | | |
| 2120 - Accrued Payroll Taxes | 1,296.88 | 1,002.02 | 3,372.56 | 2,968.24 | 739.45 |
| Total Other Current Liabilities | 1,296.88 | 1,002.02 | 3,372.56 | 2,968.24 | 739.45 |
| Total Current Liabilities | 1,296.88 | 1,002.02 | 3,372.56 | 2,968.24 | 739.45 |
| Total Liabilities | 1,296.88 | 1,002.02 | 3,372.56 | 2,968.24 | 739.45 |
| Equity | | | | | |
| 001-999 - Fund Balances | 1,155,201.20 | 1,084,508.33 | 888,922.69 | 1,553,014.93 | 1,487,109.84 |
| Total Equity | 1,155,201.20 | 1,084,508.33 | 888,922.69 | 1,553,014.93 | 1,487,109.84 |
| TOTAL LIABILITIES & EQUITY | 1,156,498.08 | 1,085,510.35 | 892,295.25 | 1,555,983.17 | 1,487,849.29 |

City of Cumming
Profit & Loss by Fund (Last Month)
 November 2020

| | Governmental Funds | Proprietary Funds | TOTAL |
|-----------------------------------|--------------------|-------------------|------------|
| Ordinary Income/Expense | | | |
| Income | | | |
| A · Taxes | 40,641.78 | 0.00 | 40,641.78 |
| B · Licenses & Permits | 2,427.95 | 0.00 | 2,427.95 |
| D · Intergovernmental | 2,491.46 | 0.00 | 2,491.46 |
| E · Charges for Services | 2,219.10 | 2,344.92 | 4,564.02 |
| G · Miscellaneous Revenues | 0.00 | 84,985.89 | 84,985.89 |
| Total Income | 47,780.29 | 87,330.81 | 135,111.10 |
| Gross Profit | 47,780.29 | 87,330.81 | 135,111.10 |
| Expense | | | |
| 100-799 · Governmental Activities | 77,331.12 | 0.00 | 77,331.12 |
| 800 · Business Type Activities | 4,657.50 | 119,027.57 | 123,685.07 |
| Total Expense | 81,988.62 | 119,027.57 | 201,016.19 |
| Net Ordinary Income | -34,208.33 | -31,696.76 | -65,905.09 |
| Other Income/Expense | | | |
| Other Expense | | | |
| Fund Balance Transfer | -34,208.33 | -31,696.76 | -65,905.09 |
| Total Other Expense | -34,208.33 | -31,696.76 | -65,905.09 |
| Net Other Income | 34,208.33 | 31,696.76 | 65,905.09 |
| Net Income | 0.00 | 0.00 | 0.00 |

City of Cumming
Treasurer's Report
November 2020

| Date | Memo | Amount | Balance |
|---|---------------------------------|------------|------------|
| 001-999 · Fund Balances | | | |
| 001-109 · General Funds | | | |
| 001e · General Fund | | | |
| 11/30/2020 | Total Income and Transfers In | 15,624.08 | 15,624.08 |
| 11/30/2020 | Total Expense and Transfers Out | -75,327.12 | -59,703.04 |
| Total 001e · General Fund | | -59,703.04 | -59,703.04 |
| Total 001-109 · General Funds | | -59,703.04 | -59,703.04 |
| 110-199 · Special Revenue Funds | | | |
| 110e · Road Use Tax | | | |
| 11/30/2020 | Total Income and Transfers In | 2,491.46 | 2,491.46 |
| Total 110e · Road Use Tax | | 2,491.46 | 2,491.46 |
| 112e · Employee Benefit | | | |
| 11/30/2020 | Total Income and Transfers In | 1,132.53 | 1,132.53 |
| 11/30/2020 | Total Expense and Transfers Out | -2,004.00 | -871.47 |
| Total 112e · Employee Benefit | | -871.47 | -871.47 |
| 119e · Emergency Fund | | | |
| 11/30/2020 | Total Income and Transfers In | 353.23 | 353.23 |
| Total 119e · Emergency Fund | | 353.23 | 353.23 |
| 121e · Local Option Sales Tax | | | |
| 11/30/2020 | Total Income and Transfers In | 14,604.09 | 14,604.09 |
| Total 121e · Local Option Sales Tax | | 14,604.09 | 14,604.09 |
| 125e · Tax Increment Financing | | | |
| 11/30/2020 | Total Income and Transfers In | 10,702.90 | 10,702.90 |
| Total 125e · Tax Increment Financing | | 10,702.90 | 10,702.90 |
| Total 110-199 · Special Revenue Funds | | 27,280.21 | 27,280.21 |
| 200-299 · Debt Service Funds | | | |
| 200e · Debt Service | | | |
| 11/30/2020 | Total Income and Transfers In | 2,872.00 | 2,872.00 |
| 11/30/2020 | Total Expense and Transfers Out | -4,657.50 | -1,785.50 |
| Total 200e · Debt Service | | -1,785.50 | -1,785.50 |
| Total 200-299 · Debt Service Funds | | -1,785.50 | -1,785.50 |
| 600-799 · Enterprise and Utility Funds | | | |
| 600e · Water | | | |
| Water Operating | | | |
| 11/30/2020 | Total Income and Transfers In | 324.36 | 324.36 |
| 11/30/2020 | Total Expense and Transfers Out | -415.70 | -91.34 |
| Total Water Operating | | -91.34 | -91.34 |
| Total 600e · Water | | -91.34 | -91.34 |
| 610e · Sewer | | | |
| Sewer Operating | | | |
| 11/30/2020 | Total Income and Transfers In | 2,020.56 | 2,020.56 |
| 11/30/2020 | Total Expense and Transfers Out | -3,915.00 | -1,894.44 |
| Total Sewer Operating | | -1,894.44 | -1,894.44 |

City of Cumming
Treasurer's Report
November 2020

| Date | Memo | Amount | Balance |
|--|---------------------------------|-------------------|-------------------|
| Sewer Phase 3 Extension | | | |
| 11/30/2020 | Total Income and Transfers In | 84,985.89 | 84,985.89 |
| 11/30/2020 | Total Expense and Transfers Out | -114,696.87 | -29,710.98 |
| Total Sewer Phase 3 Extension | | -29,710.98 | -29,710.98 |
| Total 610e · Sewer | | -31,605.42 | -31,605.42 |
| Total 600-799 · Enterprise and Utility Funds | | -31,696.76 | -31,696.76 |
| Total 001-999 · Fund Balances | | -65,905.09 | -65,905.09 |
| TOTAL | | -65,905.09 | -65,905.09 |

City of Cumming
Profit & Loss Budget vs. Actual YTD (Summary)
July through November 2020

| | Jul - Nov 20 | Budget | \$ Over Budget | % of Budget |
|-----------------------------------|---------------------|-------------------|--------------------|-----------------|
| Ordinary Income/Expense | | | | |
| Income | | | | |
| A · Taxes | 277,815.50 | 519,573.00 | -241,757.50 | 53.5% |
| B · Licenses & Permits | 20,479.25 | 17,075.00 | 3,404.25 | 119.9% |
| C · Use of Money & Property | 2,135.80 | 15,000.00 | -12,864.20 | 14.2% |
| D · Intergovernmental | 12,543.85 | 26,000.00 | -13,456.15 | 48.2% |
| E · Charges for Services | 159,323.18 | 64,100.00 | 95,223.18 | 248.6% |
| G · Miscellaneous Revenues | 212,797.12 | 25,000.00 | 187,797.12 | 851.2% |
| H · Other Financing Sources | 450,000.00 | 190,042.00 | 259,958.00 | 236.8% |
| Total Income | 1,135,094.70 | 856,790.00 | 278,304.70 | 132.5% |
| Gross Profit | 1,135,094.70 | 856,790.00 | 278,304.70 | 132.5% |
| Expense | | | | |
| 100-799 · Governmental Activities | 278,169.43 | 609,080.00 | -330,910.57 | 45.7% |
| 800 · Business Type Activities | 418,237.31 | 43,250.00 | 374,987.31 | 967.0% |
| 900 · Other Activities | 0.00 | 190,042.00 | -190,042.00 | 0.0% |
| Total Expense | 696,406.74 | 842,372.00 | -145,965.26 | 82.7% |
| Net Ordinary Income | 438,687.96 | 14,418.00 | 424,269.96 | 3,042.6% |
| Other Income/Expense | | | | |
| Other Expense | | | | |
| Fund Balance Transfer | 438,687.96 | | | |
| Total Other Expense | 438,687.96 | | | |
| Net Other Income | -438,687.96 | 0.00 | -438,687.96 | 100.0% |
| Net Income | 0.00 | 14,418.00 | -14,418.00 | 0.0% |

City of Cumming Claims Paid & Summary of Receipts (Last Month)

November 2020

| Type | Date | Num | Name | Memo | Amount |
|-------------------------------------|------------|----------|--------------------------|---|-------------|
| 0001110 - Operating Checking | | | | | |
| Check | 11/02/2020 | Transfer | | MM to Checking Transfer - Fed Taxes EFT | 2,244.39 |
| Liability Check | 11/03/2020 | EFT | United States Treasury | | -2,531.98 |
| Deposit | 11/03/2020 | | | Deposit | 46,882.94 |
| Check | 11/03/2020 | EFT | United States Treasury | IRS Tax Payment | -1,689.43 |
| Check | 11/04/2020 | EFT | Treasurer State of Io... | IA Department of Revenue | -668.02 |
| Check | 11/05/2020 | 6114 | Fagen, Robert L. | | -1,504.00 |
| Deposit | 11/07/2020 | | | Deposit | 30.00 |
| Check | 11/09/2020 | 6129 | Century Link | | -286.81 |
| Check | 11/09/2020 | 6115 | City of Des Moines | WRA Payment - Invoice # 117415 | -3,325.10 |
| Check | 11/09/2020 | 6116 | Waste Connections | September 2020 Bill - Inv # 3050566 | -2,287.34 |
| Check | 11/09/2020 | 6117 | Combined Systems ... | Inv. # 142656, AAAQ18520 | -304.62 |
| Check | 11/09/2020 | 6118 | Piper Sandler | Gen Ob Loan Services | -7,000.00 |
| Check | 11/09/2020 | 6119 | Skinner Law Office PC | Invoice #16661 | -3,660.41 |
| Check | 11/09/2020 | 6120 | John McPartland | | -85.71 |
| Check | 11/09/2020 | 6121 | N/Warren Town & C... | Invoice Dated 10/22/20 | -93.88 |
| Check | 11/09/2020 | 6122 | Veenstra & Kimm Inc. | Engineering costs | -21,308.27 |
| Check | 11/09/2020 | 6123 | Absolute Infrastructure | Partial Pay Number 3, South Trunk Sewer Phase 3 | -107,696.87 |
| Check | 11/09/2020 | 6124 | Twyla Pease | Septic Tank Clean Out Reimbursement | -550.00 |
| Check | 11/09/2020 | 6125 | Iowa One Call | Invoice #226186 | -103.50 |
| Check | 11/09/2020 | 6126 | City of Norwalk | FY21 Fire/EMS | -21,568.80 |
| Check | 11/09/2020 | 6127 | Ritchie, Angie | Office Supplies/Zoom | -36.79 |
| Paycheck | 11/09/2020 | 6112 | Fagen, Robert L. | | -695.62 |
| Paycheck | 11/09/2020 | 6113 | Ritchie, Angie | | -1,225.10 |
| Check | 11/09/2020 | Transfer | | MM to Checking Transfer | 89,000.00 |
| Deposit | 11/13/2020 | | | Property Tax Deposit | 26,037.69 |
| Deposit | 11/16/2020 | | | LOST Deposit | 11,439.52 |
| Deposit | 11/16/2020 | | | Road Use Tax Deposit | 2,491.46 |
| Deposit | 11/16/2020 | | | LOST Deposit | 0.00 |
| Deposit | 11/17/2020 | | | Road Use Tax Deposit | 0.00 |
| Deposit | 11/19/2020 | | | Utility Deposit | 4,298.42 |
| Deposit | 11/19/2020 | | | Deposit | 44,694.20 |
| Check | 11/20/2020 | Transfer | | Checking to MM Transfer | -44,694.20 |
| Check | 11/20/2020 | Transfer | | Checking to MM Transfer | -26,037.69 |
| Check | 11/23/2020 | 6130 | US Bank | Copier Lease | -118.64 |
| Check | 11/23/2020 | 6131 | John McPartland | Reimbursements | -235.72 |
| Check | 11/23/2020 | 6132 | Iowa State Bank | Phase 1 Sewer Extension | -4,657.50 |
| Check | 11/23/2020 | 6133 | Kirk Ford | Invoice #6 | -200.00 |
| Check | 11/23/2020 | 6134 | Midamerican Energy | Invoices 505965455, 506038815 | -717.20 |
| Check | 11/23/2020 | 6135 | Office Depot | Office Supplies | -204.58 |
| Check | 11/23/2020 | 6136 | N/Warren Town & C... | Invoice Dated 11/12/20, 11/5/20 | -184.87 |
| Check | 11/23/2020 | 6137 | ClerkBooks, Inc. | Invoice # 6188 | -324.95 |
| Check | 11/23/2020 | 6138 | Iowa One Call | Invoice #227091 | -119.70 |
| Check | 11/23/2020 | 6139 | Ritchie, Angie | Reimbursements | -72.51 |
| Check | 11/23/2020 | 6140 | GCMOA | | -15.00 |
| Paycheck | 11/23/2020 | 6142 | Fagen, Robert L. | | -594.60 |
| Paycheck | 11/23/2020 | 6143 | Ritchie, Angie | | -1,225.00 |
| Check | 11/23/2020 | 6141 | Dorsey & Whitney | Invoice # 3623569, #3623567 | -15,000.00 |
| Paycheck | 11/24/2020 | 6145 | Ritchie, Angie | Insurance Stipend | -461.67 |
| Liability Check | 11/24/2020 | 6146 | IPERS | | -503.36 |
| Check | 11/24/2020 | Transfer | | MM To Checking Transfer | 10,000.00 |
| Deposit | 11/24/2020 | | | Deposit | 8,490.44 |
| Liability Check | 11/30/2020 | EFT | United States Treasury | November liabilities | -1,691.83 |
| Deposit | 11/30/2020 | | | LOST Deposit | 3,164.57 |
| General Journal | 11/30/2020 | OP Ac... | | Operating Account By Fund Adjustment | -119,861.74 |
| General Journal | 11/30/2020 | OP Ac... | | Operating Account By Fund Adjustment | 2,491.46 |
| General Journal | 11/30/2020 | OP Ac... | | Operating Account By Fund Adjustment | -1,015.12 |
| General Journal | 11/30/2020 | OP Ac... | | Operating Account By Fund Adjustment | 353.23 |
| General Journal | 11/30/2020 | OP Ac... | | Operating Account By Fund Adjustment | 14,604.09 |
| General Journal | 11/30/2020 | OP Ac... | | Operating Account By Fund Adjustment | 10,702.90 |
| General Journal | 11/30/2020 | OP Ac... | | Operating Account By Fund Adjustment | -1,785.50 |
| General Journal | 11/30/2020 | OP Ac... | | Operating Account By Fund Adjustment | -91.34 |
| General Journal | 11/30/2020 | OP Ac... | | Operating Account By Fund Adjustment | 25.41 |
| General Journal | 11/30/2020 | OP Ac... | | Operating Account By Fund Adjustment | -1,894.44 |
| General Journal | 11/30/2020 | OP Ac... | | Operating Account By Fund Adjustment | -29,710.98 |
| General Journal | 11/30/2020 | OP Ac... | | Operating Account By Fund Adjustment | 126,182.03 |
| Total 0001110 - Operating Checking | | | | | -24,907.84 |

City of Cumming
Claims Paid & Summary of Receipts (Last Month)
 November 2020

| Type | Date | Num | Name | Memo | Amount |
|-------------------------------|------------|-----------|-----------|--|--------------------------|
| 0001112 - Money Market | | | | | |
| General Fund | | | | | |
| Check | 11/02/2020 | Transfer | | MM to Checking Transfer - Fed Taxes EFT | -2,244.39 |
| Check | 11/09/2020 | 6128 | Ben Schuh | Balance of Artist Fees | -30.00 |
| Check | 11/09/2020 | Transfer | | MM to Checking Transfer | -89,000.00 |
| Check | 11/20/2020 | Transfer | | | 0.00 |
| Check | 11/20/2020 | Transfer | | Checking to MM Transfer - KC Real Estate Payment | 44,694.20 |
| Check | 11/20/2020 | Transfer | | Checking to MM Transfer - Nov Property Taxes | 26,037.69 |
| Check | 11/24/2020 | Transfer | | MM to Checking Transfer | -10,000.00 |
| General Journal | 11/30/2020 | Acct A... | | Other Balance Sheet Accounts by Fund Adjustments | -101,274.39 |
| General Journal | 11/30/2020 | Acct A... | | Other Balance Sheet Accounts by Fund Adjustments | 101,274.39 |
| Total General Fund | | | | | <u>-30,542.50</u> |
| Total 0001112 - Money Market | | | | | <u>-30,542.50</u> |
| TOTAL | | | | | <u><u>-55,450.14</u></u> |

| Revenue | | | | | |
|------------|-----------------------|--------------------------|--------------|----------------|-----------------|
| Date | Rec'd From | For | Amount | Date Deposited | Total for Month |
| 10/28/2020 | IA Distilling Company | Food Truck - 10/16/20 | \$ 15.00 | 11/3/2020 | \$ 15.00 |
| 10/29/2020 | J. Giesemann | Permit # 2020-25 | \$ 723.55 | 11/3/2020 | \$ 738.55 |
| 10/29/2020 | Ben Schulte Construct | Permit # 2020-23 | \$ 4,349.75 | 11/3/2020 | \$ 5,088.30 |
| 10/29/2020 | IMWCA | Audit Return | \$ 27.00 | 11/3/2020 | \$ 5,115.30 |
| 11/2/2020 | KC Real Estate | Invoice 2035 | \$ 37,078.13 | 11/3/2020 | \$ 42,193.43 |
| 11/2/2020 | KC Real Estate | Invoice 2038 | \$ 1,126.73 | 11/3/2020 | \$ 43,320.16 |
| 11/2/2020 | KC Real Estate | Invoice 2041 | \$ 1,134.83 | 11/3/2020 | \$ 44,454.99 |
| 11/2/2020 | Oakstone Homes | Building Permit #2020-26 | \$ 2,427.95 | 11/3/2020 | \$ 46,882.94 |
| 11/13/2020 | Warren County | Disbursement | \$ 26,037.69 | 11/13/2020 | \$ 72,920.63 |
| 11/16/2020 | State of Iowa | LOST | \$ 11,439.52 | 11/16/2020 | \$ 84,360.15 |
| 11/16/2020 | State of Iowa | RUT - "True Up" Pymt | \$ 2,491.46 | 11/16/2020 | \$ 86,851.61 |
| 11/16/2020 | DMWW | Water/Sewer/Garbage | \$ 4,298.42 | 11/19/2020 | \$ 91,150.03 |
| 11/19/2020 | KC Real Estate | Invoice 2054 | \$ 44,694.20 | 11/19/2020 | \$ 135,844.23 |

One check in the amount of \$44,4.

City of Cumming
Claims To Be Approved
All Transactions

| Type | Date | Num | Name | Memo | Amount |
|--------------|------------|-----|-------------------------|---|--------------------|
| Check | 12/21/2020 | | Combined Systems ... | Inv. 143425 | -23.80 |
| Check | 12/21/2020 | | Ritchie, Angie | Reimbursement - Surety Bond | -110.00 |
| Check | 12/21/2020 | | Absolute Infrastructure | Partial Pay Number 4, South Trunk Sewer Phase 3 | -109,583.27 |
| Check | 12/21/2020 | | Skinner Law Office PC | Invoice #17027 | -2,918.74 |
| Total | | | | | -112,635.81 |



Combined Systems Technology, Inc.
 2165 NW 108th Street
 Suite D
 Clive, IA 50325
 (515) 270-5300

| | |
|-----------------|----------------|
| Date | Invoice |
| 12/10/2020 | 143425 |
| Account | |
| City of Cumming | |

| |
|--|
| Ship To |
| City of Cumming 649 N 44th Street PO Box 100 Cumming, IA 50061 United States |

| |
|---|
| Bill To: |
| City of Cumming Attn: Angie Ritchie 649 N 44th Street PO Box 100 Cumming, IA 50061 United States |

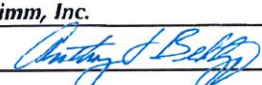
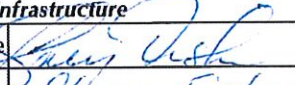
| | |
|-----------------|------------------|
| Due Date | PO Number |
| NET ON RECEIPT | |

| Block Time Contract Details | Quantity | Price | Amount |
|--|--------------------------|--------|----------------|
| Agreement CST Continuum Services | | | |
| MS - CST PC Watch | 4.00 | \$5.95 | \$23.80 |
| CST Webroot SecureAnywhere AntiVirus w/PC Watch, per PC - per month(PROMO) | 4.00 | \$0.00 | \$0.00 |
| Make checks payable to Combined Systems Technology, Inc. | Invoice Subtotal: | | \$23.80 |
| | Sales Tax: | | \$0.00 |
| | Invoice Total: | | \$23.80 |
| | Payments: | | \$0.00 |
| | Credits: | | \$0.00 |
| | Balance Due: | | \$23.80 |

A restocking charge of up to 25% may be applied to all returned equipment or cancelled agreements.
 All invoices are subject to a finance charge of 1.5% per month, or 18% per annum when past due. Any account placed for collection will also incur collection fees.

NOTE: If you choose to pay by credit card, a 3.5% handling fee will be charged.

Thank you for doing business with CST! "Celebrating Over 40 Years of Technology Excellence!"

| SUMMARY | | | |
|--|---|---|---|
| | | Original Contract | Total Completed |
| Bid Item Subtotal | | \$552,250.00 | \$519,590.41 |
| APPROVED CHANGE ORDERS | | | |
| Change Order No. | Description/Notes | Total Approved | Total Completed |
| 1 | | \$0.00 | \$0.00 |
| 2 | | \$0.00 | \$0.00 |
| 3 | | \$0.00 | \$0.00 |
| 4 | | \$0.00 | \$0.00 |
| 5 | | \$0.00 | \$0.00 |
| 6 | | \$0.00 | \$0.00 |
| 7 | | \$0.00 | \$0.00 |
| 8 | | \$0.00 | \$0.00 |
| 9 | | \$0.00 | \$0.00 |
| Total Change Orders | | \$0.00 | \$0.00 |
| | | Total Approved | Total Completed |
| Revised Contract Price | | \$552,250.00 | \$519,590.41 |
| | | | Total Completed |
| Total Materials Stored | | | \$0.00 |
| Total Completed Plus Materials Stored | | | \$519,590.41 |
| Retainage (5%) | | | \$25,979.52 |
| Total Earned Less Retainage | | | \$493,610.89 |
| APPROVED PARTIAL PAYMENTS | | | |
| Partial Payment No. | Period | Total Approved | |
| 1 | July 27, 2020 to September 4, 2020 | \$186,985.86 | |
| 2 | September 4, 2020 to September 30, 2020 | \$89,344.89 | |
| 3 | October 1, 2020 to October 31, 2020 | \$107,696.87 | |
| 4 | | \$0.00 | |
| 5 | | \$0.00 | |
| 6 | | \$0.00 | |
| 7 | | \$0.00 | |
| 8 | | \$0.00 | |
| 9 | | \$0.00 | |
| Total Previously Approved | | \$384,027.62 | |
| Amount Due This Request | | | \$109,583.27 |
| Note: The amount \$109,583.27 is recommended for approval for payment in accordance with the terms of the Contract. | | | |
| CONTRACT SUMMARY | | | |
| ORIGINAL CONTRACT AMOUNT | | \$552,250.00 | |
| TOTAL CONTRACT AMOUNT PLUS CHANGE ORDERS | | \$552,250.00 | |
| THIS PARTIAL PAYMENT | | \$109,583.27 | |
| TOTAL PARTIAL PAYMENTS INCL THIS PAYMENT | | \$493,610.89 | |
| BALANCE | | \$58,639.11 | |
| PERCENT COMPLETE | | 94.1% | |
| Recommended By: Veenstra & Kimm, Inc. | | Contractor: Absolute Infrastructure | Approved: City of Cumming |
| Signature |  | Signature |  |
| Name | Anthony J. Bellizzi | Name | Ashley Fisher |
| Title | Project Manager | Title | PM |
| Date | December 4, 2020 | Date | 12.3.20 |

SKINNER LAW OFFICE, P.C.

160 Adventureland Drive NW, Suite B, PO Box 367
Altoona, IA 50009

CUMMING
PO BOX 100
CUMMING, IA 50061

INVOICE

Invoice # 17027
Date: 12/07/2020
Due Upon Receipt

CITY BUSINESS

| Date | Notes | Timekeeper | Quantity | Rate | Total |
|------------|---|------------|----------|----------|----------|
| 11/04/2020 | Review email correspondence re: potential special planning and zoning meeting | CW | 0.40 | \$175.00 | \$70.00 |
| 11/04/2020 | Phone call with Bob Fagen re: planning and zoning commission and re: council agenda | CW | 0.25 | \$175.00 | \$43.75 |
| 11/04/2020 | Review council meeting agenda | CW | 0.30 | \$175.00 | \$52.50 |
| 11/05/2020 | Meet with Bob Fagen to discuss various city matters | CW | 1.00 | \$175.00 | \$175.00 |
| 11/09/2020 | City Council meeting | CW | 0.50 | \$175.00 | \$87.50 |
| 11/10/2020 | Prep for Planning and Zoning meeting, review site plan and comments | CW | 0.45 | \$175.00 | \$78.75 |
| 11/10/2020 | Planning and zoning meeting | CW | 2.00 | \$150.00 | \$300.00 |
| 11/11/2020 | Phone call with Bob Fagen re: planning and zoning | CW | 0.40 | \$175.00 | \$70.00 |
| 11/17/2020 | Phone call with Bob Fagen re: various city matters | CW | 0.40 | \$175.00 | \$70.00 |
| 11/17/2020 | Email to Angie Ritchie, Ethan Roos and Bob Fagen re: potential quorum issues | CW | 0.25 | \$175.00 | \$43.75 |
| 11/17/2020 | Meeting re: planning and zoning commission | CW | 0.50 | \$175.00 | \$87.50 |
| 11/19/2020 | Phone call with Bob Fagen re: city council agenda | CW | 0.40 | \$175.00 | \$70.00 |
| 11/23/2020 | Keep Iowa Beautiful. Email Correspondences. | TH | 0.50 | \$100.00 | \$50.00 |
| 11/23/2020 | Phone call with Bob Fagen re: site plan and city council meeting | CW | 0.40 | \$175.00 | \$70.00 |
| 11/23/2020 | Phone call with Bob Fagen re: zoning ordinances and | CW | 0.50 | \$175.00 | \$87.50 |

Phone call with Angie Ritchie re: meeting and process for public comment on zoom meetings

| | | | | | |
|------------|---|----|------|----------|----------|
| 11/23/2020 | Review of site plan, research re: zoning ordinances and requirements, status of application, review various correspondence re: city council meeting | CW | 1.50 | \$175.00 | \$262.50 |
| 11/23/2020 | Email from Matt Daniels and Ethan Roos re: Planning and Zoning processes and email response | CW | 0.60 | \$175.00 | \$105.00 |
| 12/02/2020 | Phone call with Bob Fagen and review emails re: city council agenda and zoning questions | CW | 0.30 | \$175.00 | \$52.50 |
| 12/03/2020 | Phone call with Angie Ritchie re: planning and zoning and open records requests | CW | 0.30 | \$175.00 | \$52.50 |

Subtotal \$1,828.75

Great Western Crossing

| Date | Notes | Timekeeper | Quantity | Rate | Total |
|------------|---|------------|----------|----------|---------|
| 11/06/2020 | Phone call with Bob Fagen re: development agreement and site plan | CW | 0.30 | \$175.00 | \$52.50 |
| 11/06/2020 | Phone call to Tim Hogan and left voicemail | CW | 0.20 | \$175.00 | \$35.00 |

Subtotal \$87.50

Middlebrook Development

| Date | Notes | Timekeeper | Quantity | Rate | Total |
|------------|---|------------|----------|----------|---------|
| 11/24/2020 | Phone call with Tom Henderson to discuss status | CW | 0.30 | \$175.00 | \$52.50 |

Subtotal \$52.50

2020 - City Council Meetings & P&Z Meetings

| Date | Notes | Timekeeper | Quantity | Rate | Total |
|------------|---|------------|----------|----------|----------|
| 11/04/2020 | Review/Save: Email Correspondence Re: Special Planning & Zoning Meeting. | TH | 0.08 | \$100.00 | \$8.33 |
| 11/05/2020 | Review/Save: Email Correspondence Re: Council Meeting, Special P&Z Meeting. Prepare Files correlating with Agendas. | TH | 1.00 | \$100.00 | \$100.00 |
| 11/06/2020 | Review/Save: Email Correspondence Re: Council Meeting Agenda. | TH | 0.08 | \$100.00 | \$8.33 |
| 11/09/2020 | Update Calendar with Zoom Meeting Access and Agenda. | TH | 0.08 | \$100.00 | \$8.33 |
| 11/10/2020 | Review/Save/File: Email Correspondence Re: Council Meetings and All Other Ongoing Meetings; Zoom. | TH | 0.17 | \$100.00 | \$16.67 |

| | | | | | |
|------------|---|----|------|-----------------|-----------------|
| 11/11/2020 | Review/Save: Email Correspondence Re: Special P&Z Meeting. | TH | 0.08 | \$100.00 | \$8.33 |
| 11/13/2020 | Review/Save: Email Correspondences Re: P&Z Agenda and Packet. Prepare correlating files. Update Attorney Calendars. | TH | 0.42 | \$100.00 | \$41.67 |
| 11/16/2020 | meeting with bob and cameron. | GH | 0.25 | \$200.00 | \$50.00 |
| 11/17/2020 | Review/Save/File: Email Correspondences Re: Quorum and Correlating Documents for Meeting Re: Agenda. | TH | 0.67 | \$100.00 | \$66.67 |
| 11/17/2020 | P & Z meeting | GH | 1.50 | \$200.00 | \$300.00 |
| 11/20/2020 | Review/Save/Prepare: Email Correspondences Re: Meeting and Agenda. Prepare Correlating Files for meeting. | TH | 0.75 | \$100.00 | \$75.00 |
| 11/22/2020 | council meeting agenda looked for packet and information, could not find the same. reviewed emails on Middlebrook, reviewed emails on p & z meeting | GH | 0.25 | \$200.00 | \$50.00 |
| 11/23/2020 | Email Correspondences. Update Meeting Calendaring Meeting Event. | TH | 0.33 | \$100.00 | \$33.33 |
| 11/30/2020 | Review/Save: Email Correspondences Re: Meeting Minutes. | TH | 0.08 | \$100.00 | \$8.33 |
| 12/03/2020 | Review/Save: Email Correspondences Re: P & Z Meeting Minutes. | TH | 0.08 | \$100.00 | \$8.33 |
| | | | | Subtotal | \$783.32 |

Board of Adjustment

| Date | Notes | Timekeeper | Quantity | Rate | Total |
|------------|---|------------|----------|-----------------|----------------|
| 10/21/2020 | Telephone from Board chair regarding board of adjustment meeting. | GH | 0.25 | \$200.00 | \$50.00 |
| | | | | Subtotal | \$50.00 |

Kum & Go

| Date | Notes | Timekeeper | Quantity | Rate | Total |
|------------|---|------------|----------|----------|---------|
| 11/17/2020 | Review/Save/File: Email Correspondence Re: Bellizzi Comments | TH | 0.17 | \$100.00 | \$16.67 |
| 11/23/2020 | Email Correspondences Re: Meeting, Site Plan and Petition. | TH | 0.42 | \$100.00 | \$41.67 |
| 11/30/2020 | Review/Save: Email Correspondences Re: Submittal. | TH | 0.08 | \$100.00 | \$8.33 |
| 12/02/2020 | Review/Save: Email Correspondences. | TH | 0.25 | \$100.00 | \$25.00 |
| 12/03/2020 | Review/Save: Email Correspondences Re: Bellizzi and Requests. | TH | 0.25 | \$100.00 | \$25.00 |

Subtotal \$116.67

Subtotal \$2,918.74

Total \$2,918.74

Detailed Statement of Account

Current Invoice

| Invoice Number | Due On | Amount Due | Payments Received | Balance Due |
|---------------------------------|------------|------------|-------------------|-------------------|
| 17027 | 12/07/2020 | \$2,918.74 | \$0.00 | \$2,918.74 |
| Outstanding Balance | | | | \$2,918.74 |
| Total Amount Outstanding | | | | \$2,918.74 |

Trust Account

| Date | Type | Notes | Matter | Receipts | Payments | Balance |
|------------------------------|-------|---|-------------|------------|------------|---------------|
| 11/19/2018 | CHECK | FUNDS RECEIVED IN EXCESS OF INVOICE #8550 | Cumming - 1 | | \$5,269.17 | \$5,269.17 |
| 11/19/2018 | CHECK | PAYMENT OF INVOICE #8550 | Cumming - 1 | \$3,653.34 | | \$1,615.83 |
| 11/30/2018 | CHECK | PAYMENT FOR INV. #8201 | Cumming - 1 | \$1,615.83 | | \$0.00 |
| 03/19/2019 | CHECK | FUNDS IN EXCESS OF INVOICE #10047 | Cumming - 1 | | \$5,253.33 | \$5,253.33 |
| 03/19/2019 | CHECK | PAYMENT OF INVOICE #10047 | Cumming - 1 | \$4,628.33 | | \$625.00 |
| 08/16/2019 | CHECK | TO PAY BALANCE OF INVOICE #11362 | Cumming - 1 | \$625.00 | | \$0.00 |
| Trust Account Balance | | | | | | \$0.00 |

Please make all amounts payable to: Skinner Law Office, P.C.
 Payment is due upon receipt.
 We gladly accept Visa, Mastercard, Discover and American Express.

**Resolution 2020-77
City of Cumming**

Resolution Approving Site Plan

WHEREAS, KC REAL ESTATE, LLC (Owner) is the owner and Kum & Go (“Purchaser”) is the contract purchaser of the property locally known as 5237 Cumming Avenue (the “subject property”) located in the City of Cumming, Iowa; and

WHEREAS, Purchaser have presented the City of Cumming with a site plan (attached hereto as Exhibits “A” - “H”) for approval of development of the subject property; and

WHEREAS, the site plan attached hereto as Exhibits “A” – “H” were approved by the Planning & Zoning Board at a meeting dated November 17, 2020 and were sent to the City Council of the City of Cumming with their recommendation of approval; and

WHEREAS, approval of the site plan referenced above is contingent upon the City Council’s acceptance of the public improvements and approval of the final plat of Spangler Plat 1, approval of all necessary permits, and compliance with all other requirements of the City’s Code of Ordinances; and

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Cumming, Iowa:

Section 1. That the City of Cumming, Iowa, approves the site plan which is attached hereto as Exhibit “A” – “H”

Section 2. That the approval of the site plan is contingent on the City Council’s acceptance of the public improvements and approval of the final plat of Spangler Plat 1, approval of all necessary permits, and compliance with all other requirements of the City’s Code of Ordinances.

Passed and approved this 14th day of December, 2020.

Tom Becker, Mayor

Attest: _____
Robert Fagen, City Administrator/Clerk

**RECOMMENDATION BY THE
PLANNING & ZONING COMMISSION**

Recommendation: Aye {Yes} 6 Nay {No} 0
How Many How Many

At the November 17th Special Meeting of the Planning and Zoning Board they voted to approve the Kum & Go site plan with the recommendation it go on to the City Council For approval
When the voice vote was called no Nay's or abstentions were heard. The motion passed, 6-0.

Further Review Requested:

By Mayor/City Council By City Attorney By City Planner

Additional Information:

Requested Action To Be Taken By The City Council:

Motion This form was completed by Angie Ritchie, Deputy Clerk in accordance with the voice recording of the meeting, dated 11/17/20 and with Voice Vote rules Iowa Admin Code r. 567-1.7.

Resolution

Ordinance

Date: 12/10/2020 **Signature:** *Angie Ritchie*
Chair/Vice Chair/Secretary

Iowa Admin. Code r. 567-1.7

Current through Register Vol. 43, No. 10, November 4, 2020

Rule 567-1.7 - Conduct of meeting

(1) General. Meetings will be conducted in accordance with Robert's Rules of Order unless otherwise provided in these rules. Voting shall be by voice or by roll call. Voting shall be by voice unless a voice vote is inconclusive, a member of the commission requests a roll call, or the vote is on a motion to close a portion of a meeting. The chairperson shall announce the result of the vote.

(2) Voice votes. All commission members present should respond when a voice vote is taken. The response shall be aye, nay, or abstain.

a. All members present shall be recorded as voting aye on any motion when there are no nay votes or abstentions heard.

b. Any member who abstains shall state at the time of the vote the reason for abstaining. The abstention and the reason for it shall be recorded in the minutes.

The following information that pertain to the Kum & Go site plan are presented by date in descending order from newest to oldest with only the most recent and pertinent information included.

Bob, Angie, and Tony,

Attached are updated building and canopy elevations, which show the canopy at a reduced height to comply with the maximum height requirements. Please let me know if you have any questions.

Keith Weggen, ASLA | *project manager*

 Please consider the environment before printing this email.

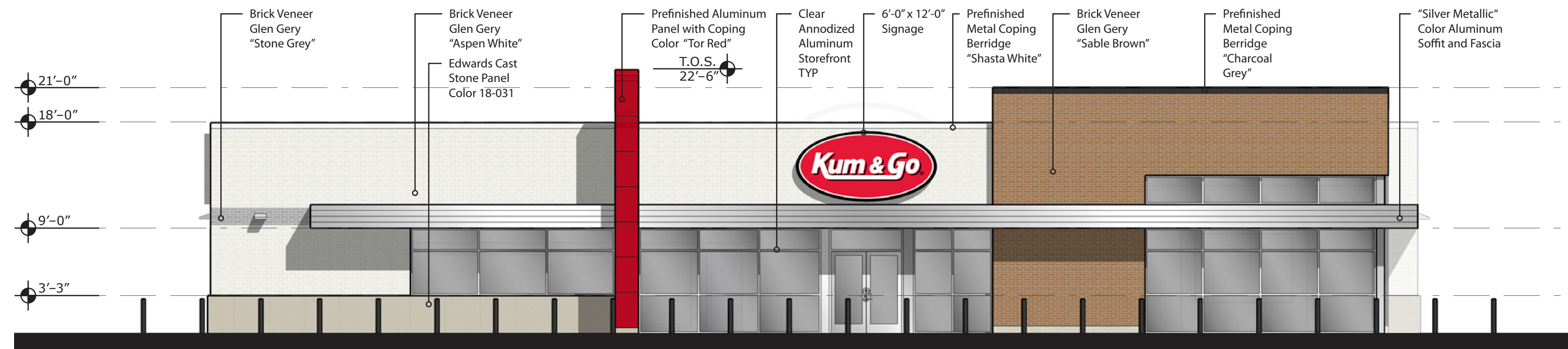
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Proposed Building Signage

| Location | Sign | Size | Area |
|-----------------|-----------------|----------|---------------|
| South Elevation | "Kum & Go" Sign | 6' x 12' | 57 SF |
| East Elevation | No Signage | --- | 0 SF |
| North Elevation | No Signage | --- | 0 SF |
| West Elevation | "Kum & Go" Sign | 6' x 12' | 57 SF |
| Total | | | 114 SF |

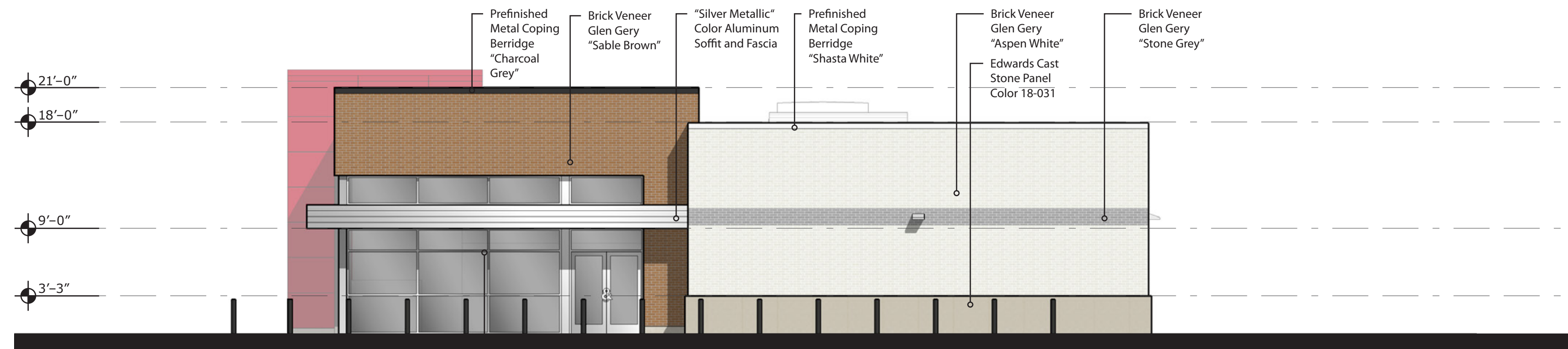
Proposed Building Glazing

| Location | Overall Wall Area | Glazing Area | % of Elevation |
|-----------------|-------------------|---------------|----------------|
| North Elevation | 1504 SF | --- | 0% |
| South Elevation | 1982 SF | 552 SF | 27.8% |
| West Elevation | 1019 SF | --- | 0% |
| East Elevation | 1288 SF | 234 SF | 18.1% |
| Total | 5793 SF | 786 SF | 14% |



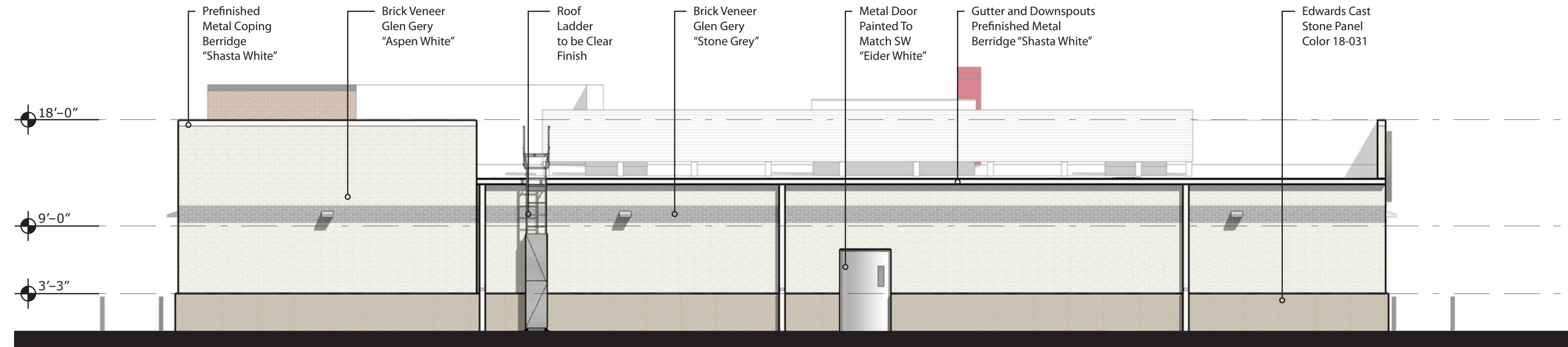
South Elevation

NTS



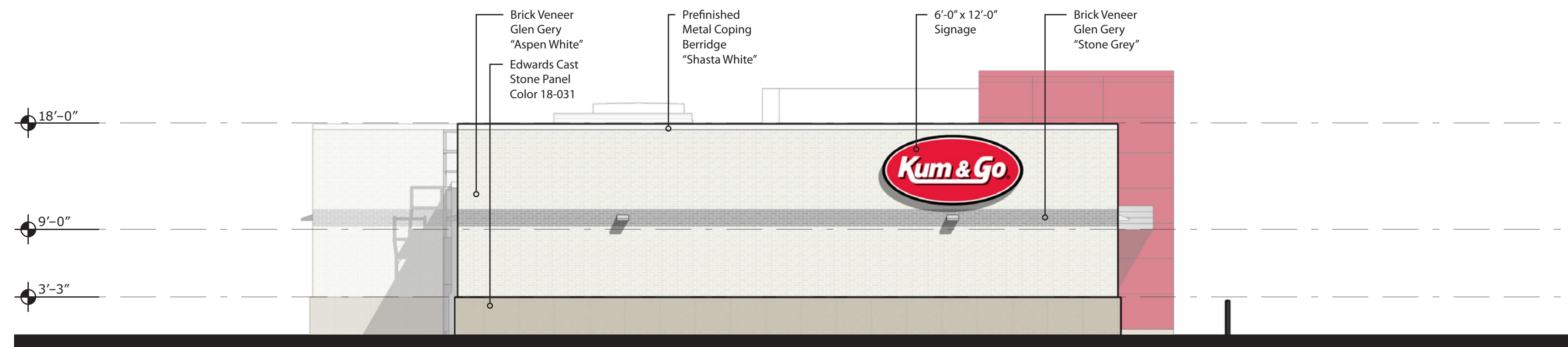
East Elevation

NTS



North Elevation

NTS

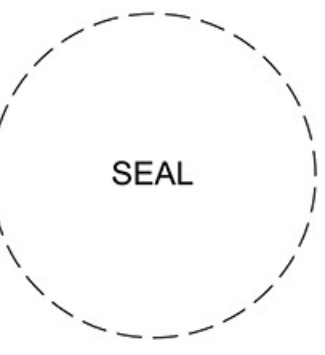


West Elevation

NTS

brr

ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC
813 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204
www.brrarch.com
TEL: 913-262-9055
FAX: 913-262-9044



1459 Grand Avenue
Des Moines, Iowa
50309
P:515-457-6247

#0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE

EXTERIOR ELEVATIONS

KG PROJECT TEAM:
RDM:
SDM:
CPM:

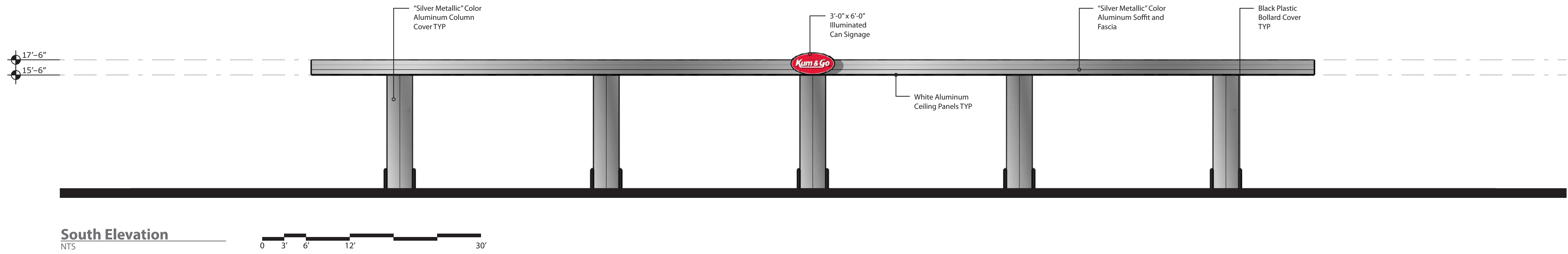
| REVISION DESCRIPTION | DATE | BY |
|----------------------|------|----|
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DATE: 12/14/2020

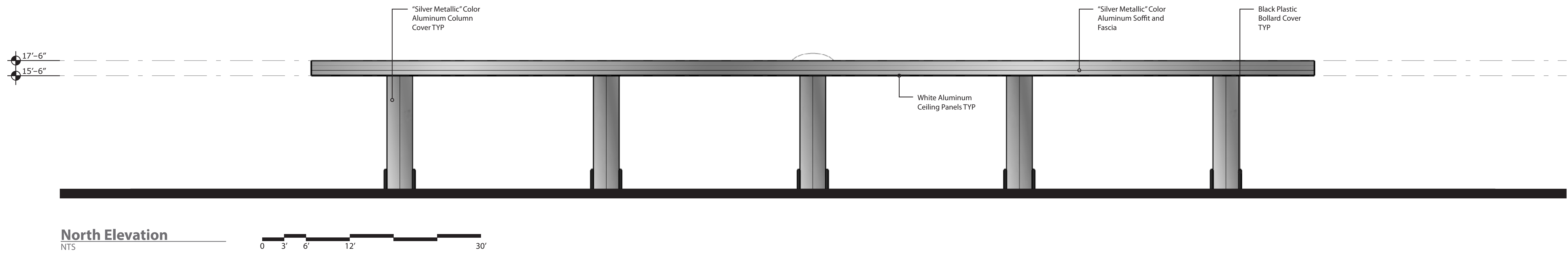
SHEET NUMBER:

Proposed Canopy Signage

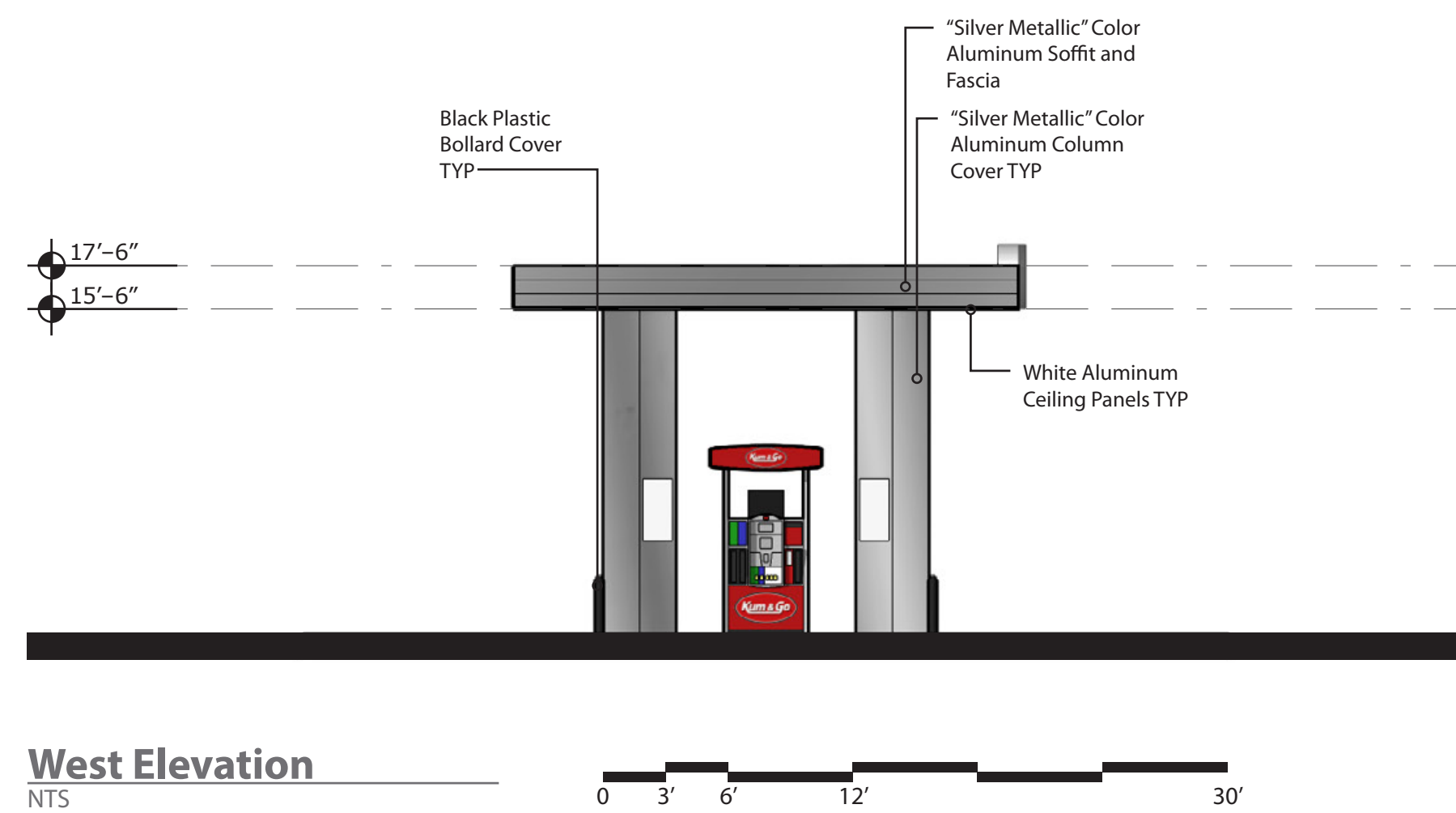
| Location | Sign | Size | Area |
|-----------------|-----------------|---------|--------------|
| South Elevation | "Kum & Go" Sign | 3' x 6' | 14 SF |
| North Elevation | No Signage | --- | 0 SF |
| West Elevation | No Signage | --- | 0 SF |
| East Elevation | No Signage | --- | 0 SF |
| Total | | | 14 SF |



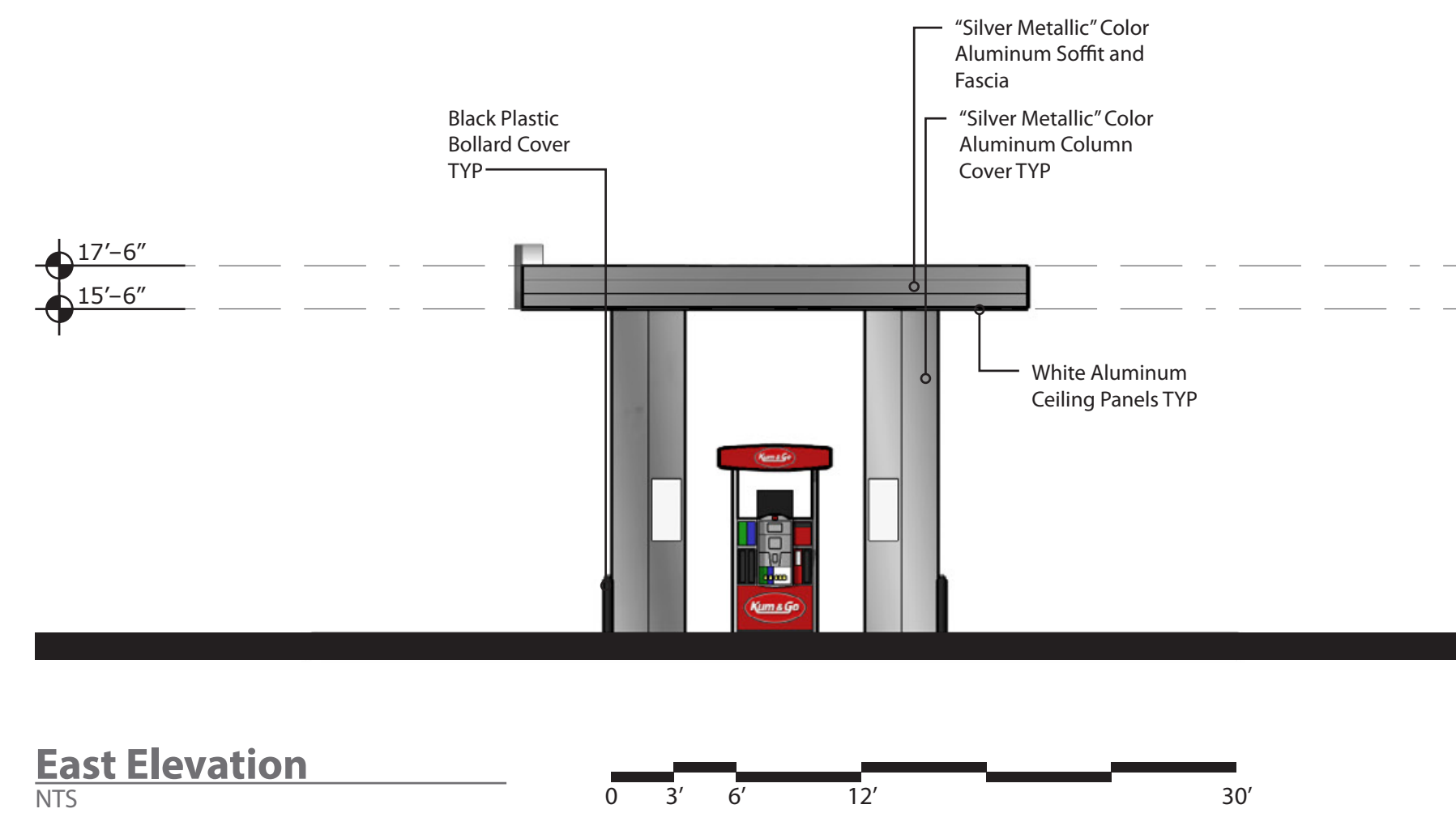
South Elevation
NTS



North Elevation
NTS



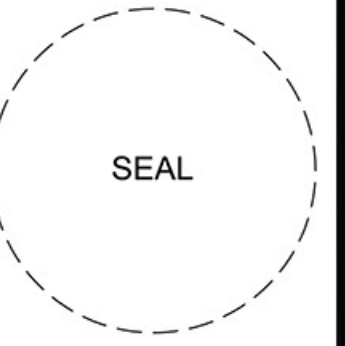
West Elevation
NTS



East Elevation
NTS

brr

ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC
813 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204
www.brrarch.com
TEL: 913-262-9055
FAX: 913-262-9044



1459 Grand Avenue
Des Moines, Iowa
50309
P:515-457-6247

#0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
CANOPY ELEVATIONS

KG PROJECT TEAM:
RDM:
SDM:
CPM:

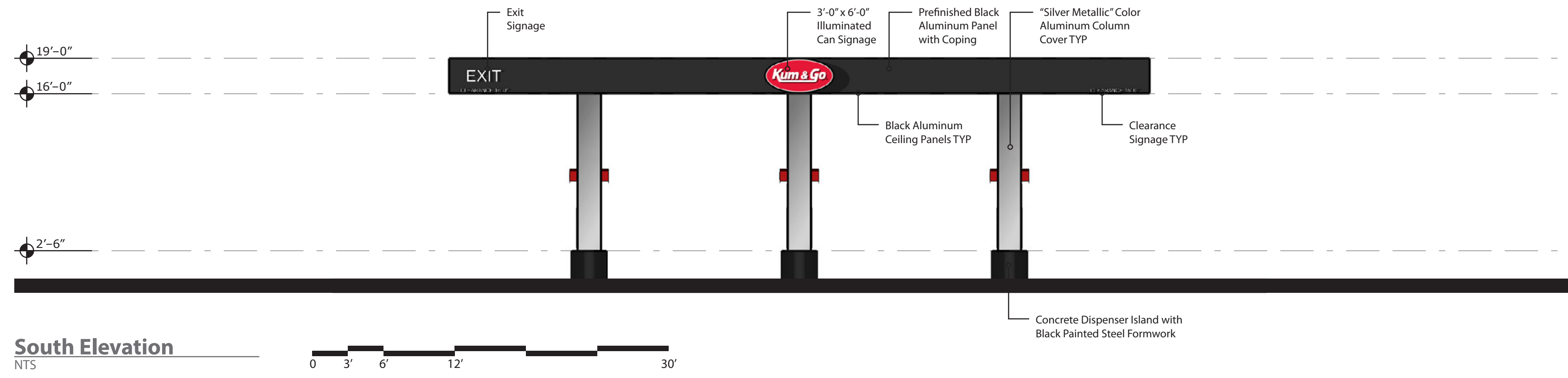
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|----------------------|------|----|
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DATE: 12/14/2020

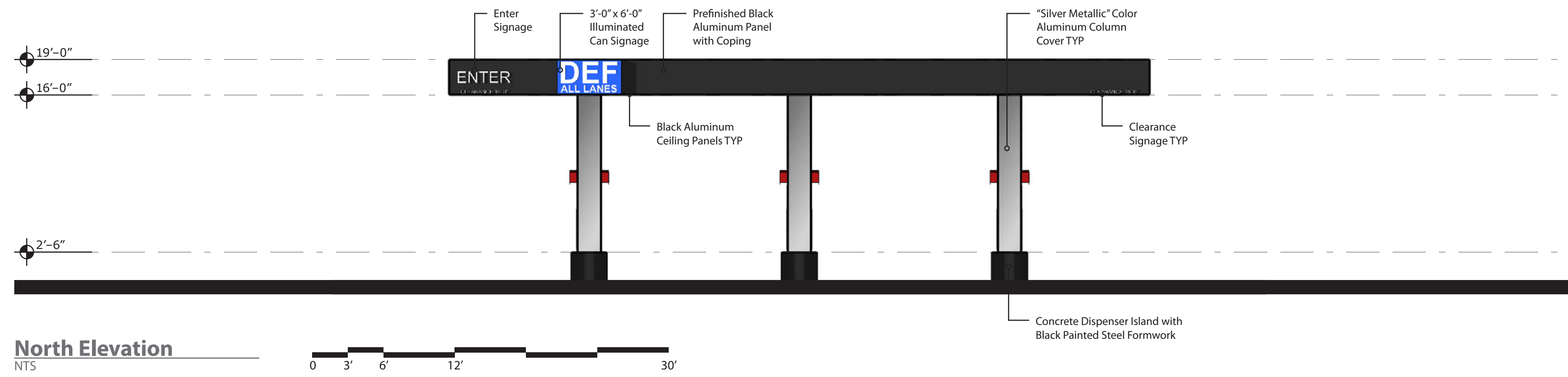
SHEET NUMBER:

Proposed Canopy Signage

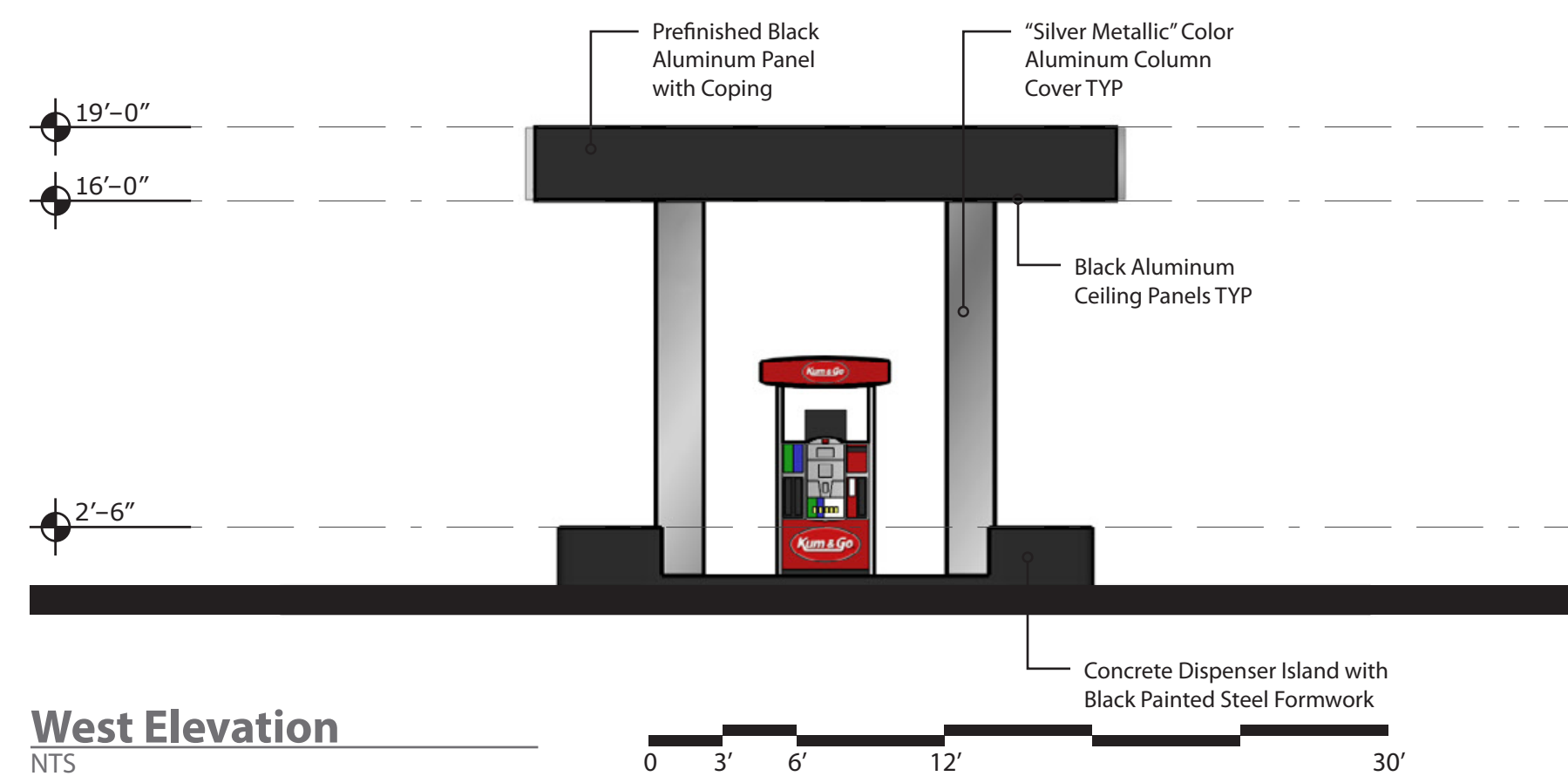
| Location | Sign | Size | Area |
|-----------------|-----------------|--------|--------------|
| South Elevation | "Kum & Go" Sign | 3'x 6' | 18 SF |
| North Elevation | "DEF" Sign | 3'x 6' | 18 SF |
| West Elevation | No Signage | --- | 0 SF |
| East Elevation | No Signage | --- | 0 SF |
| Total | | | 36 SF |



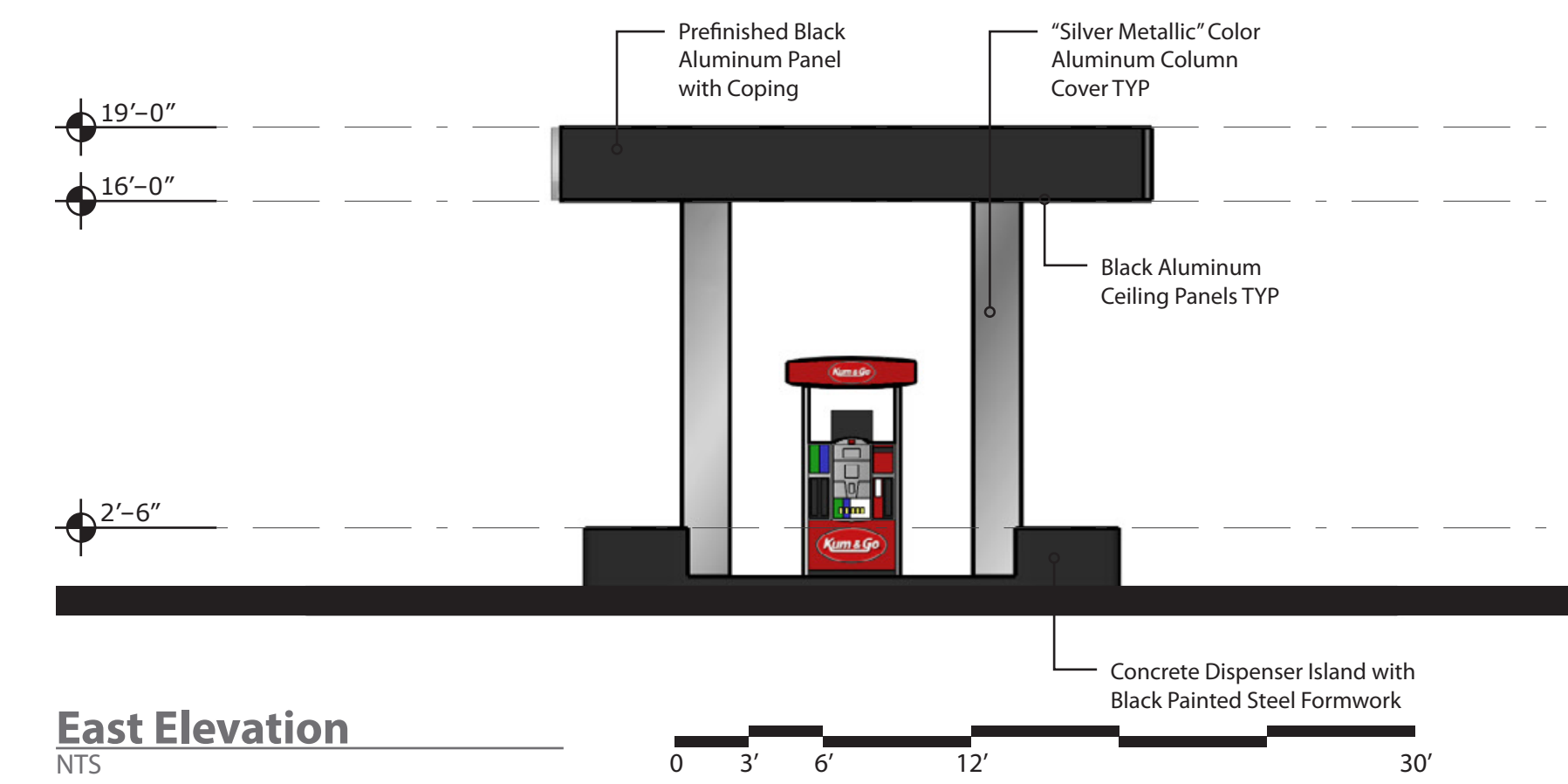
South Elevation
NTS



North Elevation
NTS



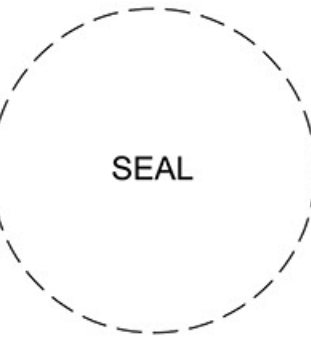
West Elevation
NTS



East Elevation
NTS

brr

ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC
813 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204
www.brrarch.com
TEL: 913-262-9055
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1459 Grand Avenue
Des Moines, Iowa
50309
P:515-457-6247

#0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
DIESEL CANOPY ELEVATIONS

KG PROJECT TEAM:
RDM:
SDM:
CPM:

| REVISION DESCRIPTION | DATE |
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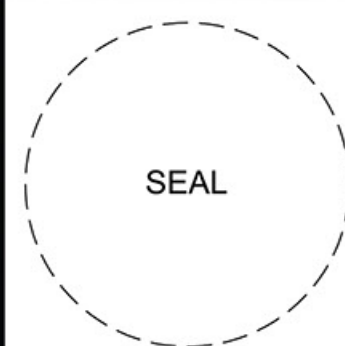
DATE: 12/14/2020

SHEET NUMBER:

REVISIONS



ARCHITECT OF RECORD:
 BRR ARCHITECTURE, INC
 813 METCALF AVENUE
 SUITE 300
 OVERLAND PARK, KS 66204
 www.brrarch.com
 TEL: 913-262-9055
 FAX: 913-262-9044



1459 Grand Avenue
 Des Moines, Iowa
 50309
 P:515-457-6247

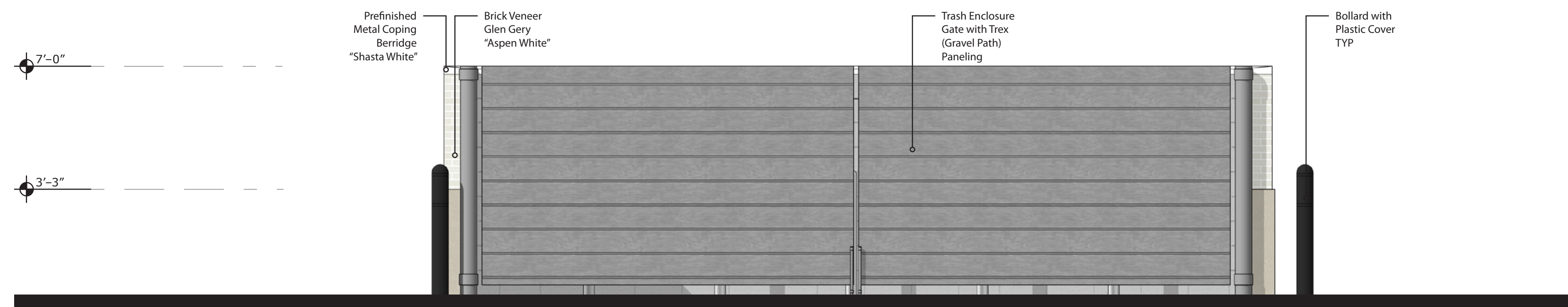
#0198 - CUMMING, IOWA
 I-35 & CUMMING AVENUE
 TRASH ENCLOSURE ELEVATIONS

KG PROJECT TEAM:
 RDM:
 SDM:
 CPM:

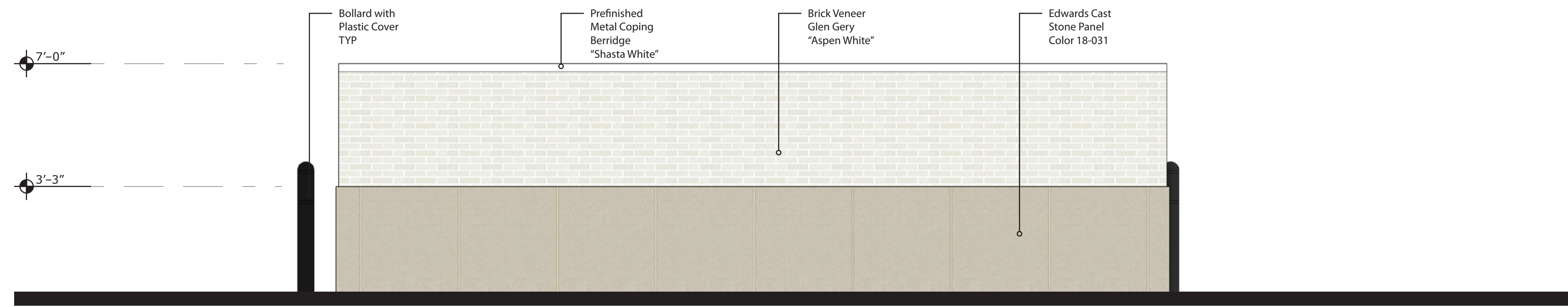
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DATE: 12/14/2020

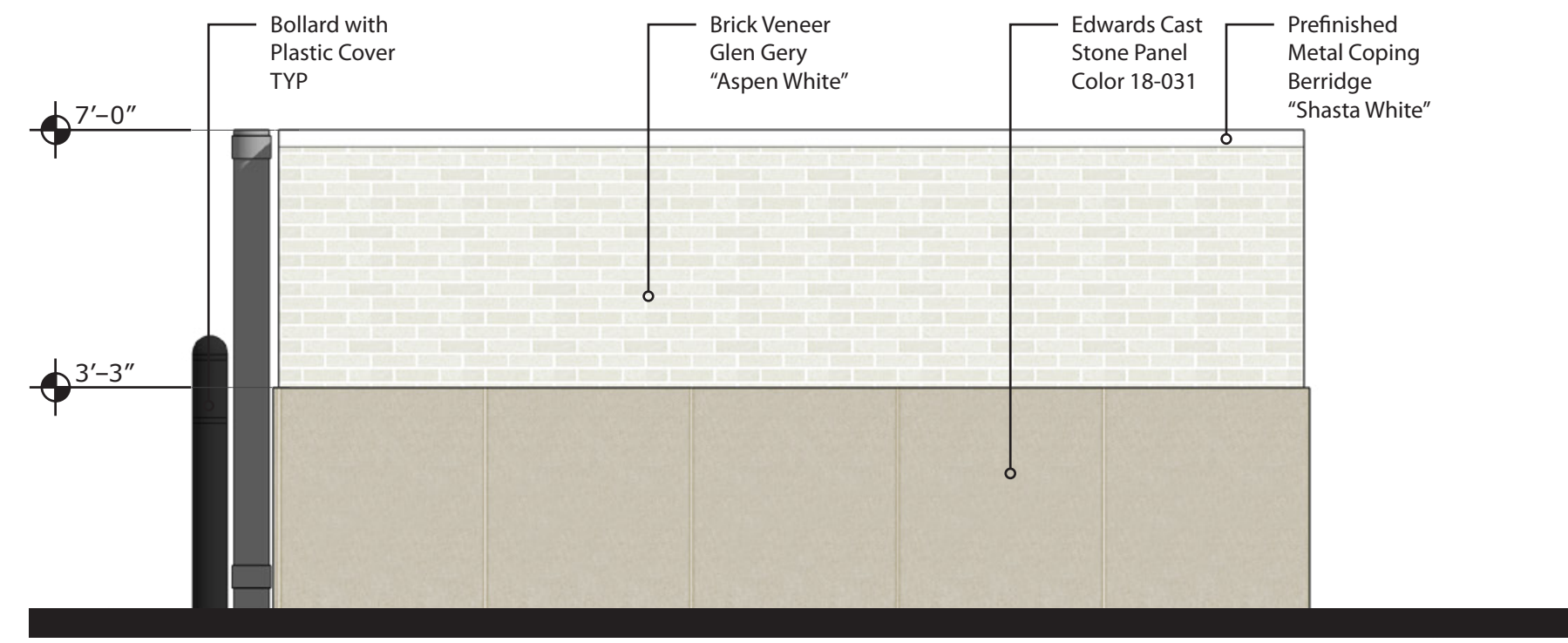
SHEET NUMBER:



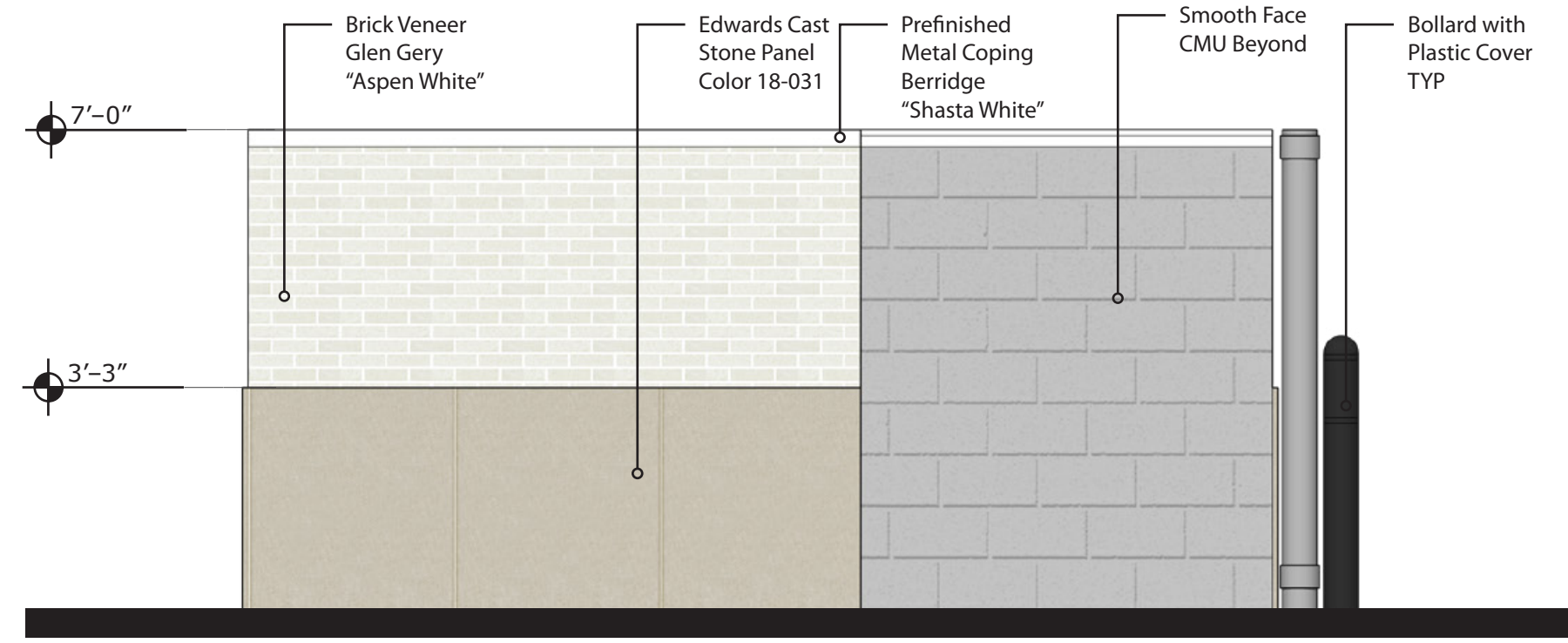
North Elevation
 NTS



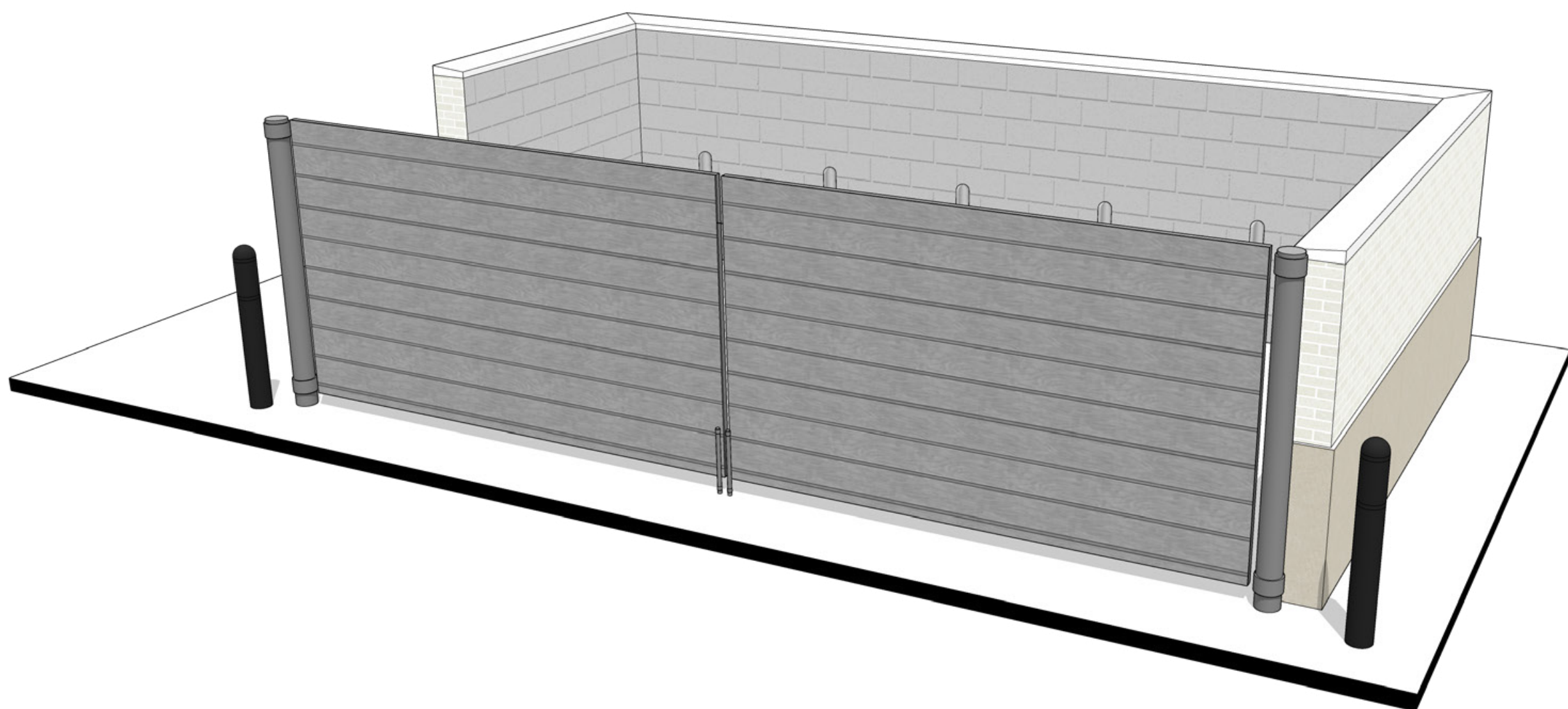
South Elevation
 NTS



West Elevation
 NTS



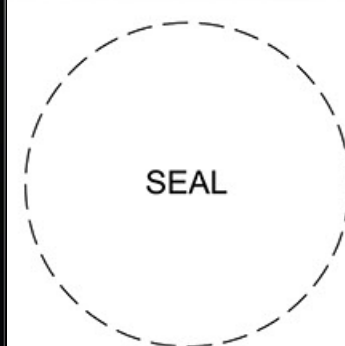
East Elevation
 NTS



Perspective
 NTS



ARCHITECT OF RECORD:
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 813 METCALF AVENUE
 SUITE 300
 OVERLAND PARK, KS 66204
 www.brrarch.com
 TEL: 913-262-9055
 FAX: 913-262-9044



1459 Grand Avenue
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 50309
 P:515-457-6247

#0198 - CUMMING, IOWA
 I-35 & CUMMING AVENUE
 FLOOR PLAN

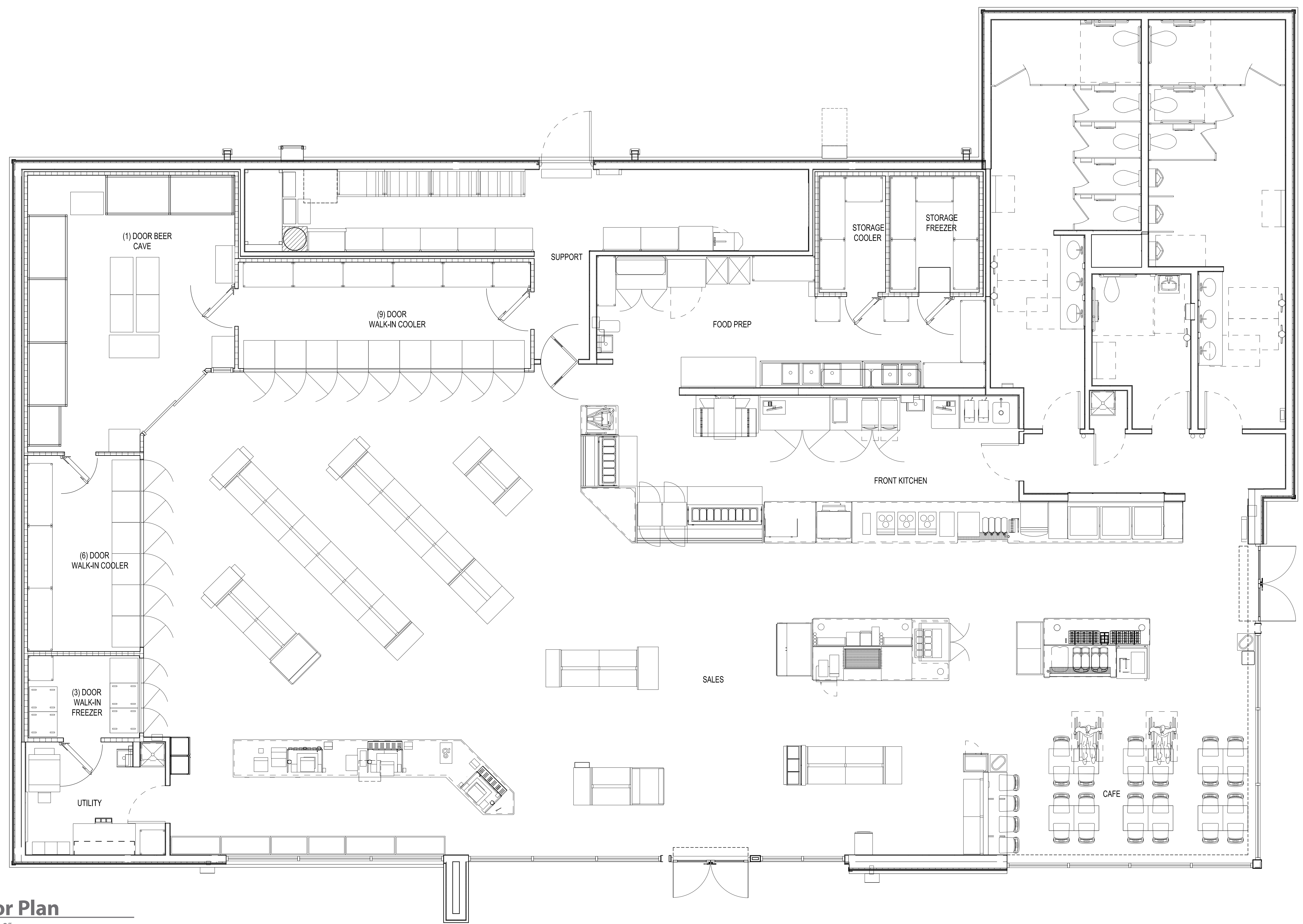
KG PROJECT TEAM:
 RDM:
 SDM:
 CPM:

| DATE | REVISION DESCRIPTION |
|------|----------------------|
| | |
| | |
| | |
| | |

DATE: 12/14/2020

SHEET NUMBER:

REVISIONS



Floor Plan
 1/4" = 1'-0"

Bob, Angie, and Tony,

Attached are updated Site Plan drawings showing the incorporation of “30 Minute Parking Only” signs at the truck parking area. I’ve also attached an exhibit of what the signs will look like.

Keith Weggen, ASLA | *project manager*
CIVIL DESIGN ADVANTAGE LLC

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PROJECT TEAM:

OWNER/DEVELOPER/APPLICANT:

KUM & GO L.C.
1459 GRAND AVENUE
DES MOINES, IA 50309
ATTN: BRITNI ANDREASSEN
PH: (515) 457-6083

WATER:

DES MOINES WATER WORKS
2201 GEORGE FLAGG PARKWAY
DES MOINES, IOWA 50321
CONTACT: BRYAN POLLPETER
PH: (515) 323-6204

ENGINEER:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

SANITARY SEWER:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)
(515) 225-8000

LANDSCAPE ARCHITECT:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

ELECTRIC:

MIDAMERICAN ENERGY COMPANY
3500 104TH STREET
URBANDALE, IA 50322
CONTACT: CRAIG RANFELD
PH: (515) 252-6632

SURVEYOR:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

STORM SEWER:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)
(515) 225-8000

TELEPHONE/CABLE:

CENTURYLINK
2103 EAST UNIVERSITY AVENUE
DES MOINES, IA 50317
CONTACT: MINDI BURGETT
PH: (515) 263-7230

BUILDING DEPARTMENT:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: JASON VANAUSDALL (VEENSTRA & KIMM)
(515) 225-8000

GEOTECHNICAL ENGINEER:

TERRACON CONSULTANTS, INC.
600 SW 7TH STREET, SUITE M
DES MOINES, IOWA 50309
BRETT BRADFIELD
PH: (515) 244-3184

BENCH MARKS

CITY OF WEST DES MOINES BM# 108 LOCATED AT THE INTERSECTION OF 105TH STREET AND WARREN AVENUE, NORTH OF INTERSECTION, 4 FEET WEST OF THE CENTERLINE EXTENDED, 20 FEET SOUTH OF THE EAST/WEST FENCE. ELEVATION=211.96

CITY OF WEST DES MOINES BM# 140 LOCATED AT THE NW CORNER OF ADAMS STREET AND 20TH AVENUE, 4 FEET SOUTH OF POWER POLE, 38 FEET WEST OF CENTERLINE OF 20TH AVENUE, 68 FEET NORTH OF CENTERLINE OF ADAMS STREET. ELEVATION=183.87

PROPERTY DESCRIPTION

LOT 1, SPANGLER PLAT 1 AN OFFICIAL PLAT IN THE CITY OF CUMMING, WARREN COUNTY, IOWA. INCLUDING 2.99 ACRES (130,375 SF).

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = NOVEMBER, 1 2020
ANTICIPATED FINISH DATE = NOVEMBER, 1 2021

REFER TO GEOTECHNICAL ENGINEERING REPORT NO. 08205135 PREPARED BY TERRACON CONSULTANTS, INC. FOR GEOTECHNICAL REQUIREMENTS

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A duly Licensed Professional Engineer under the laws of the State of Iowa.

PRELIMINARY

NOT FOR CONSTRUCTION

DATE: _____
DATE: 11/30/2020

MY LICENSE RENEWAL DATE IS JUNE 30, 2022
PAGES OR SHEETS COVERED BY THIS SEAL:
ALL SHEETS



WHERE & MEANS MORE

GENERAL LEGEND

PROPOSED

- LOT LINE
- CENTER LINE
- RIGHT OF WAY
- PERMANENT EASEMENT
- TEMPORARY EASEMENT
- TYPE SW-501 STORM INTAKE
- TYPE SW-503 STORM INTAKE
- TYPE SW-401 STORM MANHOLE
- TYPE SW-301 SANITARY MANHOLE
- STORM/SANITARY CLEANOUT
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- SIGN
- DETECTABLE WARNING PANEL
- SANITARY SEWER WITH SIZE
- STORM SERVICE
- WATERMAIN WITH SIZE
- SAWCUT (FULL DEPTH)
- SILT FENCE

EXISTING

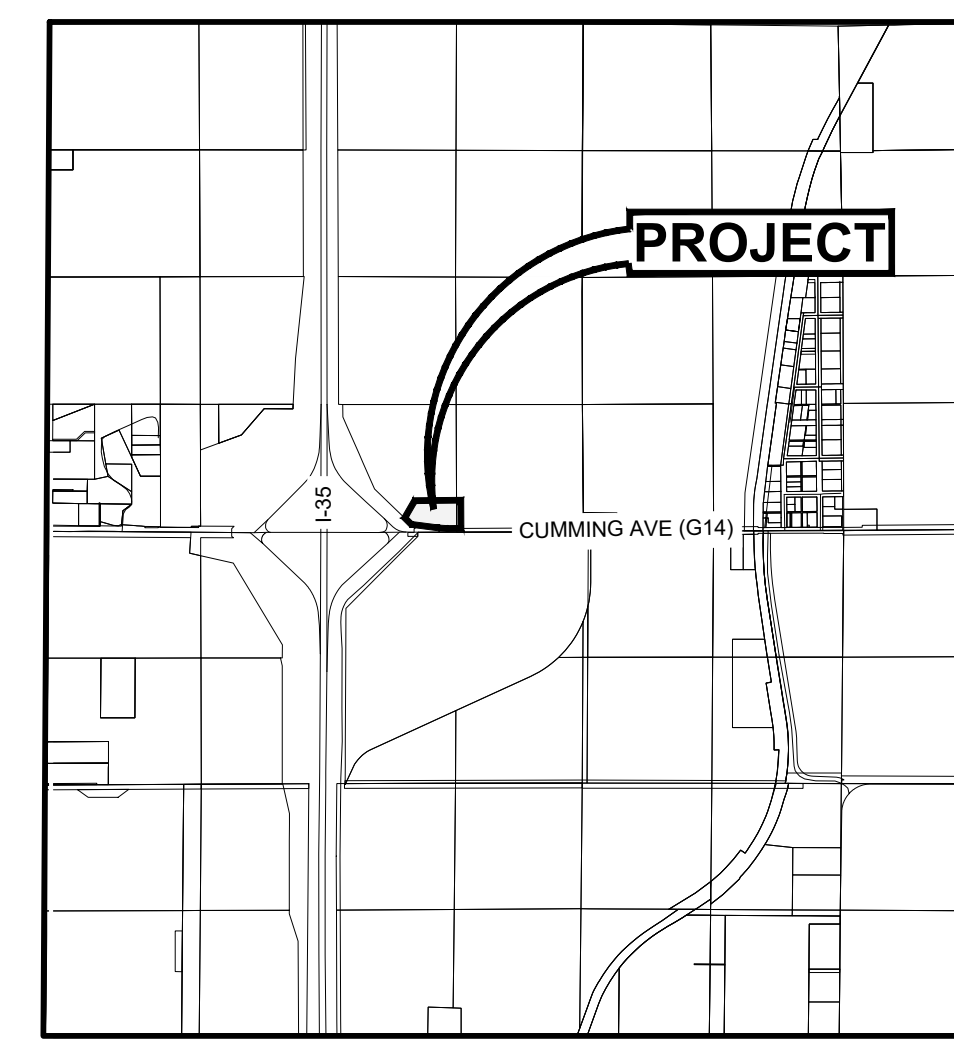
- SANITARY MANHOLE
- WATER VALVE BOX
- FIRE HYDRANT
- WATER CURB STOP
- STORM SEWER MANHOLE
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ELECTRIC POWER POLE
- GUY ANCHOR
- STREET LIGHT
- POWER POLE W/ TRANSFORMER
- UTILITY POLE W/ LIGHT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE OR VAULT
- TRAFFIC SIGN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE/VAULT
- TELEPHONE POLE
- GAS VALVE BOX
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE/VAULT
- BENCH MARK
- SOIL BORING
- UNDERGROUND TV CABLE
- GAS MAIN
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- SANITARY SEWER W/ SIZE
- STORM SEWER W/ SIZE
- WATER MAIN W/ SIZE

SUBMITTAL DATES

SUBMITTAL #1: SEPTEMBER 11, 2020
SUBMITTAL #2: OCTOBER 29, 2020
SUBMITTAL #3: NOVEMBER 30, 2020

VICINITY MAP

NOT TO SCALE



CUMMING, IOWA

SITE PLAN DRAWINGS
STORE #0198
I-35 & CUMMING AVENUE
CUMMING, IA 50061

| SHEET INDEX | | |
|-------------|--------------------------------------|-----------|
| 1 | COVER SHEET | C0.0 |
| 2 | SITE PLAN | C1.1 |
| 3 | TOPOGRAPHIC SURVEY / DEMOLITION PLAN | C1.2 |
| 4-5 | GRADING PLAN | C2.1-C2.2 |
| 6 | EROSION & SEDIMENT CONTROL | C2.3 |
| 7 | UTILITY PLAN | C3.1 |
| 8 | LANDSCAPE PLAN | L1.1 |

| SITE DATA | | |
|--------------------------------|--|---------|
| STORE TYPE | INTERSTATE | |
| CANOPY / DISPENSER ARRANGEMENT | 5 DISPENSERS (SINGLE), 3 HI-FLOW DISPENSERS | |
| TYPE OF USE | CONVENIENCE STORE WITH FUEL | |
| HEIGHT | BUILDING | 21'-0" |
| | TOP OF BLADE WALL | 22'-7" |
| | CANOPY | 20'-10" |
| | DIESEL CANOPY | 19'-0" |
| GROSS FLOOR AREA | 6,015 S.F. | |
| GROSS CANOPY AREA | 4,356 S.F. | |
| GROSS LOT AREA | ±130,375 S.F. | |
| FAR (INCLUDING CANOPY) | 0.08 | |
| KUM & GO BUILDING COVERAGE | 6,015 S.F. (4.6%) | |
| LANDSCAPE COVERAGE | 50,095 SF (38.4%) | |
| PARKING/DRIVE/ COVERAGE | 74,283 SF (57.0%) | |
| BICYCLE PARKING | N/A | |
| REQUIRED PARKING | STANDARD | 31 |
| | ADA | 1 |
| | TOTAL | 32 |
| PROVIDED PARKING | PARKING RATIO = 1 SPACE/ 187 GFA | |
| | STANDARD | 25 |
| | ADA | 2 |
| | TRUCKS | 5 |
| | TOTAL | 32 |
| | PARKING RATIO = 5.4 CARS/1000 S.F. | |

| ZONING INFORMATION | |
|---------------------------------------|-----|
| ZONE: C-1 HIGHWAY COMMERCIAL DISTRICT | |
| MINIMUM LOT AREA (SQUARE FEET) | |
| MINIMUM LOT WIDTH (FEET) | |
| SITE AREA PER UNIT (SQUARE FEET) | N/A |
| FRONT YARD SETBACK (FEET) | 50 |
| FRONT YARD CANOPY SETBACK (FEET) | 15 |
| LEFT SIDE YARD SETBACK (FEET) | 0 |
| RIGHT SIDE YARD SETBACK (FEET) | 0 |
| REAR YARD SETBACK (FEET) | 0 |
| BUILDING MAXIMUM HEIGHT (FEET) | 35 |
| CANOPY MAXIMUM HEIGHT (FEET) | 20 |
| MAXIMUM BUILDING COVERAGE | N/A |

CONFIDENTIAL DOCUMENT.
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0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE

COVER SHEET

KG PROJECT TEAM:
RDR:
SDM:
CPM:

| DATE | REVISION DESCRIPTION |
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DATE: 11-30-2020

SHEET NUMBER:

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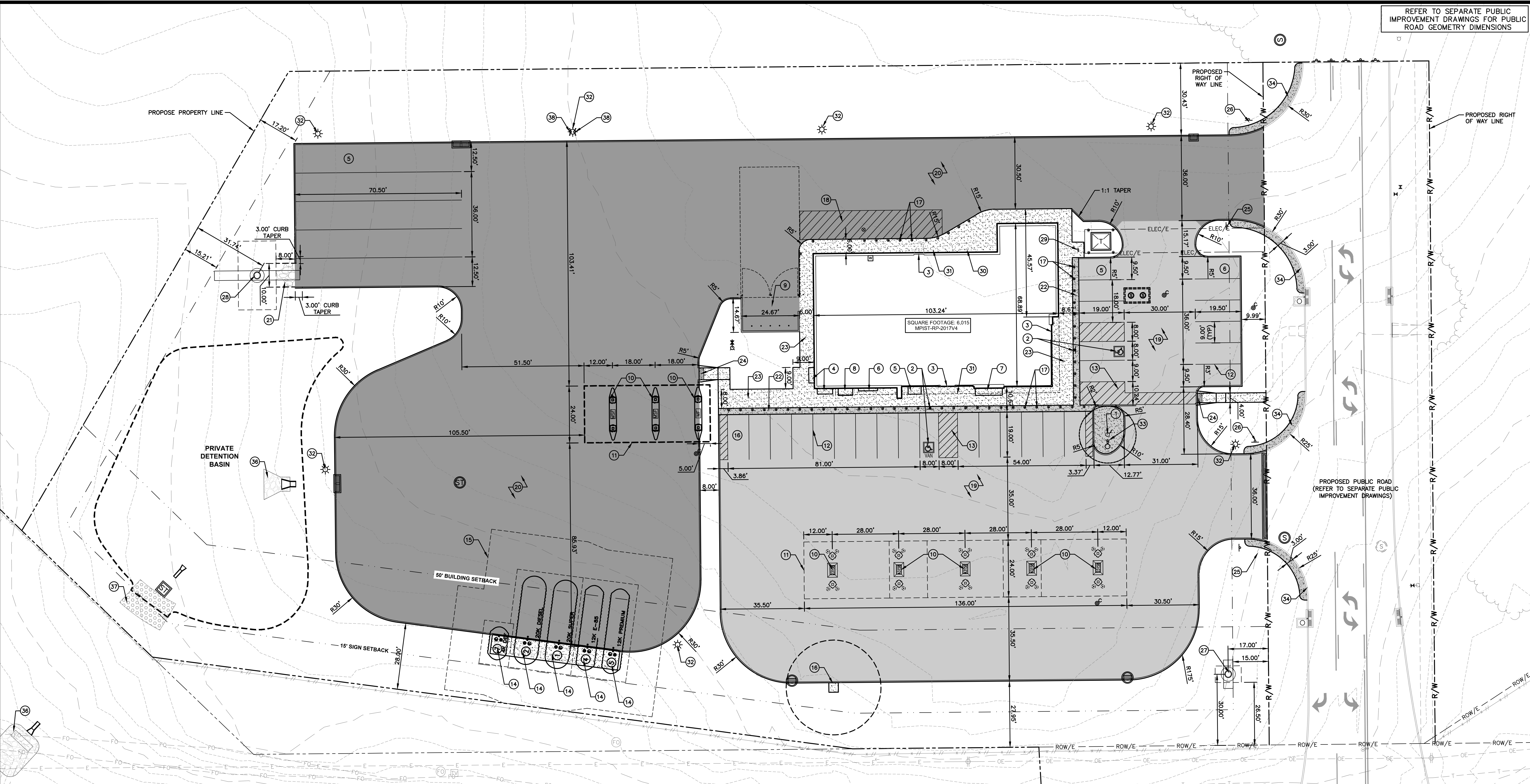


CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

1-800-292-8988
www.iowaonecall.com

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PLOT DATE: 11/30/2020 11:18 AM
PLOT BY: KEITH WEGGEN

REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR PUBLIC ROAD GEOMETRY DIMENSIONS



FLAG NOTES

- 1 40 FOOT FLAG POLE, MAINTAIN 24 FEET CLEAR SPACE
- 2 ACCESSIBLE PARKING SPACE WITH POLE MOUNTED ADA PARKING SIGN
- 3 BUILDING ENTRY - SEE ARCHITECTURAL DRAWINGS
- 4 PROPANE CAGE
- 5 MISCELLANEOUS MERCHANDISE
- 6 FIREWOOD
- 7 REDBOX
- 8 ICE MERCHANDISER
- 9 TRASH ENCLOSURE - SEE ARCHITECTURAL DRAWINGS
- 10 FUEL DISPENSER ISLAND
- 11 FUEL CANOPY
- 12 4 INCH YELLOW PARKING STRIPING
- 13 4 INCH YELLOW PARKING STRIPING - 24 INCHES O.C. AT 45 DEGREES
- 14 UNDER GROUND STORAGE TANK LOCATIONS
- 15 TANK OVERDIG LIMITS
- 16 AIR MACHINE - COORDINATE MOUNT WITH SUPPLIER
- 17 BOLLARDS - WITH BLACK PROTECTIVE COVER
- 18 12 FEET X 60 FEET LOADING ZONE
- 19 STANDARD DUTY P.C.C. PAVEMENT
- 20 HEAVY DUTY P.C.C. PAVEMENT
- 21 GRANULAR SURFACE
- 22 INTEGRAL COLORED PCC SIDEWALK - HEAVY BROOM FINISH - 6 INCH MINIMUM THICKNESS

- 23 P.C.C. SIDEWALK
- 24 DETECTABLE WARNING STRIP
- 25 STOP SIGN FOR ACCESSING PUBLIC-RIGHT-OF-WAY
- 26 TRUCK DIRECTIONAL SIGNAGE
- 27 35' POLE SIGN
- 28 80' POLE SIGN
- 29 BOLLARD BIKE RACK - 5.00 FEET X 6.5 FEET PAD
- 30 ELECTRICAL, TELEPHONE, IRRIGATION CONDUIT CONNECTION - METERS SHALL BE LOCATED INSIDE BUILDING
- 31 BUILDING CANOPY OVERHANG
- 32 AREA LIGHT
- 33 FLAG POLE UPLIGHT
- 34 ROLLOVER CURB
- 35 THREE-CENTERED COMPOUND CURVE - BY OTHERS
- 36 CLASS E, RIP-RAP
- 37 TURF REINFORCEMENT MAT - TYPE 4
- 38 30 MINUTE PARKING ONLY SIGN - MOUNTED TO LIGHT POLE

PAVEMENT THICKNESS

| | |
|-------------------------------|-----------|
| 1. SIDEWALK | 4" P.C.C. |
| 2. STANDARD DUTY PCC PAVEMENT | 6" P.C.C. |
| 3. HEAVY DUTY PCC PAVEMENT | 8" P.C.C. |
| 4. INTEGRAL COLORED CONCRETE | 6" P.C.C. |

GENERAL NOTES

- THE 2020 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES AND PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
- ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
- REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
- CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
- ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.



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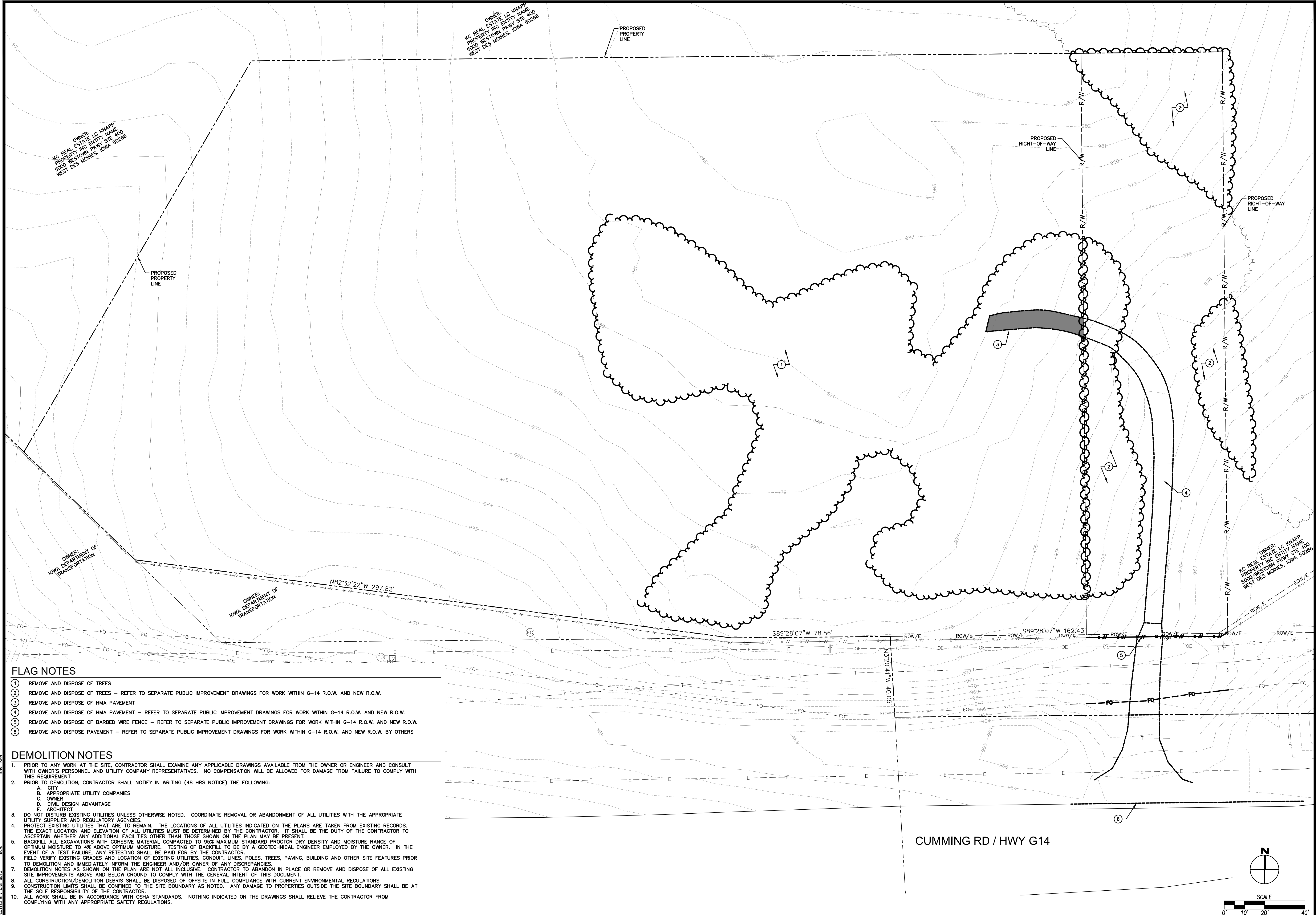
0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
 SITE PLAN

KG PROJECT TEAM:
 RDR:
 SDM:
 CRM:

| REVISION DESCRIPTION | DATE |
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DATE: 11-30-2020

SHEET NUMBER:
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OWNER:
KC REAL ESTATE, L.C. KWAPP
PROPERTY INC. ENTITY NAME:
5000 WESTOWN PKWY. STE. 400
WEST DES MOINES, IOWA 50266

OWNER:
KC REAL ESTATE, L.C. KWAPP
PROPERTY INC. ENTITY NAME:
5000 WESTOWN PKWY. STE. 400
WEST DES MOINES, IOWA 50266

OWNER:
IOWA DEPARTMENT OF
TRANSPORTATION

OWNER:
IOWA DEPARTMENT OF
TRANSPORTATION

OWNER:
KC REAL ESTATE, L.C. KWAPP
PROPERTY INC. ENTITY NAME:
5000 WESTOWN PKWY. STE. 400
WEST DES MOINES, IOWA 50266

- FLAG NOTES**
- ① REMOVE AND DISPOSE OF TREES
 - ② REMOVE AND DISPOSE OF TREES - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W.
 - ③ REMOVE AND DISPOSE OF HMA PAVEMENT
 - ④ REMOVE AND DISPOSE OF HMA PAVEMENT - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W.
 - ⑤ REMOVE AND DISPOSE OF BARBED WIRE FENCE - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W.
 - ⑥ REMOVE AND DISPOSE PAVEMENT - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W. BY OTHERS

- DEMOLITION NOTES**
1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
 2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE
 - E. ARCHITECT
 3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
 4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
 5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
 6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
 7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
 8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
 9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.



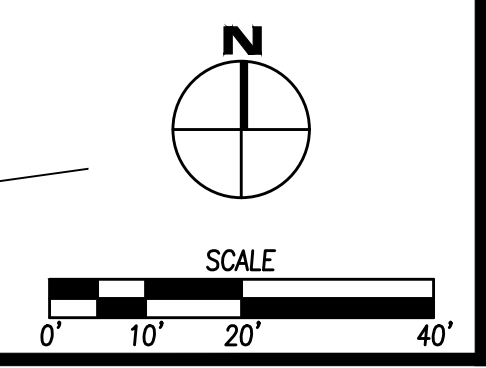
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TOPOGRAPHIC SURVEY & DEMOLITION PLAN

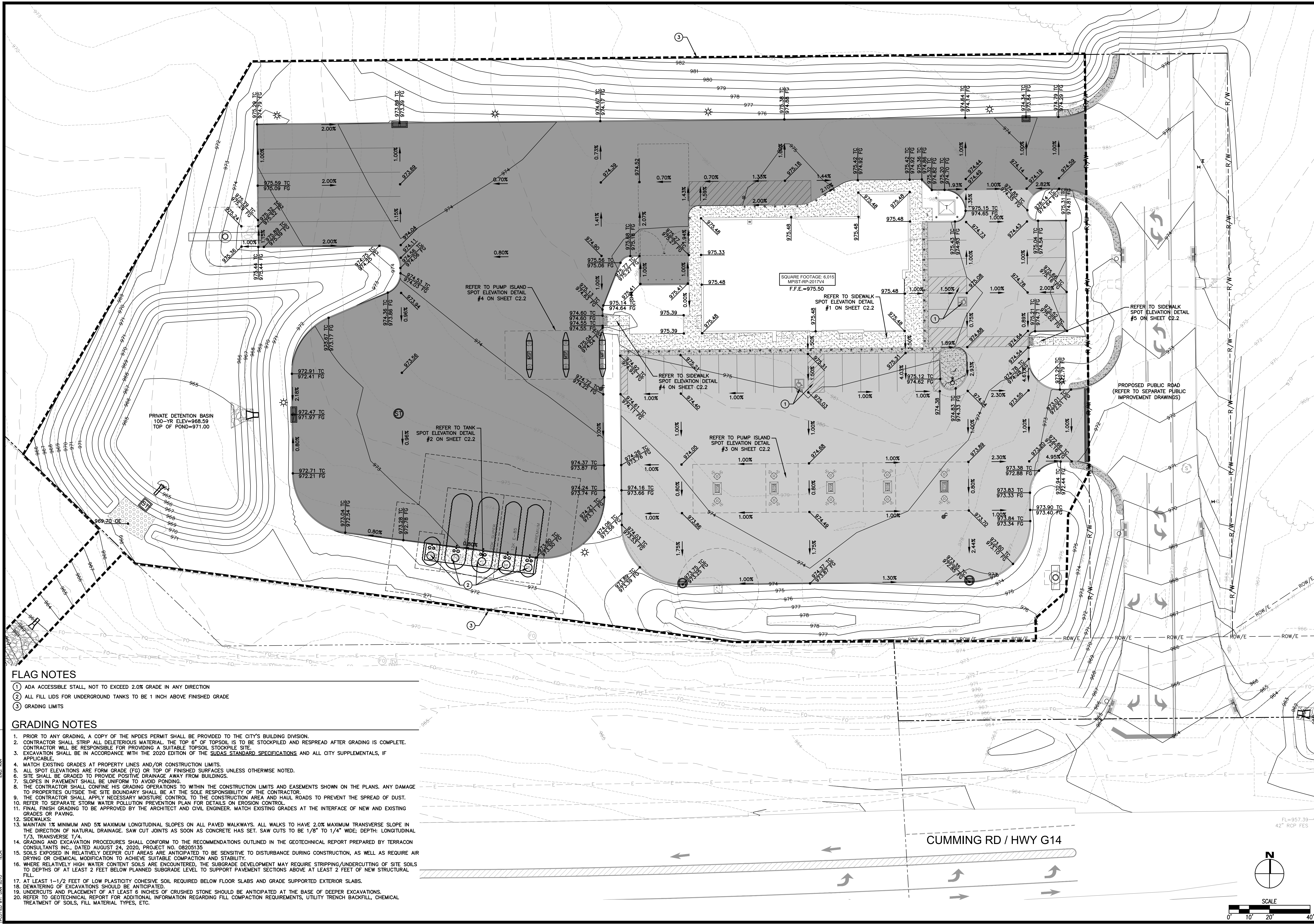
KG PROJECT TEAM:
RDR:
SDM:
CPM:

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DATE: 11-30-2020
SHEET NUMBER: C1.2



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 PLOT SCALE: 1"=40.00'
 PLOT SIZE: 11.00" x 17.00"



- FLAG NOTES**
1. ADA ACCESSIBLE STALL, NOT TO EXCEED 2.0% GRADE IN ANY DIRECTION
 2. ALL FILL LIDS FOR UNDERGROUND TANKS TO BE 1 INCH ABOVE FINISHED GRADE
 3. GRADING LIMITS

- GRADING NOTES**
1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
 2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
 3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
 4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
 5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
 6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
 7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
 8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
 10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
 11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
 12. SIDEWALKS:
 13. MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE 1/4.
 14. GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS INC., DATED AUGUST 24, 2020, PROJECT NO. 08205135
 15. SOILS EXPOSED IN RELATIVELY DEEPER CUT AREAS ARE ANTICIPATED TO BE SENSITIVE TO DISTURBANCE DURING CONSTRUCTION, AS WELL AS REQUIRE AIR DRYING OR CHEMICAL MODIFICATION TO ACHIEVE SUITABLE COMPACTION AND STABILITY.
 16. WHERE RELATIVELY HIGH WATER CONTENT SOILS ARE ENCOUNTERED, THE SUBGRADE DEVELOPMENT MAY REQUIRE STRIPPING/UNDERCUTTING OF SITE SOILS TO DEPTHS OF AT LEAST 2 FEET BELOW PLANNED SUBGRADE LEVEL TO SUPPORT PAVEMENT SECTIONS ABOVE AT LEAST 2 FEET OF NEW STRUCTURAL FILL.
 17. AT LEAST 1-1/2 FEET OF LOW PLASTICITY COHESIVE SOIL REQUIRED BELOW FLOOR SLABS AND GRADE SUPPORTED EXTERIOR SLABS.
 18. DEWATERING OF EXCAVATIONS SHOULD BE ANTICIPATED.
 19. UNDERCUTS AND PLACEMENT OF AT LEAST 6 INCHES OF CRUSHED STONE SHOULD BE ANTICIPATED AT THE BASE OF DEEPER EXCAVATIONS.
 20. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION REGARDING FILL COMPACTION REQUIREMENTS, UTILITY TRENCH BACKFILL, CHEMICAL TREATMENT OF SOILS, FILL MATERIAL TYPES, ETC.



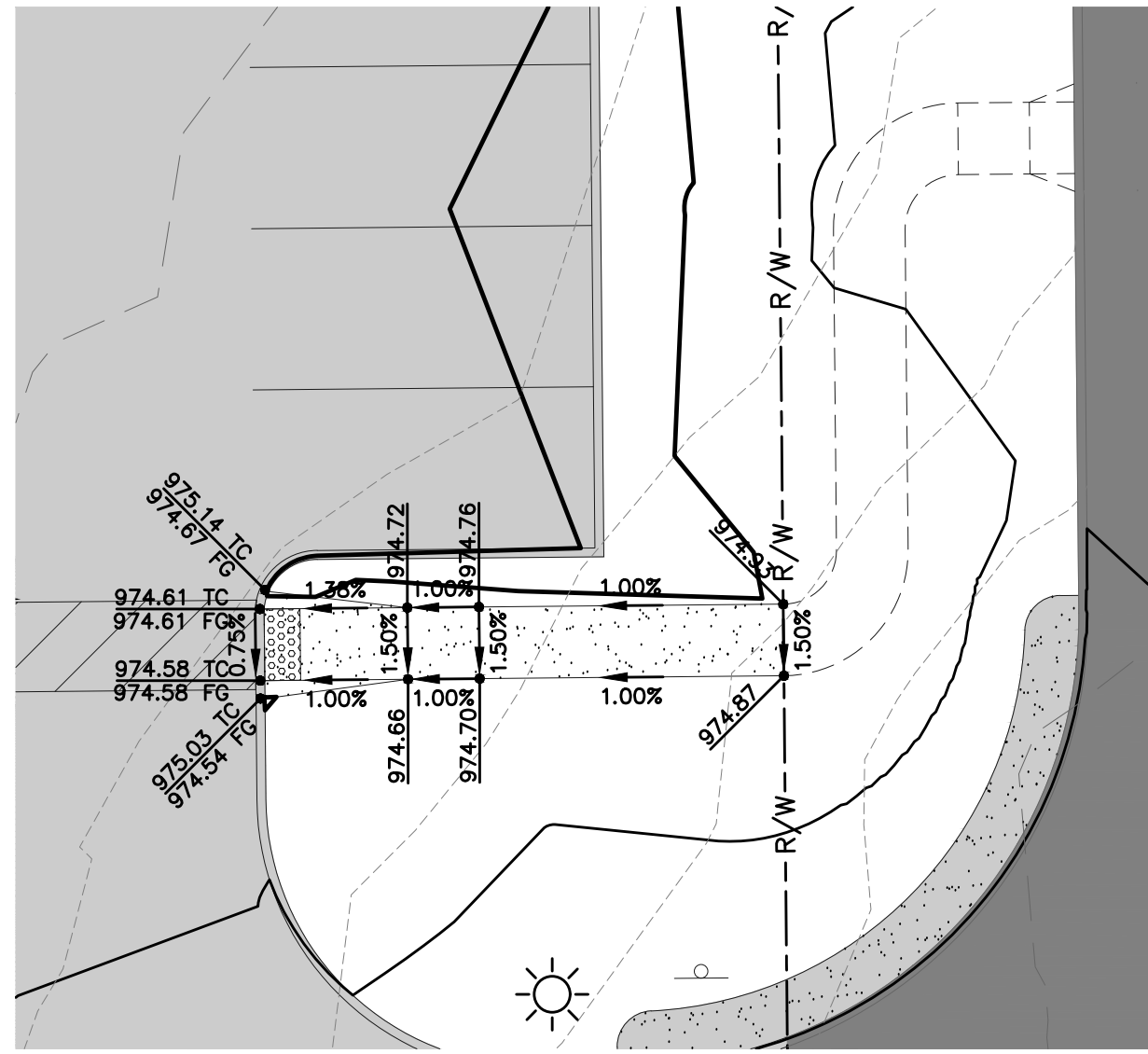
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 GRADING PLAN

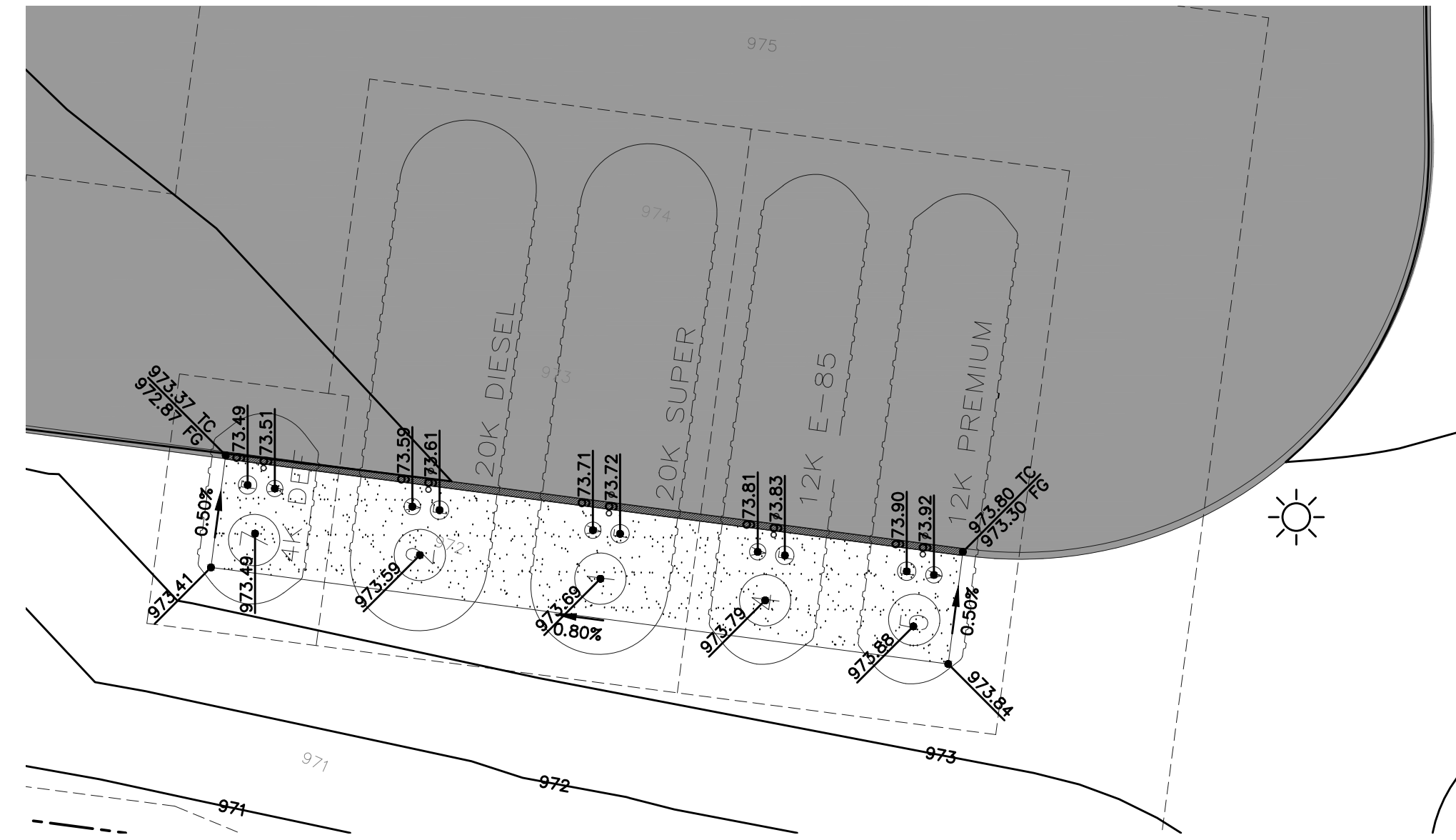
KG PROJECT TEAM:
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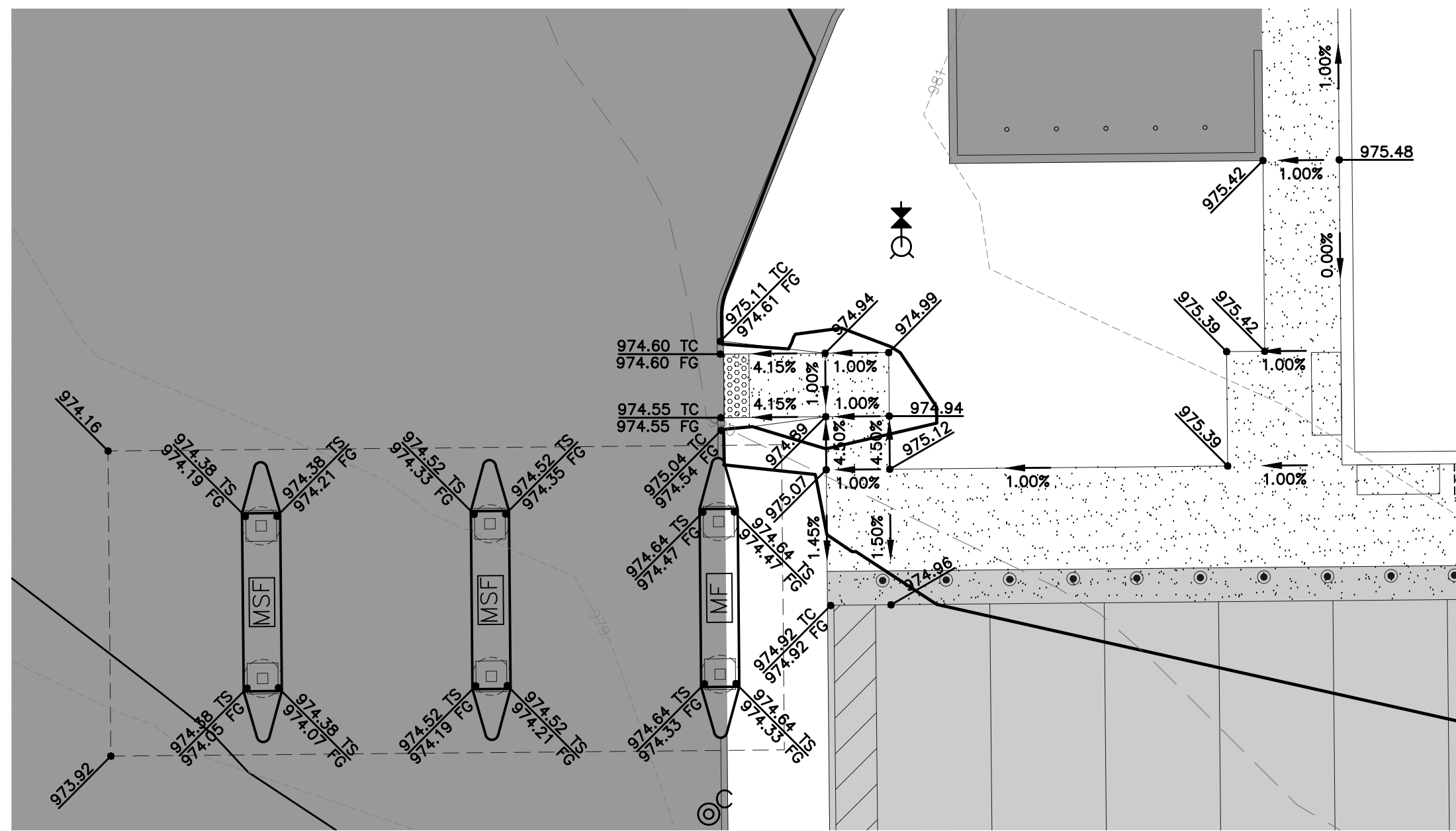
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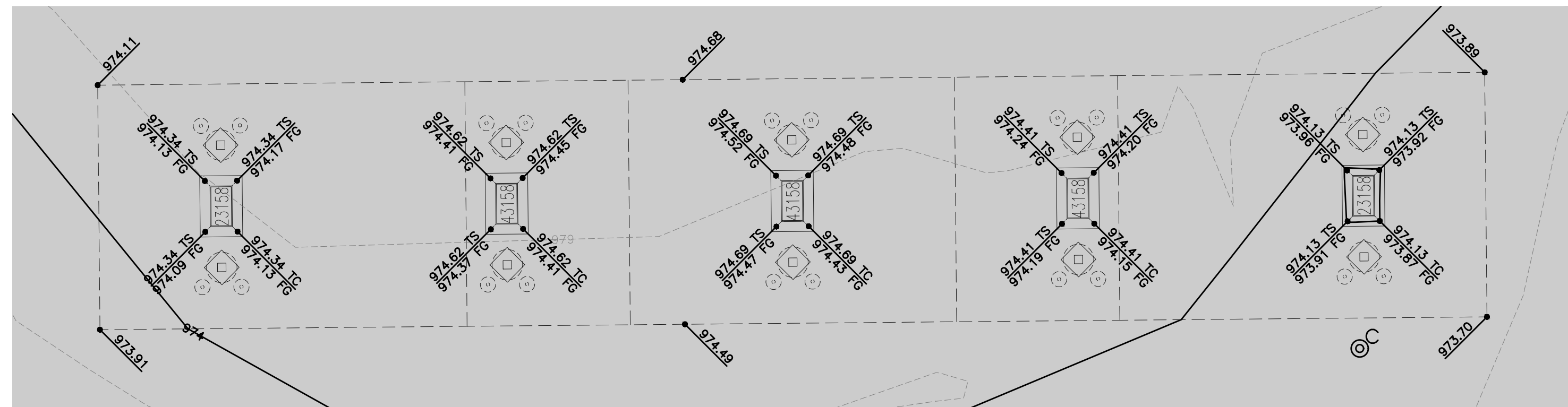
5 **SIDEWALK SPOT ELEVATION DETAIL**
1"=10'



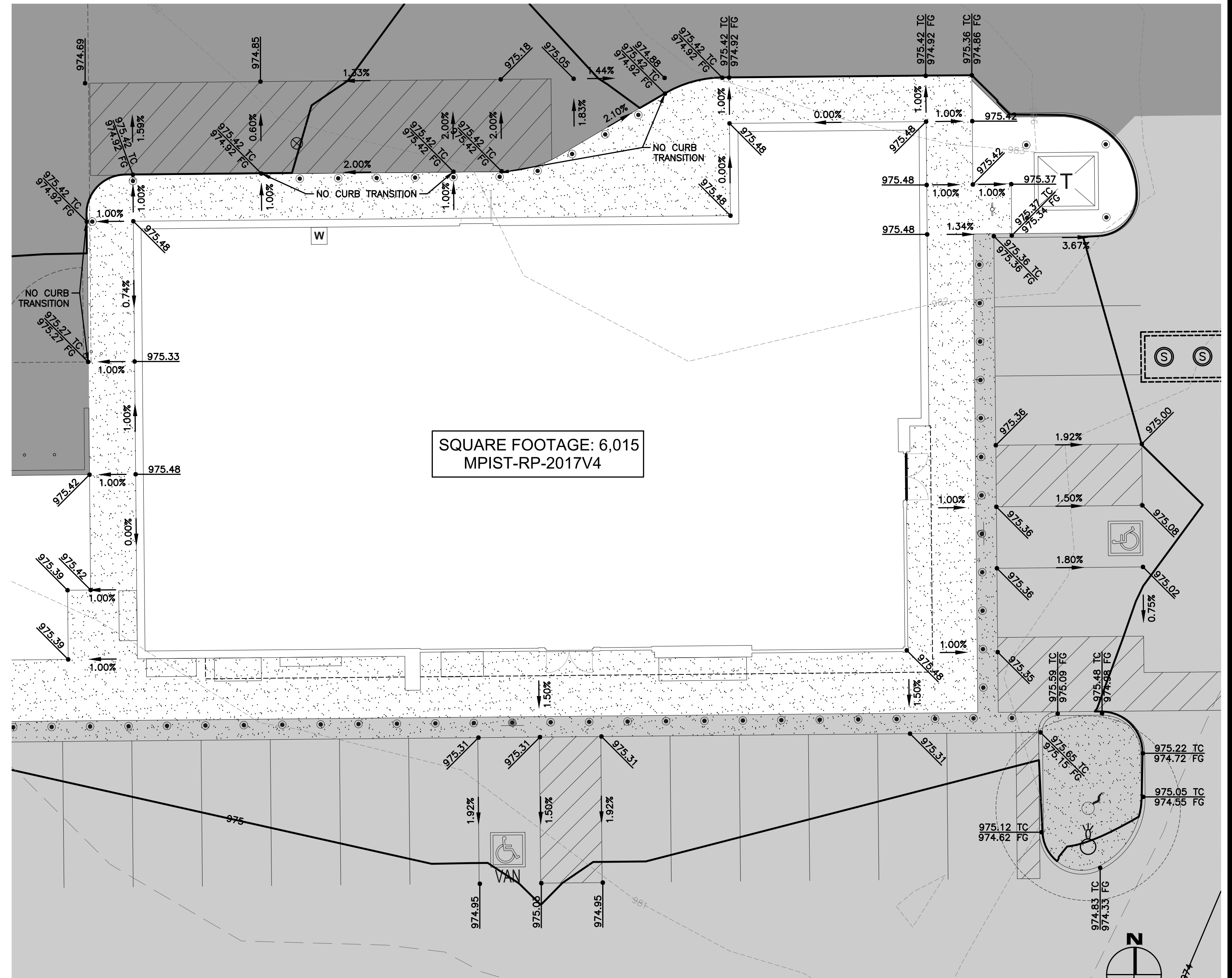
2 **TANK LID SPOT ELEVATIONS DETAIL**
1"=10'



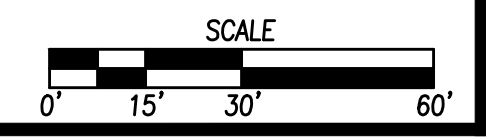
4 **PUMP ISLAND & SIDESALK SPOT ELEVATIONS DETAIL**
1"=10'



3 **PUMP ISLAND SPOT ELEVATIONS DETAIL**
1"=10'



1 **SIDEWALK SPOT ELEVATION DETAIL**
1"=10'



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GRADING PLAN

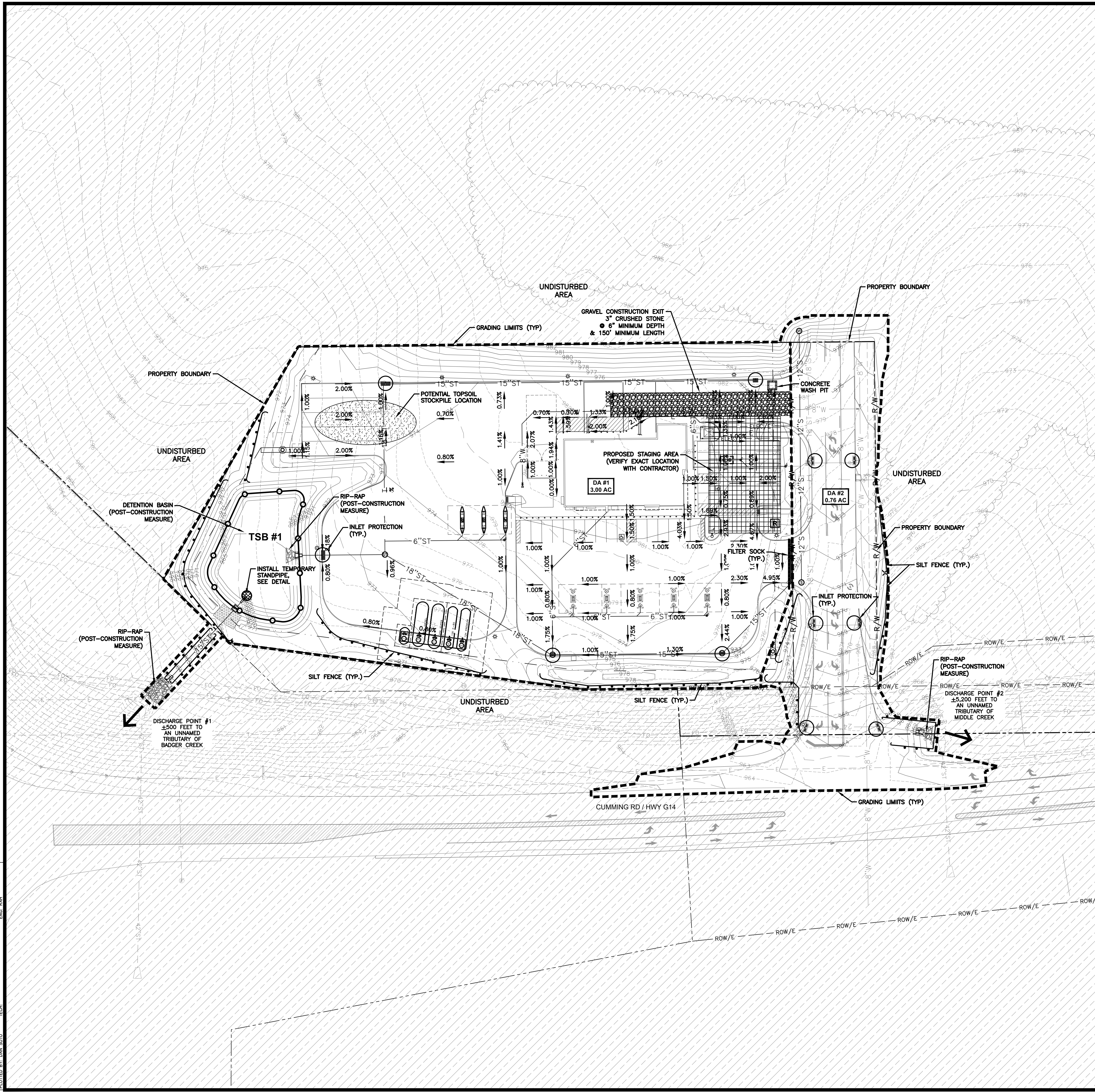
KG PROJECT TEAM:
RDR:
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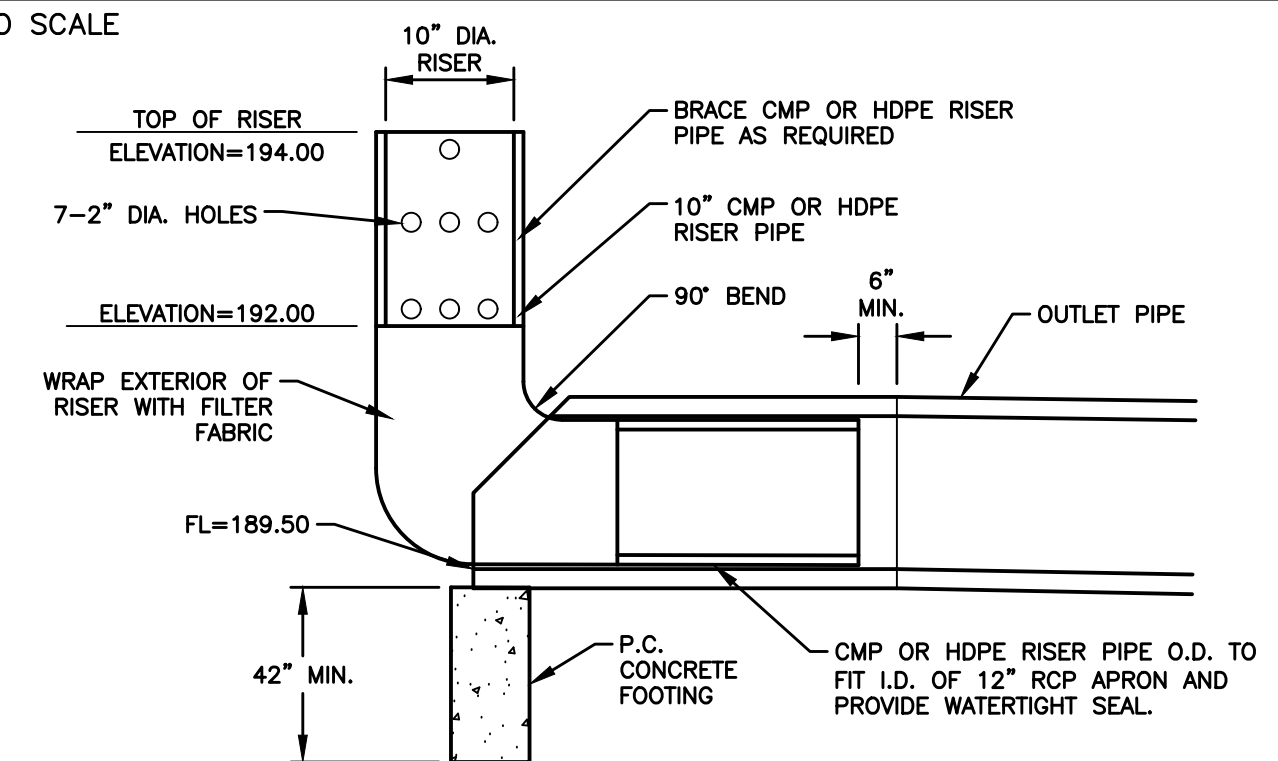
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TEMPORARY STAND PIPE DETAIL

NOT TO SCALE



STABILIZATION QUANTITIES

| ITEM NO. | ITEM | UNIT | TOTAL |
|----------|------------------------------------|------|-------|
| 1 | SILT FENCE | LF | 1,344 |
| 2 | SEEDING, FERTILIZING, AND MULCHING | AC | 1.77 |
| 3 | INLET PROTECTION DEVICES | EA | 11 |
| 4 | CONCRETE WASHOUT PIT | EA | 1 |
| 5 | 10" PVC TEMPORARY STANDPIPE | EA | 1 |
| 6 | FILTER SOCK | LF | 42 |

NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.

DISCHARGE POINT SUMMARY

| DISCHARGE POINT #1 TO AN UNNAMED TRIBUTARY OF BADGER CREEK ±500 FT | 3.00 ACRES |
|--|--------------|
| TOTAL AREA DISTURBED TO DISCHARGE POINT | 10,800 CU FT |
| STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT) | |
| VOLUME PROVIDED IN SILT FENCE (696 LF @ 4.5 CU FT/LF OF FENCE) | 3,132 CU FT |
| VOLUME PROVIDED IN FILTER SOCK (42 LF @ 2.0 CU FT/LF OF SOCK) | 84 CU FT |
| VOLUME PROVIDED IN TSB #1 | 17,966 CU FT |
| TOTAL VOLUME PROVIDED | 21,182 CU FT |
| DISCHARGE POINT #2 TO AN UNNAMED TRIBUTARY OF MIDDLE CREEK ±5,200 FT | 0.76 ACRES |
| TOTAL AREA DISTURBED TO DISCHARGE POINT | 2,736 CU FT |
| STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT) | |
| VOLUME PROVIDED IN SILT FENCE (648 LF @ 4.5 CU FT/LF OF FENCE) | 2,916 CU FT |
| TOTAL VOLUME PROVIDED | 2,916 CU FT |

SWPPP LEGEND

| | | | |
|----------------------|----------|--------------------------|----------|
| DRAINAGE ARROW | X.XX % | AREA TO BE SEEDED | [Symbol] |
| GRADING LIMITS | [Symbol] | UNDISTURBED AREA | [Symbol] |
| FILTER SOCK | [Symbol] | RIP-RAP | [Symbol] |
| SILT FENCE | [Symbol] | GRAVEL ENTRANCE | [Symbol] |
| INLET PROTECTION | [Symbol] | STAGING AREA | [Symbol] |
| PORTABLE RESTROOM | R | TEMPORARY SEDIMENT BASIN | TSB # |
| TEMPORARY STANDPIPE | [Symbol] | | |
| CONCRETE WASHOUT PIT | [Symbol] | | |



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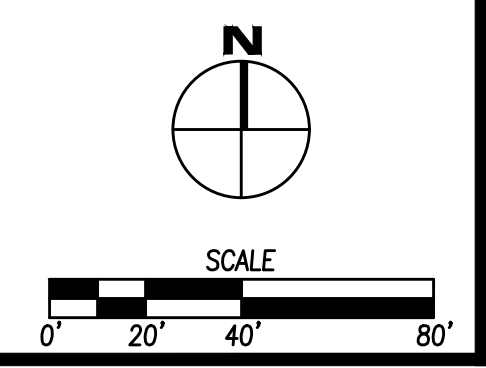
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I-35 & CUMMING AVENUE
EROSION AND SEDIMENT CONTROL PLAN

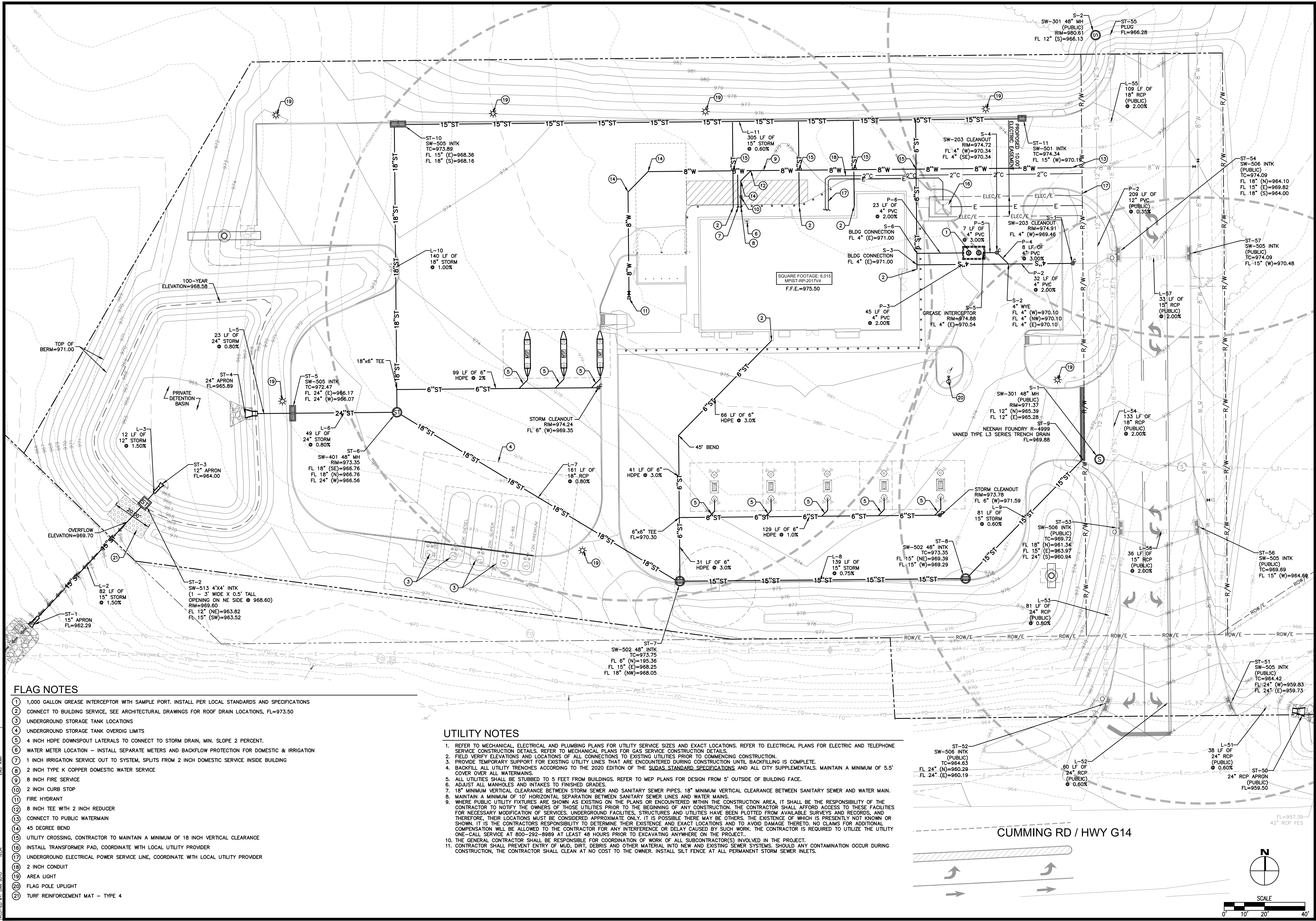
KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

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FILE: H:\2020\2005259\DWG\2005259-SITE.DWG
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 PLOT: 11/30/2020 11:19 AM
 PLOTTER: HP DesignJet T1200

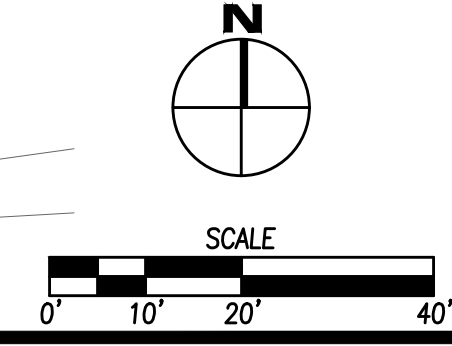


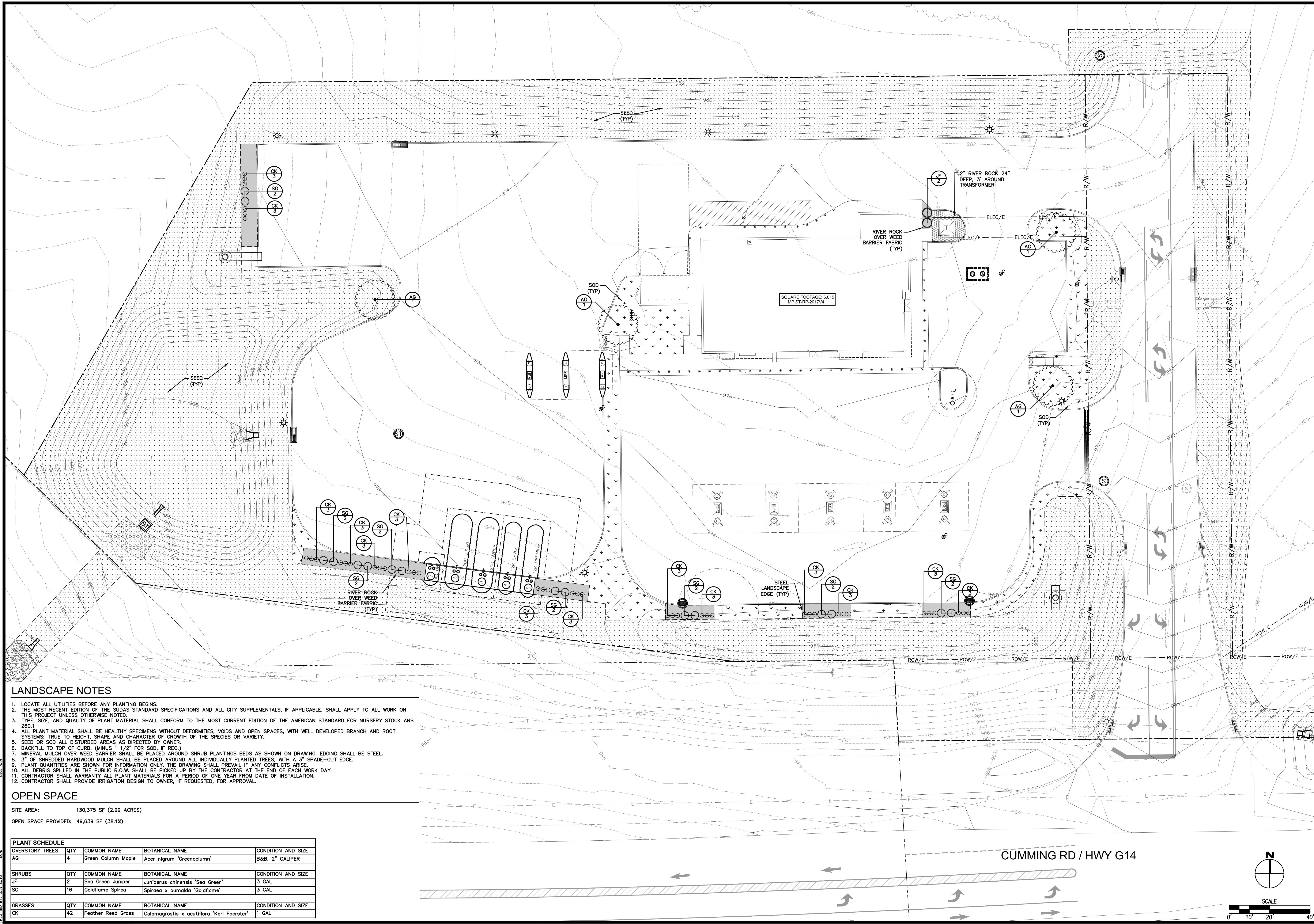


- FLAG NOTES**
- 1,000 GALLON GREASE INTERCEPTOR WITH SAMPLE PORT. INSTALL PER LOCAL STANDARDS AND SPECIFICATIONS
 - CONNECT TO BUILDING SERVICE. SEE ARCHITECTURAL DRAWINGS FOR ROOF DRAIN LOCATIONS, FL=973.50
 - UNDERGROUND STORAGE TANK LOCATIONS
 - UNDERGROUND STORAGE TANK OVERDIG LIMITS
 - 4 INCH HDPE DOWNSPOUT LATERALS TO CONNECT TO STORM DRAIN, MIN. SLOPE 2 PERCENT.
 - WATER METER LOCATION - INSTALL SEPARATE METERS AND BACKFLOW PROTECTION FOR DOMESTIC & IRRIGATION
 - 1 INCH IRRIGATION SERVICE OUT TO SYSTEM, SPLITS FROM 2 INCH DOMESTIC SERVICE INSIDE BUILDING
 - 2 INCH TYPE K COPPER DOMESTIC WATER SERVICE
 - 8 INCH FIRE SERVICE
 - 2 INCH CURB STOP
 - FIRE HYDRANT
 - 8 INCH TEE WITH 2 INCH REDUCER
 - CONNECT TO PUBLIC WATERMAIN
 - 45 DEGREE BEND
 - UTILITY CROSSING, CONTRACTOR TO MAINTAIN A MINIMUM OF 18 INCH VERTICAL CLEARANCE
 - INSTALL TRANSFORMER PAD, COORDINATE WITH LOCAL UTILITY PROVIDER
 - UNDERGROUND ELECTRICAL POWER SERVICE LINE, COORDINATE WITH LOCAL UTILITY PROVIDER
 - 2 INCH CONDUIT
 - AREA LIGHT
 - FLAG POLE UPLIGHT
 - TURF REINFORCEMENT MAT - TYPE 4

- UTILITY NOTES**
1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
 2. FIELD VERIFY ELEVATIONS AND LOCATION OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
 4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2020 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5' COVER OVER ALL WATERMANS.
 5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
 6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
 7. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
 8. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
 9. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
 10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
 11. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS, AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.

FILE: H:\2020\2006259\DWG\2006259-SITE.DWG
 PLOT DATE: 11/30/2020 11:19 AM
 PLOT SCALE: 1"=40'
 PLOT BY: JAM/STO





LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS. TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. MINERAL MULCH OVER WEED BARRIER SHALL BE PLACED AROUND SHRUB PLANTINGS BEDS AS SHOWN ON DRAWING. EDGING SHALL BE STEEL.
8. 3" OF SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL INDIVIDUALLY PLANTED TREES, WITH A 3" SPADE-CUT EDGE.
9. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
10. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
11. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
12. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

OPEN SPACE

SITE AREA: 130,375 SF (2.99 ACRES)
 OPEN SPACE PROVIDED: 49,639 SF (38.1%)

| PLANT SCHEDULE | | | | |
|-----------------|-----|--------------------|---|--------------------|
| OVERSTORY TREES | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE |
| AG | 4 | Green Column Maple | <i>Acer nigrum</i> 'Greencolumn' | B&B, 2" CALIPER |
| SHRUBS | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE |
| JF | 2 | Sea Green Juniper | <i>Juniperus chinensis</i> 'Sea Green' | 3 GAL |
| SG | 16 | Goldflame Spirea | <i>Spiraea x bumalda</i> 'Goldflame' | 3 GAL |
| GRASSES | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE |
| CK | 42 | Feather Reed Grass | <i>Calamagrostis x acutiflora</i> 'Karl Foerster' | 1 GAL |



1459 Grand Avenue
 Des Moines, Iowa 50309
 P: 515-226-0128
 F: 515-223-9873

0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
 LANDSCAPE PLAN

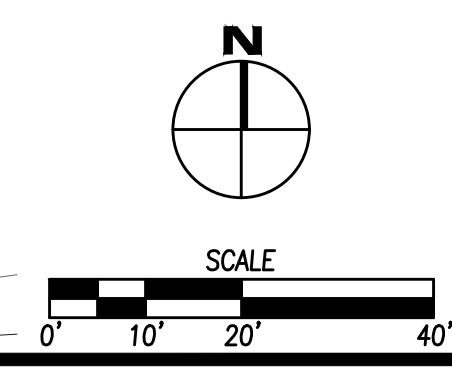
KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

| DATE | REVISION DESCRIPTION |
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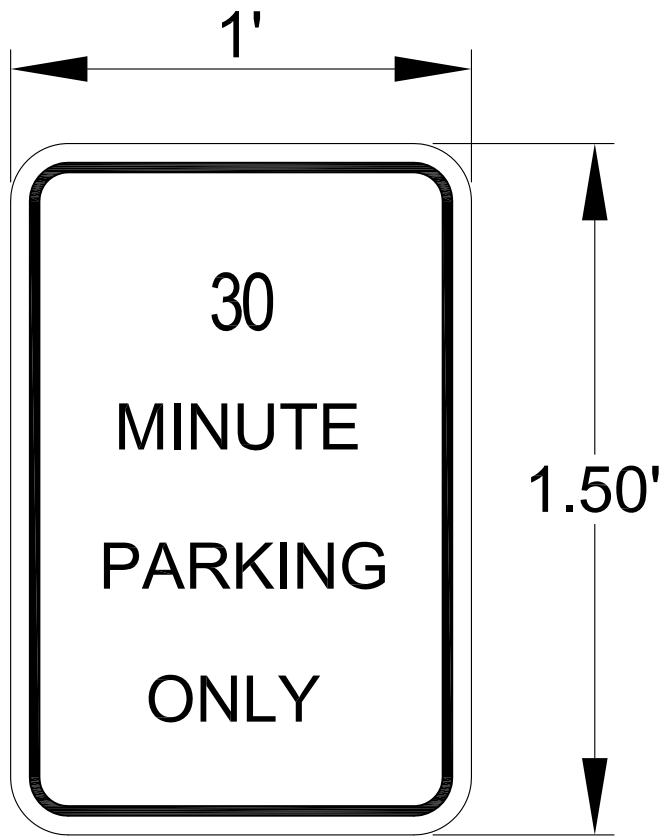
REVISIONS

DATE: 11-30-2020

SHEET NUMBER:
L1.1



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 PLOT DATE: 11/30/2020 11:19 AM
 PLOT BY: JAM/2020





Bob, Angie, and Tony,

Attached are updated building elevations. Elevations have been revised to change the Nichiha fiber cement panels to brick veneer. The trash enclosure has also been updated to match the building materials. We believe this puts the building materials in complete compliance with the ordinance requirements.

Kum & Go has also committed to limiting parking at the truck parking spaces to 30 minutes maximum and signage will be placed accordingly.

Please let me know if you have any other questions.

Keith Weggen, ASLA | *project manager*
CIVIL DESIGN ADVANTAGE LLC

Proposed Building Signage

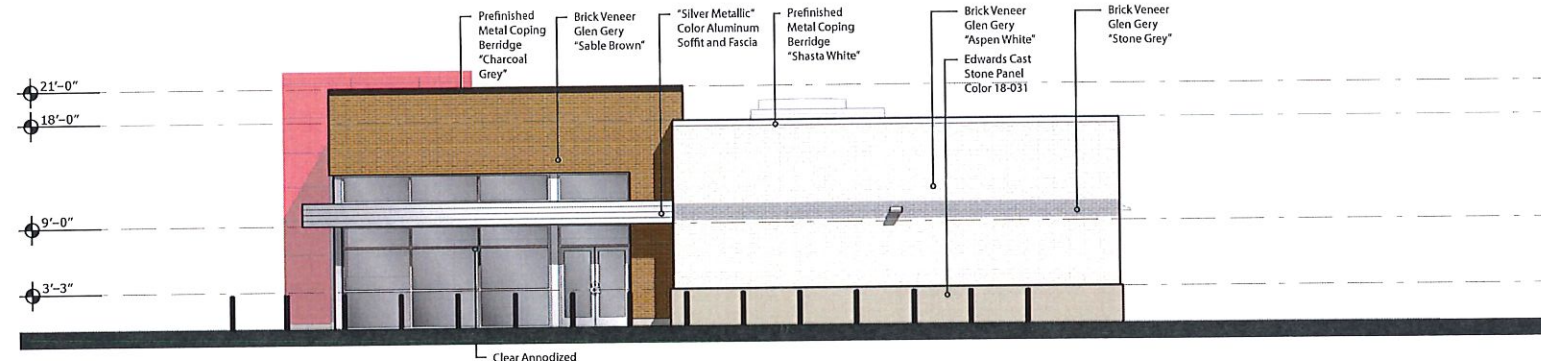
| Location | Sign | Size | Area |
|-----------------|-----------------|----------|---------------|
| South Elevation | "Kum & Go" Sign | 6' x 12' | 57 SF |
| East Elevation | No Signage | — | 0 SF |
| North Elevation | No Signage | — | 0 SF |
| West Elevation | "Kum & Go" Sign | 6' x 12' | 57 SF |
| Total | | | 114 SF |

Proposed Building Glazing

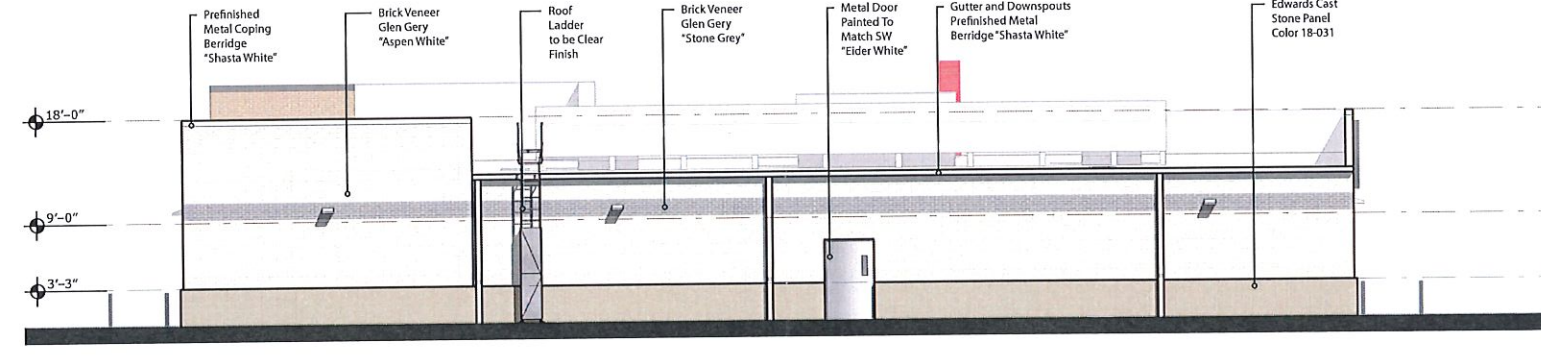
| Location | Overall Wall Area | Glazing Area | % of Elevation |
|-----------------|-------------------|---------------|----------------|
| North Elevation | 1504 SF | — SF | 0% |
| South Elevation | 1982 SF | 602 SF | 30.4% |
| West Elevation | 1019 SF | — SF | 0% |
| East Elevation | 1288 SF | 298 SF | 23.1% |
| Total | 5793 SF | 900 SF | 15.5% |



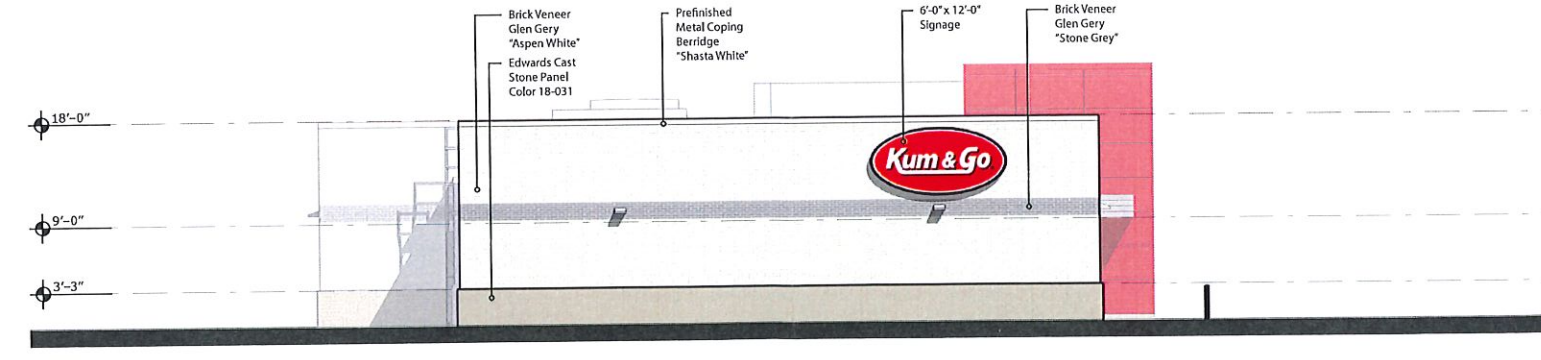
South Elevation
NTS



East Elevation
NTS



North Elevation
NTS



West Elevation
NTS

brr
ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC.
8131 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204
www.brrarch.com
TEL: 913-262-9999
FAX: 913-262-9944



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Des Moines, Iowa
50309
P: 515-457-6247

#0198 - CUMMING, IOWA
1-35 & CUMMING AVENUE
EXTERIOR ELEVATIONS

NO PROJECT TEAM:
RDM
SDM
CPM

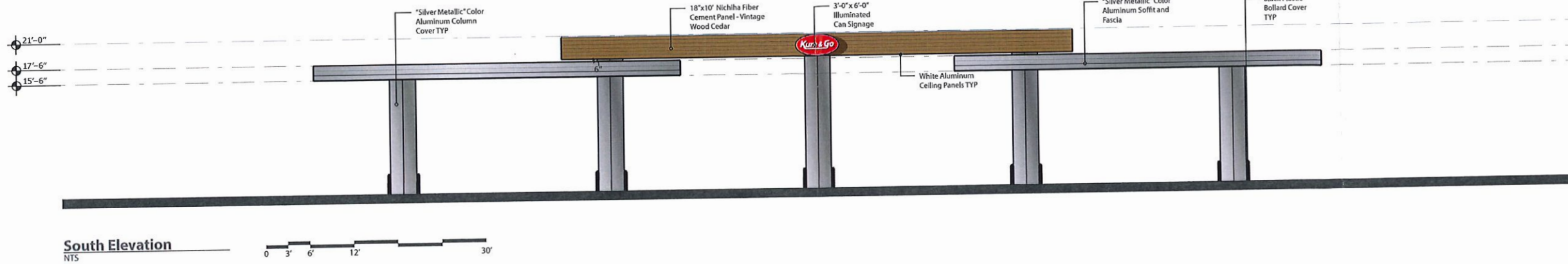
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DATE: 12/07/2020

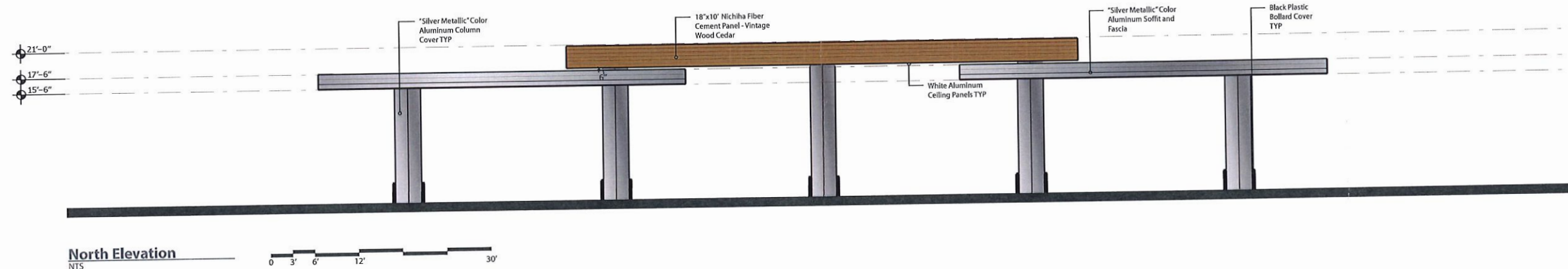
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Proposed Canopy Signage

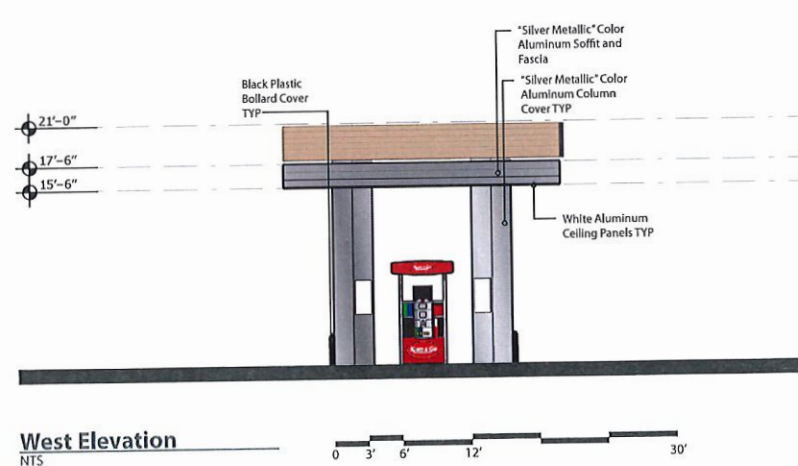
| Location | Sign | Size | Area |
|-----------------|-----------------|--------|--------------|
| South Elevation | "Kum & Go" Sign | 3'x 6' | 14 SF |
| North Elevation | No Signage | — | 0 SF |
| West Elevation | No Signage | — | 0 SF |
| East Elevation | No Signage | — | 0 SF |
| Total | | | 14 SF |



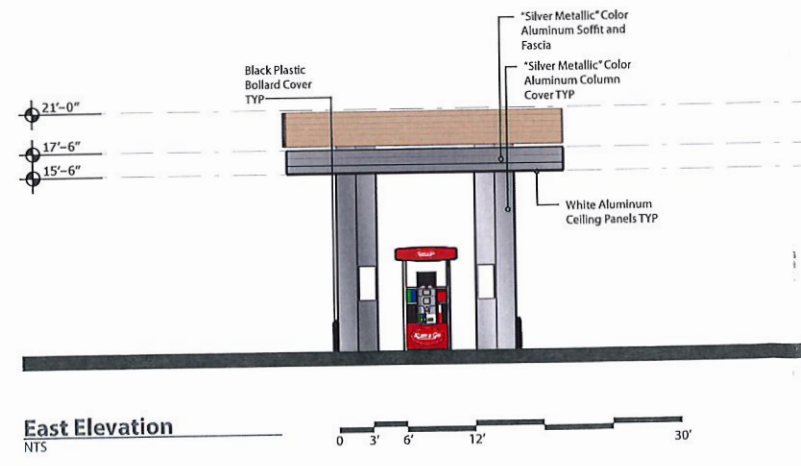
South Elevation
NTS



North Elevation
NTS



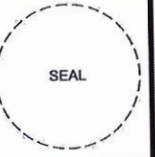
West Elevation
NTS



East Elevation
NTS

brr

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BRR ARCHITECTURE, INC.
813 BEECHCAMP AVENUE
SUITE 300
OVERLAND PARK, KS 66204
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TEL: 913-262-9095
FAX: 913-262-9044



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50309
P:515-457-6247

#0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
CANOPY ELEVATIONS

KG PROJECT TEAM:
RDM:
SOM:
CPI:

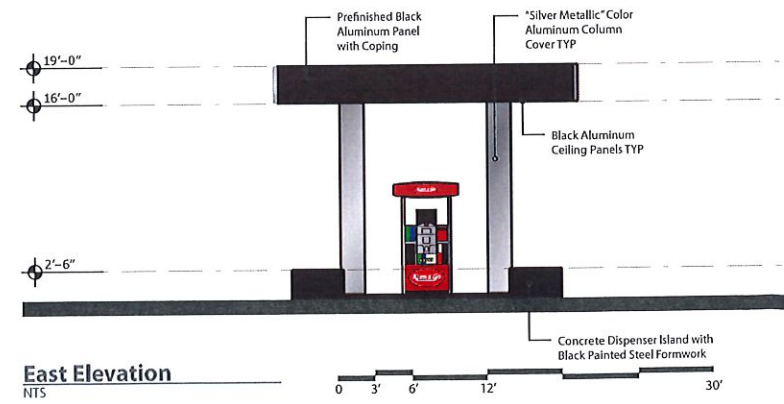
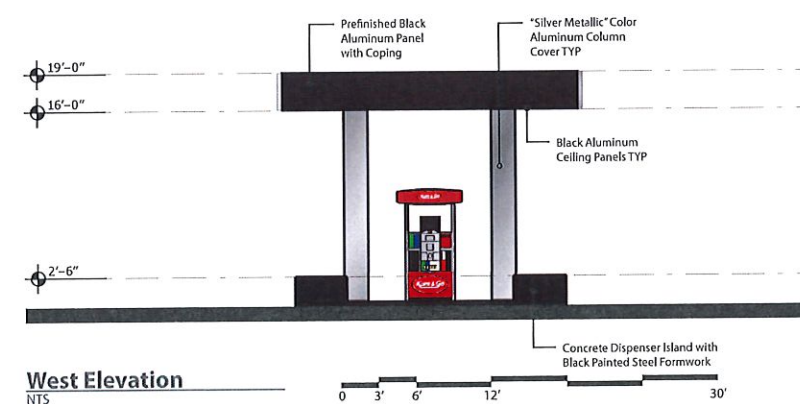
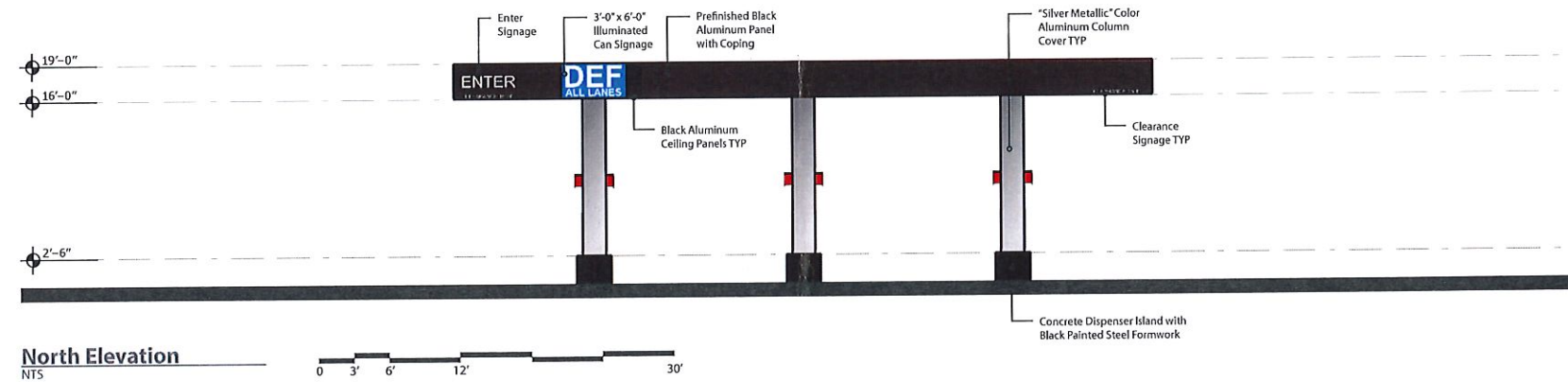
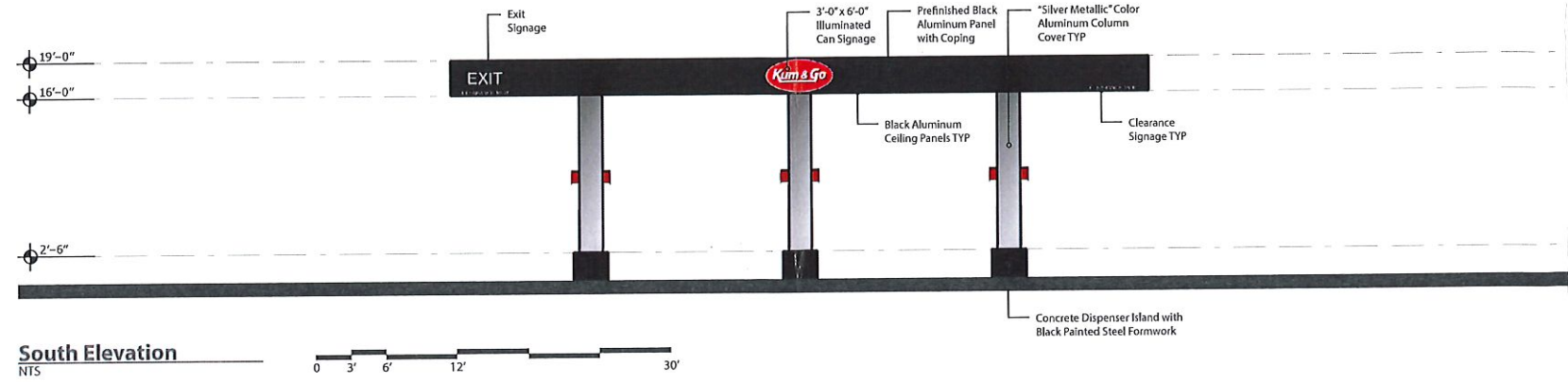
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DATE: 12/07/2020

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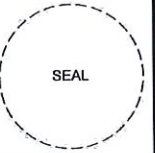
Proposed Canopy Signage

| Location | Sign | Size | Area |
|-----------------|-----------------|---------|--------------|
| South Elevation | "Kum & Go" Sign | 3' x 6' | 18 SF |
| North Elevation | "DEF" Sign | 3' x 6' | 18 SF |
| West Elevation | No Signage | --- | 0 SF |
| East Elevation | No Signage | --- | 0 SF |
| Total | | | 36 SF |



brr

ARCHITECT OF RECORD:
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8111 METCALF AVENUE
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P: 515-457-6247

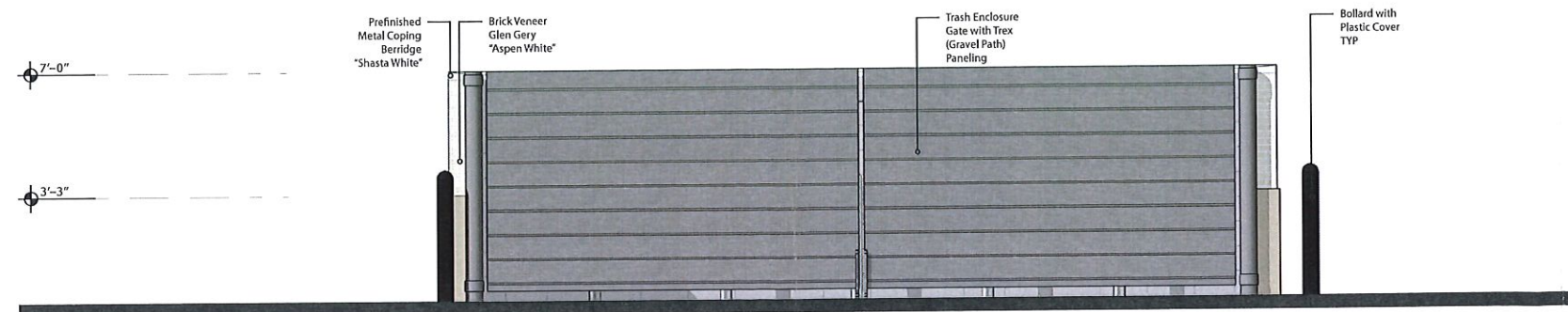
#0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
DIESEL CANOPY ELEVATIONS

KG PROJECT TEAM:
RDM:
SDM:
CPM:

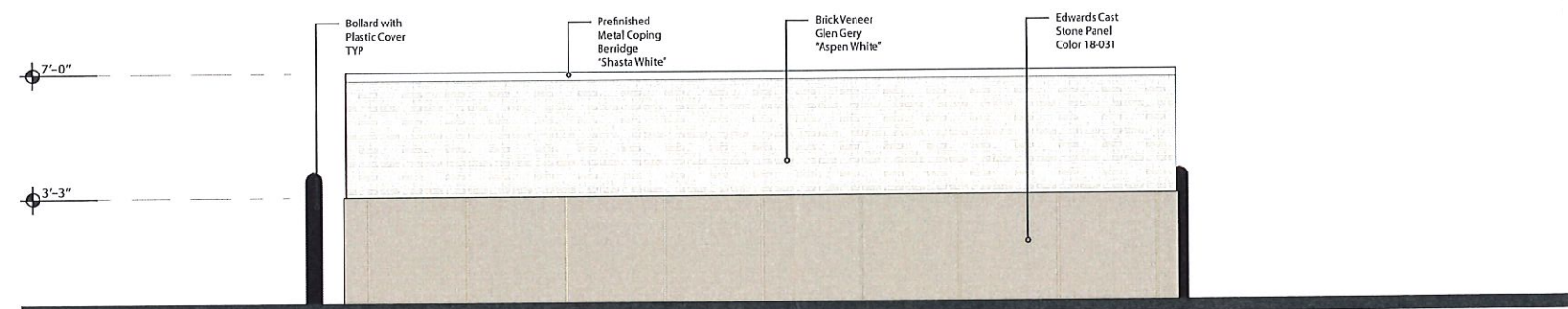
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DATE: 12/07/2020

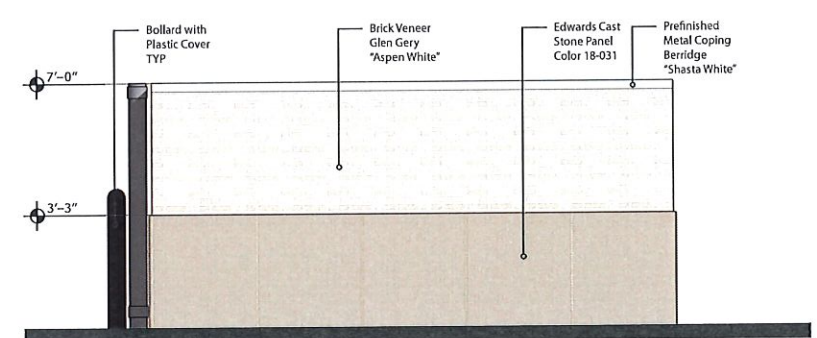
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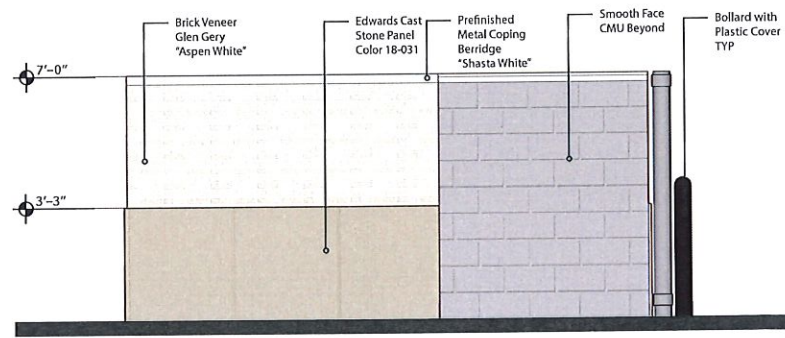
North Elevation
NTS



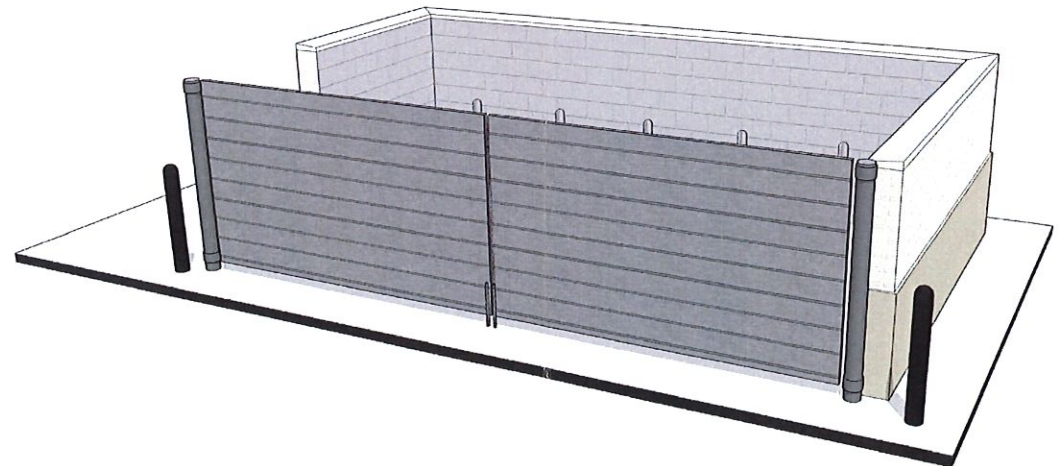
South Elevation
NTS



West Elevation
NTS



East Elevation
NTS



Perspective
NTS

brr

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50309
P:515-457-6247

#0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
TRASH ENCLOSURE ELEVATIONS

KG PROJECT TEAM:
RDM:
SDM:
CPM:

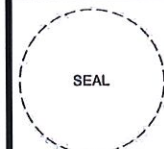
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DATE: 12/07/2020

SHEET NUMBER:

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ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC.
8151 METCALF AVENUE
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TEL: 913-262-9095
FAX: 913-262-9044



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50309
P:515-457-6247

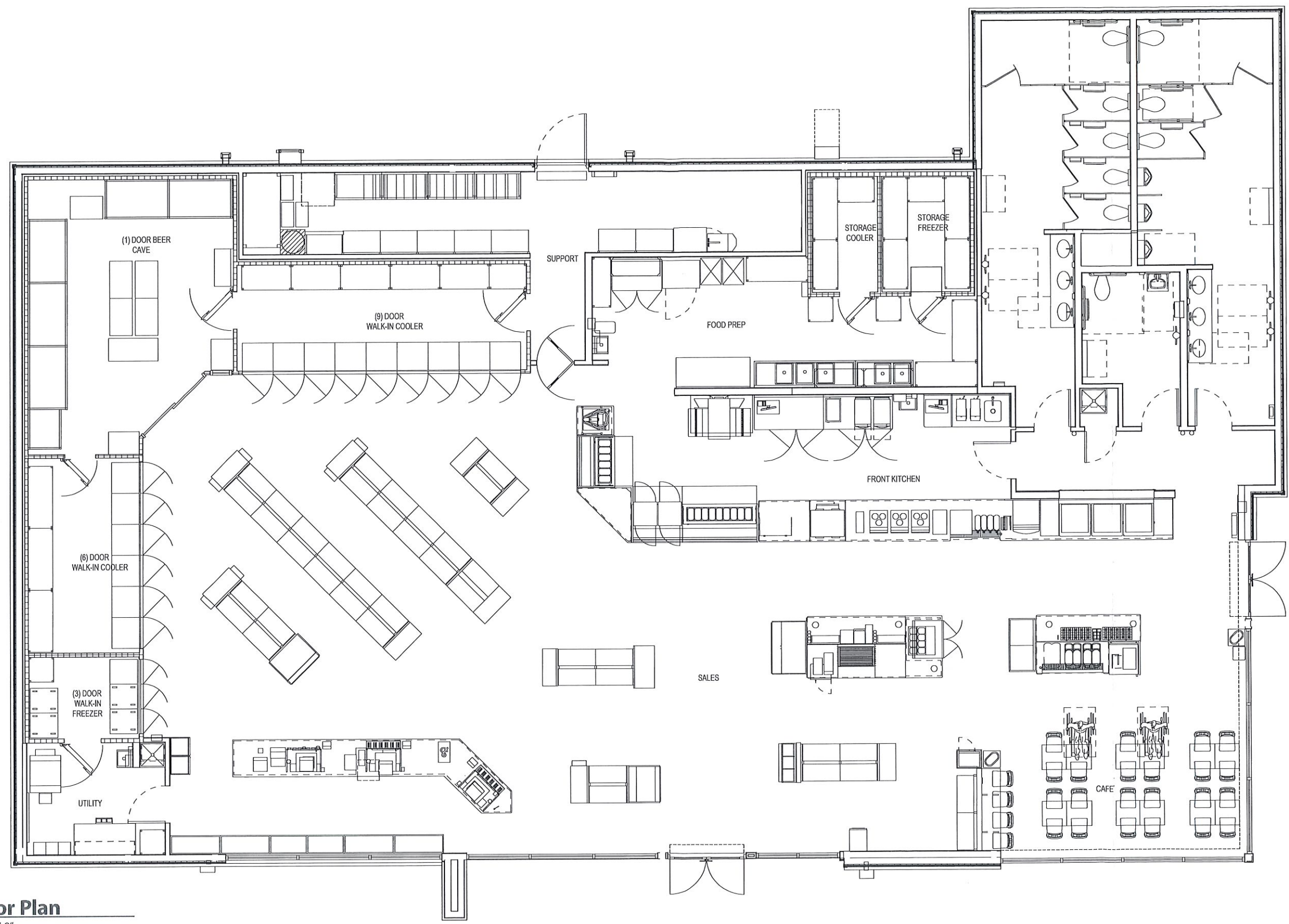
#0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
FLOOR PLAN

KG PROJECT TEAM:
RML
SML
CFL

| REVISION DESCRIPTION | DATE | BY |
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| | | |

DATE: 12/07/2020

SHEET NUMBER:



Floor Plan
1/4" = 1'-0"

To: Mayor and Council
From: City Administrator
Re: Addressing Concerns
Date: December 9, 2020

As you may recall, at the November 23 Council Meeting, the Council requested that City Staff provide a report pertaining to the Public Comments that they received at that the Council Meeting. See below:

Transparency – During the November 23, 2020 Public Comments, there were many concerns expressed as to why residents were not made aware of a truck stop coming to the area and simply put, because there is not. The proposed gas station is not a truck stop. It is indeed a gas station where trucks, cars, vans, RV's, busses, and any other vehicles propelled by fuel are welcome. It is an equal opportunity fueling station.

Under chapter 165.05, Section 151 of the Zoning Code, the definition of what constitutes a **"Truck Stop"** – means a service station which is designed principally for the servicing and temporary parking of trucks. The proposed Kum & Go does not fit that definition.

Also, under chapter 165.05, Section 64 of the Zoning Code, the definition of what constitutes a **"Gas or service station"** – means any building or premises used for the retail sale of liquefied petroleum products for the propulsion of motor vehicles, and including such products as kerosene, fuel oil, gasoline and diesel fuel.

Chapter 165.18 **"C-1 Highway Commercial District Regulations"** describes the allowable uses for the property in question. Chapter 165.18 Section 1B (6), Gas Stations or Service Stations are an allowed use. Furthermore, chapter 165.18 Section 1B (16) states that any use which is found by the Zoning Administrator to be a use similar to one of the above named uses, and in his/her opinion, conforms to the intent to this section. As the Zoning Administrator, it was deemed that the "Gas or Service Station" met the intent. Our City Attorney also at the same opinion.

Additionally, there are **no** amenities which are universally accepted as meeting the criteria for a truck stop such as: showers, overnight or long-term parking, restaurants and entertainment available on site. For those reasons, as well as those defined by our code, the proposed Kum & Go is not defined as anything other than a gas station.

It is important to point out that the Future Land Use Map shows this site to be Highway Commercial (C-1). This map was approved by both the P&Z and the City Council in 2015. You can find this map, along with the up-to-date zoning map on the City's website.

Crime/Safety – A concern of public safety with a possible increase of crime was expressed. I have recently reached out to 2 local Police Chiefs to get their opinion on whether or not the current proposal for the gas station would cause them concerns in regards to crime or safety.

They both stated they would not have any major concerns. I also confirmed that should an event occur, in the addition to the Warren County Sheriff, the Highway Patrol and Norwalk Police Department could respond as well.

Safety of bikes - Staff understands that a lot of bike riders come through Cumming. Some time in the near future, improvements will be made to Highway G-14. We would look to see if a trail could be added at that time.

Decrease of valuation – The concern that homeowners would see their home valuations decrease should the Kum & Go station locate here. I contacted the Warren County Assessor's Office on this item. They stated that the Kum & Go station would have no effect on residential valuations. Under state law, the Assessor determines the value of a home based on the surrounding residential home sales.

Noise Pollution – The topic of the noise because of the semi-trucks was brought up during the Public Comments. Chapter 69.09 (2) reads as follows:

2. Noise. No such vehicle shall be left standing or parked upon any street, public or private parking lot, or drive of any service station between the hours of ten o'clock (10:00) p.m. and six o'clock (6:00) a.m. with the engine, auxiliary engine, air compressor, refrigerating equipment or other device in operation giving off audible sounds excepting only the drive of a service station when actually being serviced, and then in no event for more than thirty (30) minutes

Light Pollution It is staff's intention to have this item as part of the site plan for Kum & Go. This would allow staff to work with them to minimize the impact.

No Overnight parking – Kum & Go has agreed to add the no overnight parking sign as part of the site plan.

Expansion – The topic of expansion to the site was brought up during Public Comments. Kum & Go has already stated that they have no plans nor room to expand their operations.

Procedures for Rezoning – In future rezoning, the City will post a sign on the land that has requested the change. The sign will state the time and date of when the City Council will hold the hearing on.

Wording on the Agenda – Add addresses to plat names on the agenda. Staff was made aware that plat names are too vague. In order to address this, we are going to add the address of where the plat is located. If an address has not yet been assigned, a location description will be provided.

Size of Signs – See the response from the City Attorney attached

Request from Mr. Ms. Holzworth, to their questions and our response to be available to the Mayor and Council as well as the public. We have enclosed the City Attorney's response to them as part of this memo.

**SKINNER
LAW OFFICE**
A PROFESSIONAL CORPORATION

ATTORNEYS AT LAW
ED SKINNER (1936-2015)
R. BRADLEY SKINNER
CAMERON K. WRIGHT

160 ADVENTURELAND DRIVE NW, STE B
P.O. BOX 367
ALTOONA, IOWA 50009
T: (515) 967-4264
F: (515) 967-6486

December 8, 2020

Via Email: holzworthlaw@aol.com

Michael P. Holzworth
Katherine Holzworth
2280 20th Ave.
Cumming, IA 50061

RE: Proposed Kum & Go Site Plan

Dear Mr. and Ms. Holzworth:

Be advised that this office is the city attorney for the City of Cumming, Iowa. I am writing in response to your letter dated November 23, 2020, and Mr. Holzworth's email dated December 2, 2020. First, I will answer your numbered questions from the November 23 letter.

1. The property that is the subject of the site plan proposal that has been submitted to the City was re-zoned to C-1.
2. Yes, the current owners and the proposed purchasers are asking that the City approve the site plan.
3. The City has no knowledge regarding who is paying for the infrastructure for the Kum & Go project. The City is not providing any financial support for the infrastructure.
4. No, there is no development agreement between the City and Kum & Go.
5. The City is unaware of a development agreement between Kum & Go and Warren County.
6. There have been no T.I.F. dollars requested for the Kum & Go project.
7. The City is unaware of any R.I.S.E. grant dollars being used for the Kum & Go project.
8. The City is not providing financial incentives for the Kum & Go project.

Next, I will attempt to answer your questions and requests for documents contained in the December 2 email. I have attached hereto the notices that were sent to landowners within 200 feet of the property that was re-zoned to C-1 and the notice that was published in the newspaper. I have also attached a Development Agreement entered into between KC Real Estate, LC and the City. The Development Agreement contains the information you requested regarding the sewer line that services the property.

Michael P. Holzworth
Katherine Holzworth
December 8, 2020
Page 2

You stated that it is your understanding that Kum & Go has purchased 10 acres in the City of Cumming. The City has no knowledge regarding the veracity of your statement. The City received a site plan for 2.9 acres.

The owner of the subject property, KC Real Estate, LC, asked that the City review its sign regulations and asked that the City consider allowing pole signs in the interstate corridor that could be as tall as 100 feet. The Planning and Zoning Commission reviewed the City's sign regulations and recommended to the City Council that no changes be made. The City Council concurred, and no changes were made. The City's sign regulations can be found in Chapter 167 of the City's Code of Ordinances, which is available on the City's website – cumming.iowa.gov. All pole signs are currently prohibited by the City's Code of Ordinances.

You have requested that the issues raised in your November 23 letter and the issues raised in your December 2 email be made available to the City Council and other interested individuals. In order to provide transparency to all interested parties, the City will include this letter, along with your November 23 letter and your December 2 email in the City Council packet for the December 13, 2020, City Council meeting.

If you have any questions, please give me a call.

Sincerely yours,



Cameron K. Wright

CKW/th
Enclosures
C City of Cumming

NOTICE OF PUBLIC HEARING CITY OF CUMMING

TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF CUMMING, IOWA BY REZONING CERTAIN PROPERTY WITHIN THE CITY LIMITS

Notice is hereby given that the City Council of the City of Cumming, Iowa, will conduct a public hearing on Monday, September 28, 2020, 7:00 P.M. at the Cumming City Hall, 649 N. 44th Street, Cumming, Iowa, to receive comments on the following:

Amend the official zoning map of the City of Cumming, Iowa, by rezoning certain property within the city limits from A-1 Agriculture District to C-1 Highway Commercial District described as follows:

A PARCEL OF LAND IN THE SE 1/4 OF SECTION 7, TOWNSHIP 77 NORTH, RANGE 25 WEST OF THE 5TH P.M., WARREN COUNTY, IOWA THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AS A POINT OF REFERENCE AT THE SE CORNER OF SAID SECTION 7; THENCE S89°28'10"W, 724.78 FEET ALONG THE SOUTH LINE OF SAID SE 1/4 TO THE POINT OF BEGINNING; THENCE CONTINUING S89°28'10"W, 696.72 FEET ALONG SAID SOUTH LINE TO THE SE CORNER OF TRACT 'A' AS DEFINED IN THE WARRANTY DEED AND ACQUISITION PLAT RECORDED IN BOOK 2012, PAGE 8767 AT THE WARREN COUNTY RECORDER'S OFFICE; THENCE N03°28'00"W, 40.05 FEET ALONG THE EAST LINE OF SAID TRACT 'A' TO THE NE CORNER OF SAID TRACT 'A'; THENCE S89°28'10"W, 78.56 FEET ALONG THE NORTH LINE OF SAID TRACT 'A' TO A POINT; THENCE N82°31'51"W, 297.94 FEET ALONG SAID NORTH LINE TO THE NW CORNER OF SAID TRACT 'A', SAID NW CORNER ALSO BEING ON THE EAST RIGHT OF WAY LINE OF US INTERSTATE I-35 AS PRESENTLY ESTABLISHED; THENCE N45°52'51"W, 77.59 FEET ALONG SAID EAST RIGHT OR WAY LINE TO A POINT; THENCE N30°10'37"E, 223.32 FEET TO A POINT; THENCE N89°28'10"E, 1013.53 FEET ALONG A LINE THAT IS PARALLEL TO THE SOUTH LINE OF SAID SE 1/4 TO A POINT; THENCE S00°31'50"E, 328.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 7.62 ACRES MORE OR LESS INCLUDING 1.16 ACRES OF PUBLIC RIGHT OF WAY EASEMENT.

Additional information regarding this request may be obtained by contacting the Deputy Clerk at 981-9214.

Anyone wishing to comment on this request should attend this hearing or submit written comments at any time prior to the hearing. Send comments to City of Cumming, P.O. Box 100, Cumming, IA. 50061.

NOTICE OF PUBLIC HEARING
CITY OF CUMMING

TO AMEND THE OFFICIAL ZONING MAP

OF THE CITY OF CUMMING, IOWA BY REZONING CERTAIN PROPERTY WITHIN THE CITY LIMITS

Notice is hereby given that the City Council of the City of Cumming, Iowa, will conduct a public hearing on Monday, September 28, 2020, 7:00 P.M. at the Cumming City Hall, 649 N. 44th Street, Cumming, Iowa, to receive comments on the following: Amend the official zoning map of the City of Cumming, Iowa, by rezoning certain property within the city limits from A-1 Agriculture District to C-1 Highway Commercial District described as follows:

A PARCEL OF LAND IN THE SE 1/4 OF SECTION 7, TOWNSHIP 77 NORTH, RANGE 25 WEST OF THE 5TH P.M., WARREN COUNTY, IOWA THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AS A POINT OF REFERENCE AT THE SE CORNER OF SAID SECTION 7; THENCE S89°28'10"W, 724.78 FEET ALONG THE SOUTH LINE OF SAID SE 1/4 TO THE POINT OF BEGINNING; THENCE CONTINUING S89°28'10"W, 696.72 FEET ALONG SAID SOUTH LINE TO THE SE CORNER OF TRACT 'A' AS DEFINED IN THE WARRANTY DEED AND ACQUISITION PLAT RECORDED IN BOOK 2012, PAGE 8767 AT THE WARREN COUNTY RECORDER'S OFFICE; THENCE N03°28'00"W, 40.05 FEET ALONG THE EAST LINE OF SAID TRACT 'A' TO THE NE CORNER OF SAID TRACT 'A'; THENCE S89°28'10"W, 78.56 FEET ALONG THE NORTH LINE OF SAID TRACT 'A' TO A POINT; THENCE N82°31'51"W, 297.94 FEET ALONG SAID NORTH LINE TO THE NW CORNER OF SAID TRACT 'A', SAID NW CORNER ALSO BEING ON THE EAST RIGHT OF WAY LINE OF US INTERSTATE I-35 AS PRESENTLY ESTABLISHED; THENCE N45°52'51"W, 77.59 FEET ALONG SAID EAST RIGHT OF WAY LINE TO A POINT; THENCE N30°10'37"E, 223.32 FEET TO A POINT; THENCE N89°28'10"E, 1013.53 FEET ALONG A LINE THAT IS PARALLEL TO THE SOUTH LINE OF SAID SE 1/4 TO A POINT; THENCE S00°31'50"E, 328.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 7.62 ACRES MORE OR LESS INCLUDING 1.16 ACRES OF PUBLIC RIGHT OF WAY EASEMENT.

Additional information regarding this request may be obtained by contacting the Deputy Clerk at 981-9214. Anyone wishing to comment on this request should attend this hearing or submit written comments at any time prior to the hearing. Send comments to City of Cumming, P.O. Box 100, Cumming, IA. 50061.

City of Cumming
PO Box 100
Cumming, IA. 50061
515-981-9412

August 25, 2020

This notice is being sent to you as a party that has been identified as an owner of property lying near a portion of property included in this proposed rezoning.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Cumming City Council on the 14th day of September, 2020, at 7:00 P.M. at City Hall, 649 N. 44th Street, Cumming, Iowa. Said hearing is in regard to rezoning a property in the City of Cumming from A-1 Agriculture District to C-1 Highway Commercial District. The property description is described as follows:

A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND A PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, ALL IN SECTION 7, TOWNSHIP 77 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF CUMMING, WARREN COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 7; THENCE NORTH 89°28'07" EAST ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, 915.66 FEET TO THE SOUTHWEST CORNER OF TRACT 'A' AS SHOWN ON THE IOWA DEPARTMENT OF TRANSPORTATION ACQUISITION PLAT RECORDED IN BOOK 2012, PAGE 5962; THENCE NORTH 00°15'20" EAST ALONG THE WEST LINE OF SAID TRACT 'A', 40.00 FEET; THENCE NORTH 46°06'53" WEST CONTINUING ALONG SAID WEST LINE, 59.17 FEET TO THE POINT OF BEGINNING; THENCE NORTH 45°54'18" WEST, 76.74 FEET; THENCE NORTH 30°10'37" EAST, 224.05 FEET; THENCE NORTH 89°28'07" EAST, 480.83 FEET; THENCE SOUTH 00°31'53" EAST, 327.95 FEET TO THE SOUTH LINE OF SAID SOUTHEAST QUARTER; THENCE SOUTH 89°28'07" WEST ALONG SAID SOUTH LINE, 70.00 FEET; THENCE NORTH 00°31'53" WEST, 40.00 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF HIGHWAY G14/CUMMING AVENUE; THENCE SOUTH 89°28'07" WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE, 175.70 FEET; THENCE NORTH 82°32'22" WEST CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE, 297.82 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.52 ACRES (153,340 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

A copy of the proposed ordinance is posted at the Cumming Post Office, The Cumming Tap and Cumming City Hall.

Additional information regarding this rezoning may be obtained by contacting the City Clerk at 981-9214. Anyone wishing to comment on this matter should attend this hearing or submit written comments on or before the time of the hearing. Send comments to City of Cumming, PO Box 100, Cumming, IA, 50061.

Angie Ritchie
Deputy Clerk

**Resolution 2020-34
City of Cumming**


K.C. Real Estate, L.C. Development Agreement

WHEREAS, K.C. Real Estate, L.C., is the owner of certain real property in the City of Cumming, Iowa, that does not currently have access to public sanitary sewer; and

WHEREAS, the City Council finds that it is in the best interest of the City to enter into an agreement with K.C. Real Estate, L.C., to facilitate the expansion of public sanitary sewer services in the City of Cumming to currently unserved areas, including the property owned by K.C. Real Estate, L.C., under the terms in the attached development agreement; and

NOW THEREFORE BE IT RESOLVED: That the attached development agreement with K.C. Real Estate, L.C. is hereby approved.

PASSED AND APPROVED this 11th day of May, 2020.



Tom Becker, Mayor

ATTEST:



Angie Ritchie, Deputy Clerk

DEVELOPMENT AGREEMENT

This Agreement is entered into between the City of Cumming, Iowa (the "City"), and KC Real Estate, L.C. ("Developer") as of the 11th day of May, 2020 (the "Commencement Date").

WHEREAS, Developer is considering development of an approximate 137.7-acre parcel of property, located in the Southeast Quarter of Section 7, Township 77 North Range 25 West of the 5th P.M. (the "Property"). A map of the property is attached hereto as Exhibit A and incorporated herein; and

WHEREAS, the Property does not currently have access to public sanitary sewer. In order to provide sanitary sewer service to part of the Property and surrounding properties a new sanitary sewer main needs to be constructed from an existing main approximately 4,100 feet east of the Property. A new sanitary sewer main would not only provide sewer service to approximately 84 acres of the Property, but would also provide potential sewer service to other areas south and east of the Property; and

WHEREAS, sewer service to the remaining north 53.7 acres of the Property as shown in Exhibit A would require another sewer extension from the existing sanitary sewer along Middle Creek; and

WHEREAS, in recognition of the need for sanitary sewer service in the area, the City has previously established a benefited sanitary sewer district to help recover the cost of extension of a major trunk sewer to the area within the district, including the Property. These connection fees received, upon development, from property owners in the benefited district are for reimbursement of the City for the City's expenses arising from necessary construction of major sewer facilities; and

WHEREAS, the City does not have current plans to construct the sanitary sewer improvements to provide service to the Property in the near future; and

WHEREAS, pursuant to this Agreement, for the purpose of accelerating the timeline for sanitary sewer installation, the Developer has agreed to initially fund part of the necessary sanitary sewer improvements (the "Improvements") to provide sanitary sewer service to approximately 84 acres of the Property. Exhibit A shows the approximate location of the Improvements, and the approximate sewer service area provided to the Property. Exhibit B attached hereto and incorporated herein by reference shows the estimated costs of the Improvements.

WHEREAS, no provision of this Agreement shall be construed as an incentive to develop in the benefited sewer district.

NOW, THEREFORE, in consideration of the mutual obligations contained in this Agreement, the parties hereto agree as follows:

1. The City shall pay for 58.5% of the Improvements as described in Exhibit B. The Developer shall pay for 41.5% the Improvements as described in Exhibit B. References hereinafter to specific costs made part of the Improvements, paid in part by the City and in part by the Developer, shall be at the percentages stated above.
2. The design and construction of the Improvements shall be by the City Engineer as a public improvement project in accordance with the Code of Ordinances of the City and the City's standard specifications. The design of the Improvements may be reviewed by the Developer prior to bidding.
3. The City shall contract under separate agreement for engineering design and construction services for the Improvements. The cost for said engineering services shall be made part of the cost of the Improvements paid in part by the City and in part by the Developer. The cost share for both parties for said engineering services shall be due at the time the costs are incurred by the City.
4. The City shall assist with preparing and procuring voluntary easements from landholders along the proposed sanitary sewer main. The City cannot guarantee easements will be obtained. Payment for preparation of said easements shall be made part of the cost of the Improvements paid in part by the City and in part by the Developer. Payment to landholders for acquisition of said easements shall be approved by the City and made part of the cost of the Improvements paid in part by the City and in part by the Developer. In recognition of the value of the Improvements to the Developer, the Developer hereby agrees to donate to the City any easements for the Improvements that are deemed necessary on the Developer's Property. Notwithstanding anything to the contrary contained herein, Developer shall have three (3) business days after its receipt of a revised Exhibit B showing the cost of the Improvements, including any payments to landholders for acquisition of said easements, to terminate this Agreement if the Developer, in its sole discretion believes that the additional costs related the acquisition of the easements is material and makes the estimated costs of the Improvements too expensive for the Developer's intended use of the Property. City shall not allow landowners to execute any documents related to the acquisition of said easements until the revised cost of the Improvements has been approved by the Developer.
5. The City shall advertise for bids and hold a public bid letting for the Improvements. The City's engineer shall prepare a tabulation of bids and recommendation for award of contract for the Improvements to the City and the Developer. The Developer shall provide concurrence of award in writing prior to award of contract by the City for the construction of the Improvements.
6. The City shall require the successful bidder to execute a contract with the City and to provide a Performance, Payment and 4-year Maintenance Bond on the City's standard contract and bond forms. Award of contract and approval of contract and bond for the Improvements is subject to approval by the City Council.
7. Upon written Notice to Proceed to the contractor for the Improvements, the City Engineer shall hold a preconstruction conference which the Developer may attend.
8. The City shall receive monthly partial payment requests from the contractor for the Improvements completed to date. Upon approval of partial payment requests by the City Council, the City shall invoice the Developer for their cost share of the completed

Improvements. Payment from the Developer for said invoices for partial payments to the contractor for the Improvements shall be due to the City within 30 days.


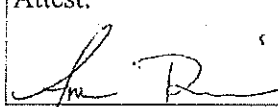
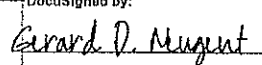
9. The Developer agrees, subject to the provisions herein, to pay the City an amount equal to 41.5% of the total final costs for the Improvements including necessary change orders during construction, provided, however, that such change orders shall be presented to the Developer for its review and consent, which consent shall not be unreasonably withheld, conditioned, or delayed. All payments made by or on behalf of the Developer pursuant to this agreement shall be due as costs are incurred by the City.
10. Upon completion of construction, the City Engineer will provide a certificate of completion to the City and the Developer indicating the final cost of construction of the Improvements. The City Engineer will provide a summary of the total costs of the Improvements including engineering, easements, construction, etc. and the total cost breakdown between the City and the Developer. Any and all outstanding payments or invoices due to the City shall be paid prior to use of the Improvements by the Developer.
11. Upon development of any part of the first 84 acres of the Property within the sewer service area of the Improvements as shown in Exhibit A, and upon acceptance by the City, the City shall waive the required payment for connection fee to the Developer pursuant to the benefited sewer district described in Chapter 101 of the Cumming City Code. The waiver of connection fee shall also apply to any future development of the first 84 acres of the Property within the sewer service area of the Improvements as shown in Exhibit A. Development of any of the Property after the first 84 acres, even if the additional Property is determined to be serviceable by the Improvements, shall be subject to the applicable fees in Chapter 101 of the Cumming City Code. Development of any of the remaining 53.7 acres of the Property outside of the sewer service area of the Improvements as shown and described in Exhibit A may be subject to future connection fees established as provided for in Chapter 101 of the Cumming City Code. Connection fees for the South Service Area Sanitary Sewer Connection Fee District for the next four years are shown in the table below.

| Effective Date | Connection Fee (per acre) |
|----------------|---------------------------|
| July 1, 2019 | \$4,575 |
| July 1, 2020 | \$4,665 |
| July 1, 2021 | \$4,755 |
| July 1, 2022 | \$4,845 |

12. The preliminary estimated cost of the Improvements is approximately \$942,000. The preliminary estimated cost for Developer's share of the Improvements is approximately \$391,000. On July 1, 2020, the connection fee cost for development within the benefited sewer district established for the Property will be \$4,665/Acre. Development of the entire 84 acres of the Property within the sewer service area of the Improvements at the July 1, 2020 rate would result in a connection fee cost of \$391,860. It is agreed by both parties that the waiver of connection fee for the first 84 acres of the Property within the sewer service area of the Improvements is not an incentive for development, but a recognition of the cost incurred by the Developer for a part of the cost of the major sanitary sewer facilities serving the benefited district.

13. The waiver of connection fee shall be for the first 84 acres of the Property served by the Improvements and shall not be applied to any more or any less acres, or any other property owned or acquired by the Developer within the service area of the Improvements without amendment to this Agreement by both parties.
14. The estimated substantial completion date of the Improvements is August 1, 2020.
15. In any proceeding or controversy associated with or arising out of this Agreement or a claimed or actual breach hereof, the prevailing party shall be entitled to recover from the other party as a part of the prevailing party's costs, such party's actual attorneys' and other professionals' fees and court costs. The award for legal expenses shall not be computed in accordance with any court schedule, but shall be as necessary to fully reimburse all attorneys' and other professionals' fees and other expenses actually incurred in good faith, regardless of the size of the judgment, it being the intention of the parties to fully compensate the prevailing party for all the attorneys' and other professionals' fees and other expenses paid in good faith. Should the City not complete its obligations hereunder, Developer shall have the right, at Developer's sole and absolute discretion, to complete the Improvements and any costs that should be paid by the City shall be a part of the damages suffered by the Developer as provided hereunder.
16. This Agreement shall inure to the benefit of and be binding upon the successors and assigns of the parties, but may not be assigned by the Developer without the express written permission of the City; provided, however, that Developer may assign its rights under this Agreement and the related purchase agreement to a wholly-owned or commonly controlled affiliated entity, subject to the prior written consent of the City, which consent shall not be unreasonably withheld, conditioned, or delayed and except for a sale of the Property by the Developer to a third party who accepts all of the rights and obligations under the terms and conditions of this Agreement.
17. This Agreement shall be deemed to be a contract made under the laws of the State of Iowa and for all purposes shall be governed by and construed in accordance with laws of the State of Iowa.
18. This Agreement may not be amended, waived or modified in any respect unless the same shall be in writing and signed by both parties. No waiver by a party of any default by the other shall constitute a waiver of any other breach or default by the other, whether of the same or any other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a party shall give the other any contractual right by custom, estoppel, or otherwise.
19. If any provisions, conditions, or covenants of this Agreement, or the application thereof to any circumstances of either party, shall be held invalid or unenforceable, the remainder of this Agreement or the application of such provision, condition, or covenant to persons or circumstances other than those as to whom or which it is held invalid or unenforceable shall not be affected thereby and shall be valid and enforceable to the fullest extent permitted by law.
20. This Agreement is subject to the approval of the City of Cumming City Council and shall be of no force or effect unless and until approved by the City Council for the City of Cumming.

- 21. This Agreement, or a Memorandum of this Agreement to serve as notice to the public of the existence and provisions of this Agreement, shall be recorded in the land records of Warren County, Iowa.
- 22. The City and the Developer have caused this Agreement to be signed, and the City's seal to be affixed, in their names and on their behalf by their duly authorized officers, all as of the day and date written above.

| | |
|---|---|
| CITY: CITY OF CUMMING, IOWA  Tom Becker, Mayor | |
| Attest:  City Clerk | (Seal) |
| DEVELOPER: KC REAL ESTATE, L.C. An Iowa limited liability company | |
| By: William C. Knapp, L.C., Member | DocuSigned by:  Attest: Gerard D. Neugent, Manager |

Michael P. Holzworth
Katherine Holzworth
2280 20th Avenue
Cumming, IA 50061

November 23, 2020

VIA HAND DELIVERY

Angie Ritchie
Deputy City Clerk
City of Cumming
649 North 44th Street
PO Box 100
Cumming, IA 50061-0100

VIA HAND DELIVERY

Tom Becker
Mayor
City of Cumming
649 North 44th Street
PO Box 100
Cumming, IA 50061-0100

RE: Resolution 2020-77 Kum & Go

Dear Angie Ritchie and Tom Becker:

Our names are Michael and Katherine Holzworth and we own the property immediately north of the RC Real Estate, LLC property.

The property has been in my wife's family for the last 140 years.

We recently moved to the above address in the summer of 2020.

We have never been notified of any re-zoning of the subject matter property.

We recently heard of Kum & Go wanting to put a truck stop at the above property.

At this time we would like to get the following questions answered:

1. Are the current owners and the proposed purchasers asking that the property be re-zoned? The property in question, a 3.51 parcel just north of G-14, was rezoned from A-1 to C-1 on October 12, 2020. This rezoning goes along with the future land use map which had been previously adopted in 2018.
2. Are the current owners and the proposed buyers asking that the site plan be approved?
Yes.
3. Who is going to be paying for the infrastructure for this project? Warren County and Knapp properties are working together to make the necessary changes to G-14. The remaining infrastructure will be paid for by the landowners/developers.
4. Is there a development agreement between the City of Cumming and the proposed property owners? No.
5. Is there a development agreement between the proposed property owners and Warren County? Not that I am aware of.

RECEIVED NOV 23 2020 5:30 p.m. *AK*

Angie Ritchie :
Deputy City Clerk
Tom Becker
Mayor
November 23, 2020
Page 2

6. Is there any T.I.F. dollars that have been requested? No.
7. Is there any R.I.S.E. grant dollars? No.
 - a. Has that request been made and if so by whom?
8. Are there any or other financial tools that the City of Cumming is using to incentivize this project? No.

At this time both my wife and I are in opposition to the City of Cumming approving this site plan and apparently it was revised as late as November 13, 2020 is now being considered.


That putting a convenience store/truck stop we believe would be long term detrimental to the development of the area.

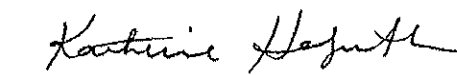
We are requesting:

1. That our above questions be answered.
2. That the City not approve the revised site plan.

We do plan on attending tonight's hearing by Zoom.

Sincerely,


Michael P. Holzworth


Katherine Holzworth

MPH/ksb



CIVIL DESIGN ADVANTAGE L.L.C.

ENGINEERS, LANDSCAPE ARCHITECTS,
PLANNERS & SURVEYORS

November 12, 2020

City of Cumming
ATTN: Bob Fagen, City Administrator
PO Box 100
Cumming, Iowa 50061

RE: Kum & Go 0198 – Site Plan Submittal #3

Dear Mr. Fagen:

We have received and reviewed the comments from the City of Cumming, dated November 3, 2020, regarding the previously submitted Site Plan and Public Improvements. Revisions and responses, written in bold type, are as follows:

SITE PLAN

Sheet 1 – Autoturn Exhibit

1. In reviewing the turning radii of truck movements as shown that a continuous left turn lane should be considered to provide three lanes of traffic. This street will carry considerably more traffic when the Lot 2 is developed to the east, and the street is extended north to serve future commercial and residential development. The continuous left turn lane will keep the southbound truck movement within the left turn lane rather than into the northbound lane and will allow additional stacking for multiple trucks/vehicles.

The proposed street has been widened to a 37' section to include a 12' wide continuous left turn lane.

PUBLIC IMPROVEMENTS

Sheet 2

1. As noted previously, it is suggested that a third continuous left turn lane be added a minimum 12 feet wide for a total three lane pavement width of 37 feet. The continuous left turn lane may be wider to 14 feet wide as suggested by the Manual on Uniform Traffic Control Devices (MUTCD).

The proposed street has been widened to a 37' section to include a 12' wide continuous left turn lane.

Sheet 6

1. As shown on the "Autoturn Exhibits" the turning radii of the trucks northbound from the east, and southbound to the west, closely hug the edge of the intersection pavement. The pavement radii should be increased to have a clearance of 2 feet between the vehicle and the edge of pavement.

The offset and intersection have been revised to provide more clearance (see attached turning movement exhibit).

Enclosed with this submittal, you will find the following:

1. Revised Site Plan Drawings (PDF via e-mail)
2. Revised Public Improvement Drawings (PDF via e-mail)
3. Revised Turning Movement Exhibit (PDF via e-mail)

Please let us know if you have any questions or need anything else.

Sincerely,

CIVIL DESIGN ADVANTAGE

Keith Weggen, ASLA

Copy: Britni Andreassen, Kum & Go
File



VEENSTRA & KIMM, INC.

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848(FAX) • 800-241-8000 (WATS)

November 13, 2020

Angie Ritchie
Deputy City Clerk
City of Cumming
649 N. 44th Street
P.O. Box 100
Cumming, Iowa 50061-0100

CUMMING, IOWA
KUM & GO
REVISED SITE PLAN AND PUBLIC IMPROVEMENTS

Veenstra & Kimm, Inc. has reviewed the revised site plan and public improvements of Kum & Go and offer the following comments:

SITE PLAN

1. All of our comments on the Site Plan have been addressed with the exception of the sidewalk requirement, which the developer is asking to be deferred until future development.
2. The Site Plan can be considered for approval for construction with deferral of the sidewalk requirement until future development to the north, with final formal approval of Site Plan subject to completion and acceptance of the required public improvements in the Spangler Plat 1 Preliminary Plat and approval of the Spangler Plat 1 Final Plat.

PUBLIC IMPROVEMENTS

Sheet 2

1. The proposed street has been widened to the recommended 37' wide to include a continuous 12' wide left turn lane.

Sheet 6

1. The intersection has been revised to provide additional clearance for truck turning movements.

*West Des Moines, IA • Coralville, IA • Dubuque, IA • Mason City, IA • Sioux City, IA
Cedar Rapids, IA • Rock Island, IL • Springfield, IL • Liberty, MO • Rochester, MN*

Angie Ritchie
November 13, 2020
Page 2

2. Coordinate changes in pavement details with engineer designing public improvements for G14.

If you have any questions or comments concerning the project, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.



Anthony J. Bellizzi, P.E.

AJB:dml
41233-044
cc: Keith Weggen, Civil Design Advantage

PROJECT TEAM:

OWNER/DEVELOPER/APPLICANT:

KUM & GO, L.C.
1459 GRAND AVENUE
DES MOINES, IA 50309
ATTN: BRITNI ANDREASSEN
PH: (515) 457-6083

WATER:

DES MOINES WATER WORKS
2201 GEORGE FLAGG PARKWAY
DES MOINES, IOWA 50321
CONTACT: BRYAN POLLPETER
PH: (515) 323-6204

ENGINEER:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

SANITARY SEWER:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)
(515) 225-8000

LANDSCAPE ARCHITECT:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

ELECTRIC:

MIDAMERICAN ENERGY COMPANY
3500 104TH STREET
URBANDALE, IA 50322
CONTACT: CRAIG RANFELD
PH: (515) 252-6632

SURVEYOR:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

STORM SEWER:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)
(515) 225-8000

TELEPHONE/CABLE:

CENTURYLINK
2103 EAST UNIVERSITY AVENUE
DES MOINES, IA 50317
CONTACT: MINDI BURGETT
PH: (515) 263-7230

BUILDING DEPARTMENT:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: JASON VANAUSDALL (VEENSTRA & KIMM)
(515) 225-8000

GEOTECHNICAL ENGINEER:

TERRACON CONSULTANTS, INC.
600 SW 7TH STREET, SUITE M
DES MOINES, IOWA 50309
BRETT BRADFIELD
PH: (515) 244-3184

BENCH MARKS

CITY OF WEST DES MOINES BM# 108 LOCATED AT THE INTERSECTION OF 10TH STREET AND WARREN AVENUE, NORTH OF INTERSECTION, 4 FEET WEST OF THE CENTERLINE EXTENDED, 20 FEET SOUTH OF THE EAST/WEST FENCE. ELEVATION=211.96

CITY OF WEST DES MOINES BM# 140 LOCATED AT THE NW CORNER OF ADAMS STREET AND 20TH AVENUE, 4 FEET SOUTH OF POWER POLE, 38 FEET WEST OF CENTERLINE OF 20TH AVENUE, 68 FEET NORTH OF CENTERLINE OF ADAMS STREET. ELEVATION=183.87

PROPERTY DESCRIPTION

LOT 1, SPANGLER PLAT 1 AN OFFICIAL PLAT IN THE CITY OF CUMMING, WARREN COUNTY, IOWA, INCLUDING 2.99 ACRES (130,375 SF).

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = NOVEMBER, 1 2020
ANTICIPATED FINISH DATE = NOVEMBER, 1 2021

GENERAL LEGEND

PROPOSED

- LOT LINE
- CENTER LINE
- RIGHT OF WAY
- PERMANENT EASEMENT
- TEMPORARY EASEMENT
- TYPE SW-501 STORM INTAKE
- TYPE SW-503 STORM INTAKE
- TYPE SW-401 STORM MANHOLE
- TYPE SW-301 SANITARY MANHOLE
- STORM/SANITARY CLEANOUT
- WATER VALVE
- FIRE HYDRANT ASSEMBLY SIGN
- DETECTABLE WARNING PANEL
- SANITARY SEWER WITH SIZE
- STORM SERVICE
- WATERMAIN WITH SIZE
- SAWCUT (FULL DEPTH)
- SILT FENCE

EXISTING

- SANITARY MANHOLE
- WATER VALVE BOX
- FIRE HYDRANT
- WATER CURB STOP
- STORM SEWER MANHOLE
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ELECTRIC POWER POLE
- GUY ANCHOR
- STREET LIGHT
- POWER POLE W/ TRANSFORMER
- UTILITY POLE W/ LIGHT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE OR VAULT
- TRAFFIC SIGN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE/VAULT
- TELEPHONE POLE
- GAS VALVE BOX
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE/VAULT
- BENCH MARK
- SOIL BORING
- UNDERGROUND TV CABLE
- GAS MAIN
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- SANITARY SEWER W/ SIZE
- STORM SEWER W/ SIZE
- WATER MAIN W/ SIZE

SUBMITTAL DATES

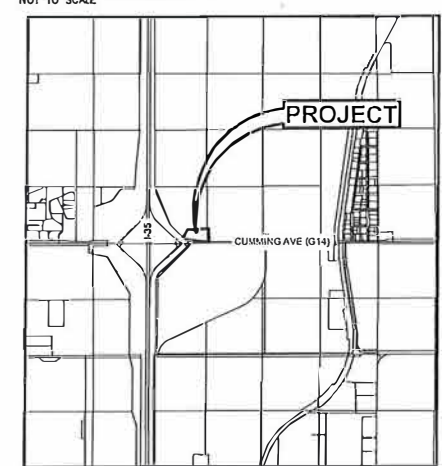
SUBMITTAL #1: SEPTEMBER 11, 2020
SUBMITTAL #2: OCTOBER 29, 2020
SUBMITTAL #3: NOVEMBER 13, 2020



WHERE & MEANS MORE

VICINITY MAP

NOT TO SCALE



CUMMING, IOWA

SITE PLAN DRAWINGS
STORE #0198
I-35 & CUMMING AVENUE
CUMMING, IA 50061

| SHEET INDEX | | |
|-------------|--------------------------------------|-----------|
| 1 | COVER SHEET | C0.0 |
| 2 | SITE PLAN | C1.1 |
| 3 | TOPOGRAPHIC SURVEY / DEMOLITION PLAN | C1.2 |
| 4-5 | GRADING PLAN | C2.1-C2.2 |
| 6 | EROSION & SEDIMENT CONTROL | C2.3 |
| 7 | UTILITY PLAN | C3.1 |
| 8 | LANDSCAPE PLAN | L1.1 |

| SITE DATA | | |
|------------------------------------|---|---------|
| STORE TYPE | INTERSTATE | |
| CANOPY / DISPENSER ARRANGEMENT | 5 DISPENSERS (SINGLE), 3 HI-FLOW DISPENSERS | |
| TYPE OF USE | CONVENIENCE STORE WITH FUEL | |
| HEIGHT | BUILDING | 21'-0" |
| | TOP OF BLADE WALL | 22'-7" |
| | CANOPY | 20'-10" |
| | DIESEL CANOPY | 19'-0" |
| GROSS FLOOR AREA | 6,015 S.F. | |
| GROSS CANOPY AREA | 4,356 S.F. | |
| GROSS LOT AREA | 1130,375 S.F. ±2.99ACRES | |
| FAR (INCLUDING CANOPY) | 0.08 | |
| KUM & GO BUILDING COVERAGE | 6,015 S.F. (4.6%) | |
| LANDSCAPE COVERAGE | 50,095 SF (38.4%) | |
| PARKING/DRIVE/ COVERAGE | 74,283 SF (57.0%) | |
| BICYCLE PARKING | | |
| | STANDARD | 31 |
| | ADA | 1 |
| | TOTAL | 32 |
| PARKING RATIO = 1 SPACE/187 GFA | | |
| REQUIRED PARKING | STANDARD | 25 |
| | ADA | 2 |
| | TRUCKS | 5 |
| | TOTAL | 32 |
| PARKING RATIO = 5.4 CARS/1000 S.F. | | |
| PROVIDED PARKING | STANDARD | 25 |
| | ADA | 2 |
| | TRUCKS | 5 |
| | TOTAL | 32 |
| PARKING RATIO = 5.4 CARS/1000 S.F. | | |

| ZONING INFORMATION | |
|---------------------------------------|-----|
| ZONE: C-1 HIGHWAY COMMERCIAL DISTRICT | |
| MINIMUM LOT AREA (SQUARE FEET) | |
| MINIMUM LOT WIDTH (FEET) | |
| SITE AREA PER UNIT (SQUARE FEET) | N/A |
| FRONT YARD SETBACK (FEET) | 50 |
| FRONT YARD CANOPY SETBACK (FEET) | 15 |
| LEFT SIDE YARD SETBACK (FEET) | 0 |
| RIGHT SIDE YARD SETBACK (FEET) | 0 |
| REAR YARD SETBACK (FEET) | 0 |
| BUILDING MAXIMUM HEIGHT (FEET) | 35 |
| CANOPY MAXIMUM HEIGHT (FEET) | 20 |
| MAXIMUM BUILDING COVERAGE | N/A |



1459 Grand Avenue
Des Moines, Iowa 50309
P: 515-226-0128
F: 515-223-9873

0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
COVER SHEET

KG PROJECT TEAM:
RDR:
SDM:
CFI:

| DATE | REVISION DESCRIPTION |
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| | |

DATE: 11-13-2020
SHEET NUMBER: C0.0

REFER TO GEOTECHNICAL ENGINEERING REPORT NO. 08205133 PREPARED BY TERRACON CONSULTANTS, INC. FOR GEOTECHNICAL REQUIREMENTS

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2020 EDITION OF THE SDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A QUALIFIED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY

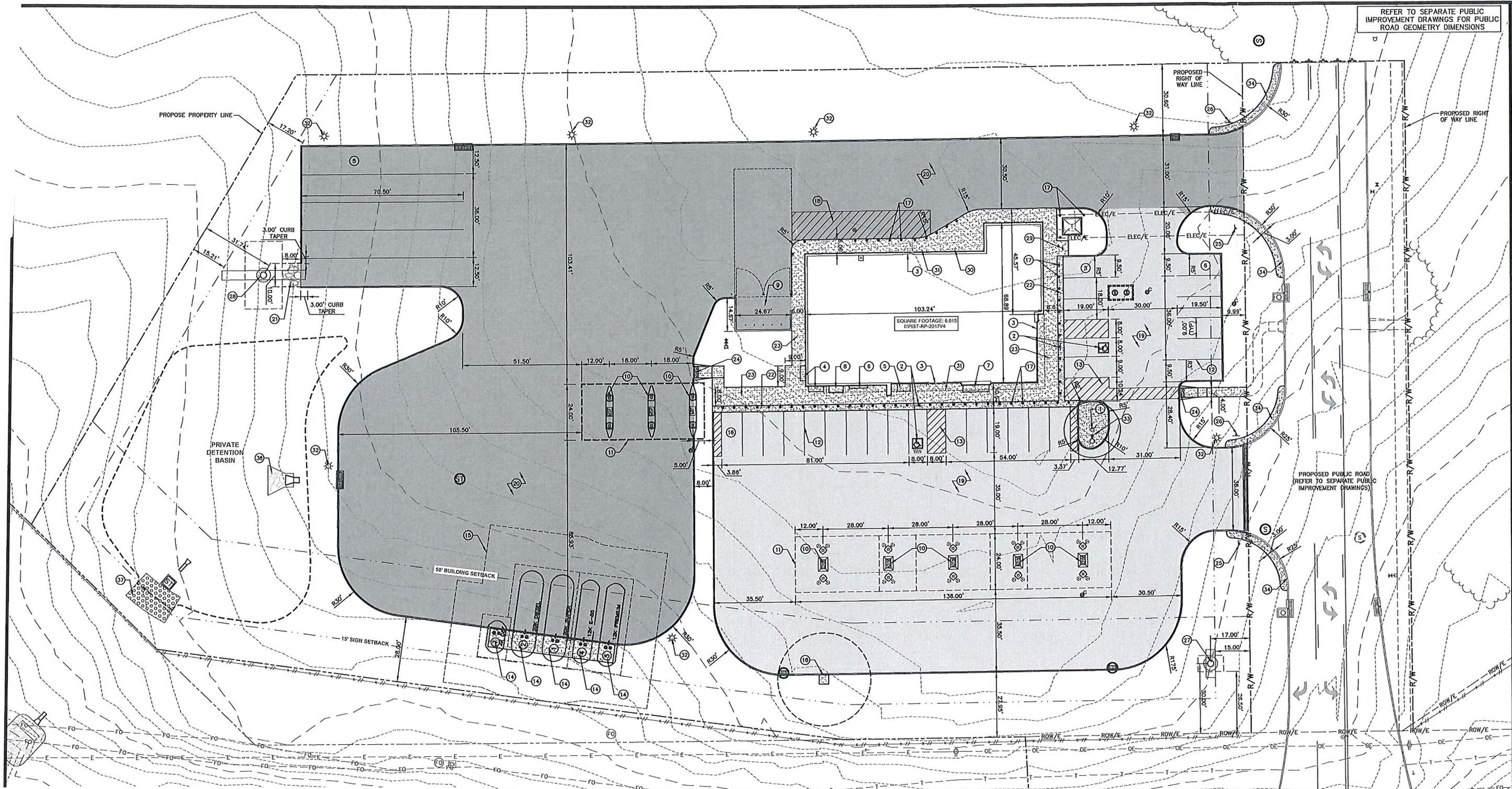
NOT FOR CONSTRUCTION

DATE: MARCH 2020

MY LICENSE EXPIRES ON JUNE 30, 2022
PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS



CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND UTILITIES.
1-800-292-8989



REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR PUBLIC ROAD GEOMETRY DIMENSIONS

EDA
 CIVIL DESIGN ADVANTAGE
 2425 SE CROSSROADS DR. SUITE G, GRAMES, IOWA 50111
 PH: (515) 366-4400 Fax: (515) 366-4410
 PROJECT NO. 2002239



1459 Grand Avenue
 Des Moines, Iowa 50309
 P: 515-226-0128
 F: 515-223-9873

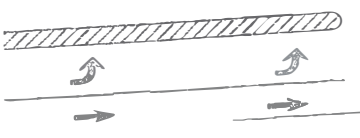
0198 CUMMING O
I-35 & CUMMING AVENUE
 SITE PLAN

- FLAG NOTES**
- 1 40 FOOT FLAG POLE, MAINTAIN 24 FEET CLEAR SPACE
 - 2 ACCESSIBLE PARKING SPACE WITH POLE MOUNTED ADA PARKING SIGN
 - 3 BUILDING ENTRY - SEE ARCHITECTURAL DRAWINGS
 - 4 PROPANE CAGE
 - 5 MISCELLANEOUS MERCHANDISE
 - 6 FIREWOOD
 - 7 REDBOX
 - 8 ICE MERCHANDISER
 - 9 TRASH ENCLOSURE - SEE ARCHITECTURAL DRAWINGS
 - 10 FUEL DISPENSER ISLAND
 - 11 FUEL CANOPY
 - 12 4 INCH YELLOW PARKING STRIPING
 - 13 4 INCH YELLOW PARKING STRIPING - 24 INCHES O.C. AT 45 DEGREES
 - 14 UNDER GROUND STORAGE TANK LOCATIONS
 - 15 TANK OVERLID LIMITS
 - 16 AIR MACHINE - COORDINATE MOUNT WITH SUPPLIER
 - 17 BOLLARDS - WITH BLACK PROTECTIVE COVER
 - 18 12 FEET X 60 FEET LOADING ZONE
 - 19 STANDARD DUTY P.C.C. PAVEMENT
 - 20 HEAVY DUTY P.C.C. PAVEMENT
 - 21 GRANULAR SURFACE
 - 22 INTEGRAL COLORED PCC SIDEWALK - HEAVY BROOK FINISH - 6 INCH MINIMUM THICKNESS
 - 23 P.C.C. SIDEWALK
 - 24 DETECTABLE WARNING STRIP
 - 25 STOP SIGN FOR ACCESSING PUBLIC-RIGHT-OF-WAY
 - 26 TRUCK DIRECTIONAL SIGNAGE
 - 27 35' POLE SIGN
 - 28 100' POLE SIGN
 - 29 BOLLARD BIKE RACK - 5.00 FEET X 6.5 FEET PAD
 - 30 ELECTRICAL, TELEPHONE, IRRIGATION CONDUIT CONNECTION - METERS SHALL BE LOCATED INSIDE BUILDING
 - 31 BUILDING CANOPY OVERHANG
 - 32 AREA LIGHT
 - 33 FLAG POLE UPLIGHT
 - 34 ROLLOVER CURB
 - 35 THREE-CENTERED COMPOUND CURVE - BY OTHERS
 - 36 CLASS E, RIP-RAP
 - 37 TURF REINFORCEMENT MAT - TYPE 4

PAVEMENT THICKNESS

| | | |
|-------------------------------|-----------|--|
| 1. SIDEWALK | 4" P.C.C. | |
| 2. STANDARD DUTY PCC PAVEMENT | 6" P.C.C. | |
| 3. HEAVY DUTY PCC PAVEMENT | 8" P.C.C. | |
| 4. INTEGRAL COLORED CONCRETE | 6" P.C.C. | |

- GENERAL NOTES**
1. THE 2020 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
 2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES AND PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
 3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
 4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
 5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
 6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
 7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
 8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
 9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
 10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
 11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
 12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
 13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
 14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
 15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
 16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
 17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
 18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.



CUMMING RD / HWY G14

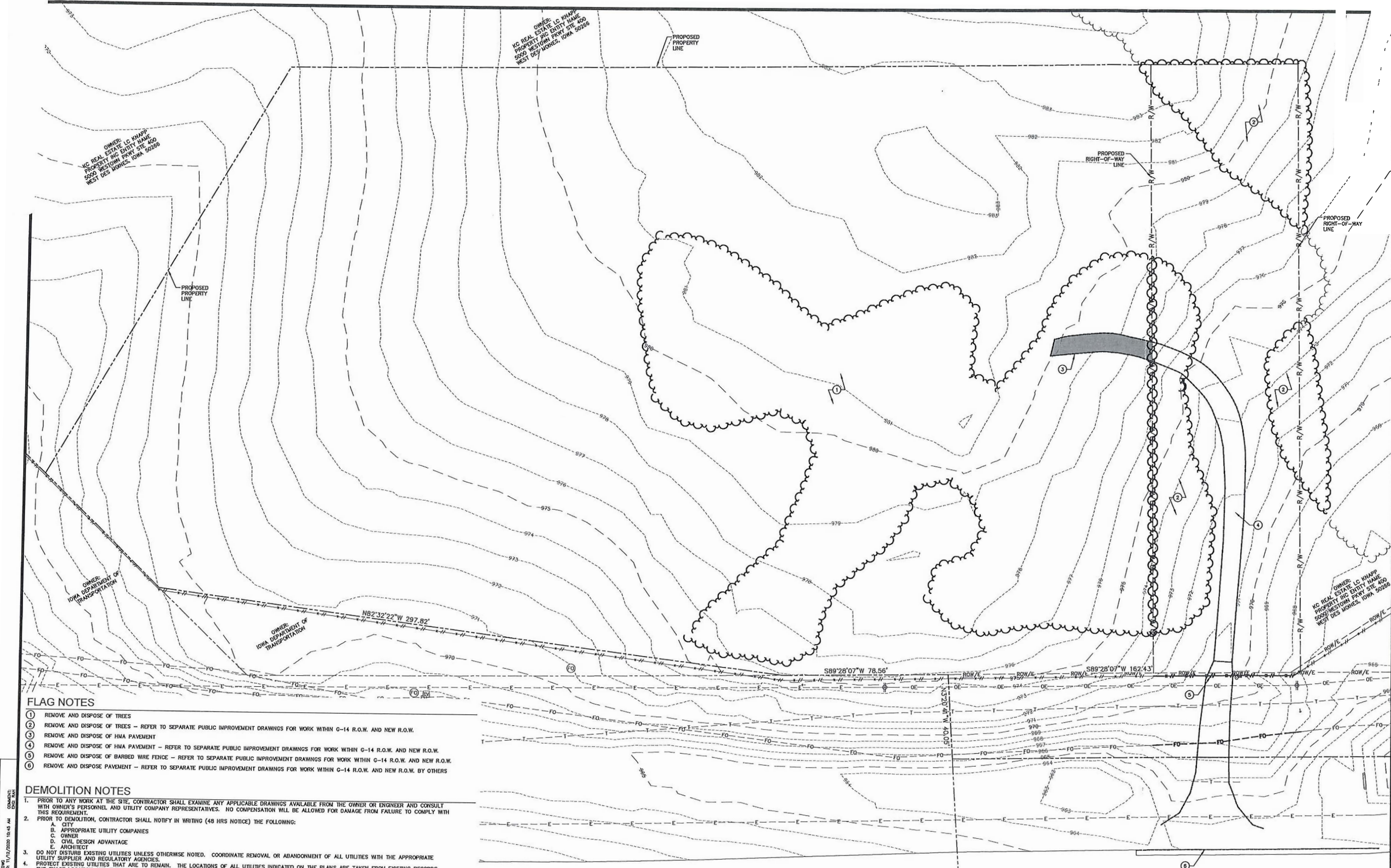
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KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

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REVISIONS

DATE: 11-13-2020
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EA
 CIVIL DESIGN ADVANTAGE
 3405 SE CROSSING AVE SUITE G, CORNELL, IOWA 50111
 P: 515-226-1128
 F: 515-223-9873



1459 Grand Avenue
 Des Moines, Iowa 50309
 P: 515-226-0128
 F: 515-223-9873

019 C MMNG OWA
 I-35 & CUMMING AVENUE
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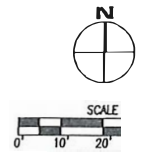
- FLAG NOTES**
- ① REMOVE AND DISPOSE OF TREES
 - ② REMOVE AND DISPOSE OF TREES - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W.
 - ③ REMOVE AND DISPOSE OF HMA PAVEMENT
 - ④ REMOVE AND DISPOSE OF HMA PAVEMENT - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W.
 - ⑤ REMOVE AND DISPOSE OF BARBED WIRE FENCE - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W.
 - ⑥ REMOVE AND DISPOSE PAVEMENT - REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR WORK WITHIN G-14 R.O.W. AND NEW R.O.W. BY OTHERS

- DEMOLITION NOTES**
1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
 2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE
 - E. ARCHITECT
 3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
 4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
 5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
 6. IN THE FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
 7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
 8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

KG PROJECT TEAM:
 RDR:
 SDT:
 CRT:

| DATE | REVISION DESCRIPTION | REVISIONS |
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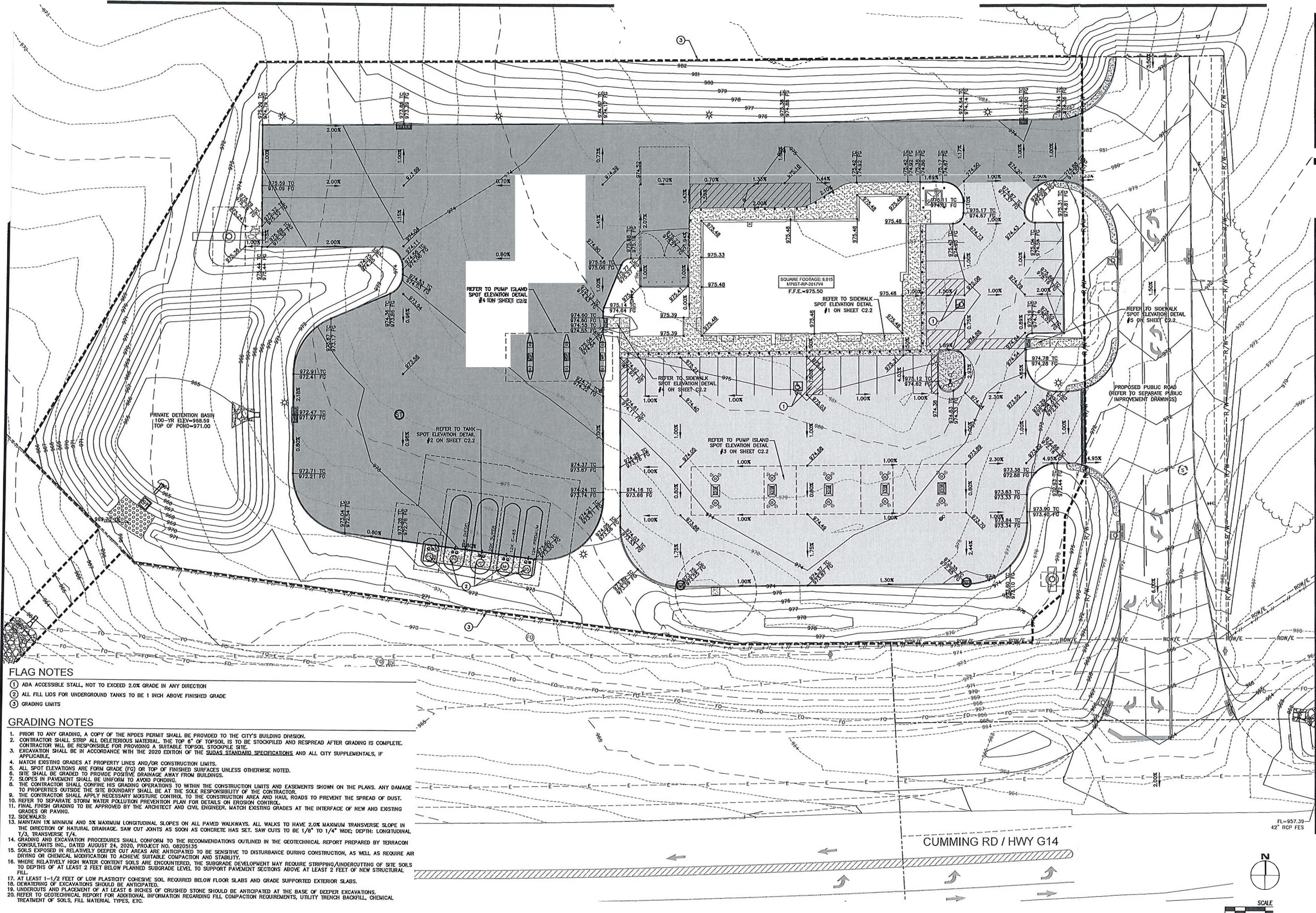
CUMMING RD / HWY G-14



DATE: 11-13-2020
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RECEIVED NOV 13 2020



FLAG NOTES

- ① ADA ACCESSIBLE STALL, NOT TO EXCEED 2.0% GRADE IN ANY DIRECTION
- ② ALL FILL LIDS FOR UNDERGROUND TANKS TO BE 1 INCH ABOVE FINISHED GRADE
- ③ GRADING LIMITS

GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS:
13. MAINTAIN 1% MINIMUM AND 3% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
14. GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS INC., DATED AUGUST 24, 2020, PROJECT NO. 08205135
15. SOILS EXPOSED IN RELATIVELY DEEPER CUT AREAS ARE ANTICIPATED TO BE SENSITIVE TO DISTURBANCE DURING CONSTRUCTION, AS WELL AS REQUIRE AIR DRYING OR CHEMICAL MODIFICATION TO ACHIEVE SUITABLE COMPACTION AND STABILITY.
16. WHERE RELATIVELY HIGH WATER CONTENT SOILS ARE ENCOUNTERED, THE SUBGRADE DEVELOPMENT MAY REQUIRE STRIPPING/UNDERCUTTING OF SITE SOILS TO DEPTHS OF AT LEAST 2 FEET BELOW PLANNED SUBGRADE LEVEL TO SUPPORT PAVEMENT SECTIONS ABOVE AT LEAST 2 FEET OF NEW STRUCTURAL FILL.
17. AT LEAST 1-1/2 FEET OF LOW PLASTICITY COHESIVE SOIL REQUIRED BELOW FLOOR SLABS AND GRADE SUPPORTED EXTERIOR SLABS.
18. DEWATERING OF EXCAVATIONS SHOULD BE ANTICIPATED.
19. UNDERPARTS AND PLACEMENT OF AT LEAST 6 INCHES OF CRUSHED STONE SHOULD BE ANTICIPATED AT THE BASE OF DEEPER EXCAVATIONS.
20. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION REGARDING FILL COMPACTION REQUIREMENTS, UTILITY TRENCH BACKFILL, CHEMICAL TREATMENT OF SOILS, FILL MATERIAL TYPES, ETC.

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 USER: JMM



1459 Grand Avenue
 Des Moines, Iowa 50309
 P: 515-226-0128
 F: 515-223-9873

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KG PROJECT TEAM:
 RDR:
 SDM:
 CFM:

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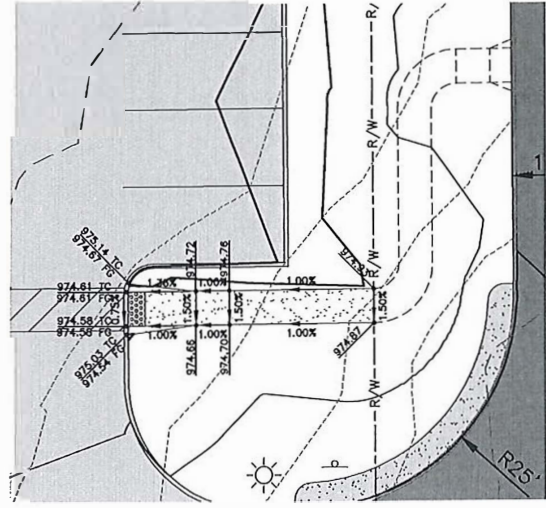
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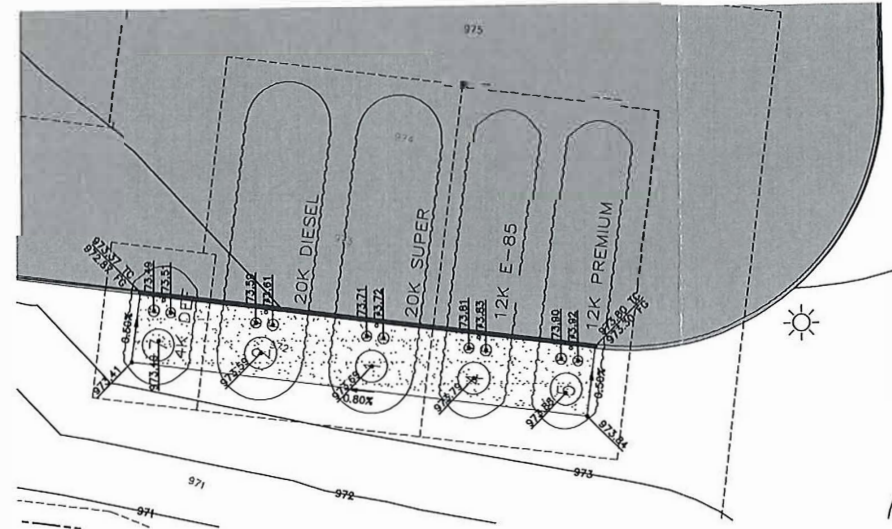
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GRADING NOTES

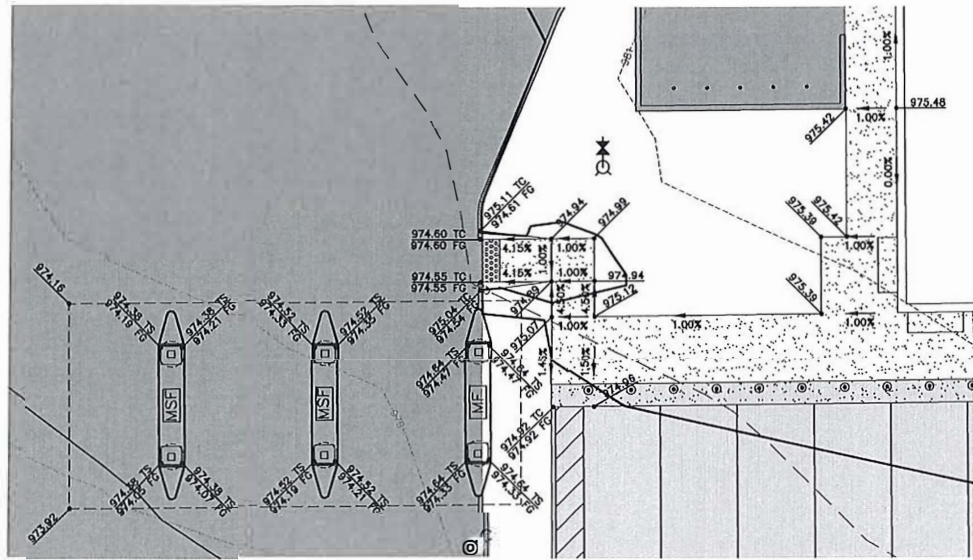
1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2020 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FROM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS:
13. MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
14. GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS INC., DATED AUGUST 24, 2020. PROJECT NO. 08202135
15. SOILS EXPOSED IN RELATIVELY DEEPER CUT AREAS ARE ANTICIPATED TO BE SENSITIVE TO DISTURBANCE DURING CONSTRUCTION, AS WELL AS REQUIRE AIR DRYING OR CHEMICAL MODIFICATION TO ACHIEVE SUITABLE COMPACTION AND STABILITY.
16. WHERE RELATIVELY HIGH WATER CONTENT SOILS ARE ENCOUNTERED, THE SUBGRADE DEVELOPMENT MAY REQUIRE STRIPPING/UNDERCUTTING OF SITE SOILS TO DEPTHS OF AT LEAST 2 FEET BELOW PLANNED SUBGRADE LEVEL TO SUPPORT PAVEMENT SECTIONS ABOVE AT LEAST 2 FEET OF NEW STRUCTURAL FILL.
17. AT LEAST 1-1/2 FEET OF LOW PLASTICITY COHESIVE SOIL REQUIRED BELOW FLOOR SLABS AND GRADE SUPPORTED EXTERIOR SLABS.
18. DEWATERING OF EXCAVATIONS SHOULD BE ANTICIPATED.
19. UNDERCUTS AND PLACEMENT OF AT LEAST 8 INCHES OF CRUSHED STONE SHOULD BE ANTICIPATED AT THE BASE OF DEEPER EXCAVATIONS.
20. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION REGARDING FILL COMPACTION REQUIREMENTS, UTILITY TRENCH BACKFILL, CHEMICAL TREATMENT OF SOILS, FILL MATERIAL TYPES, ETC.



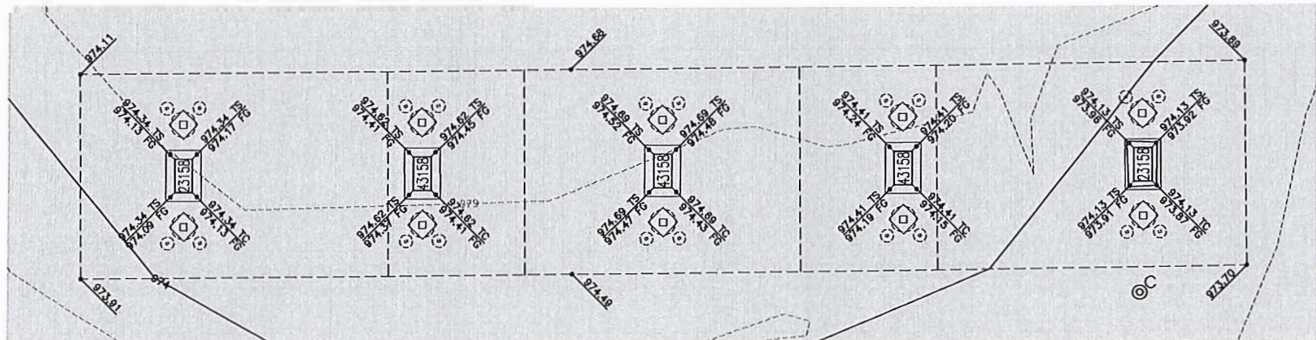
5 SIDEWALK SPOT ELEVATION DETAIL
1"=10'



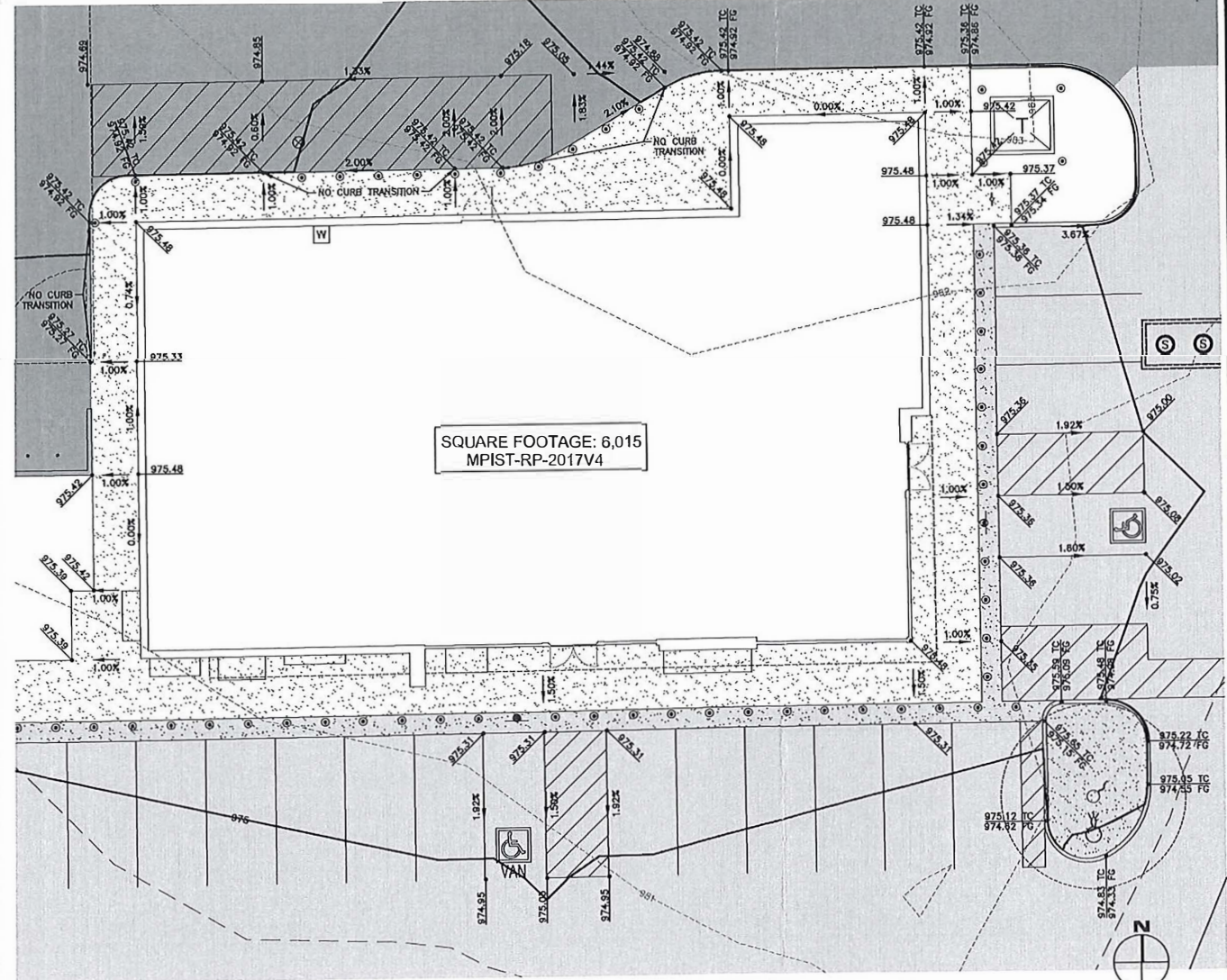
2 TANK LID SPOT ELEVATIONS DETAIL
1"=10'



4 PUMP ISLAND & SIDESALK SPOT ELEVATIONS DETAIL
1"=10'



3 PUMP ISLAND SPOT ELEVATIONS DETAIL
1"=10'



4 SIDEWALK SPOT ELEVATION DETAIL
1"=10'



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Des Moines, Iowa 50309
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F: 515-223-9873

0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE

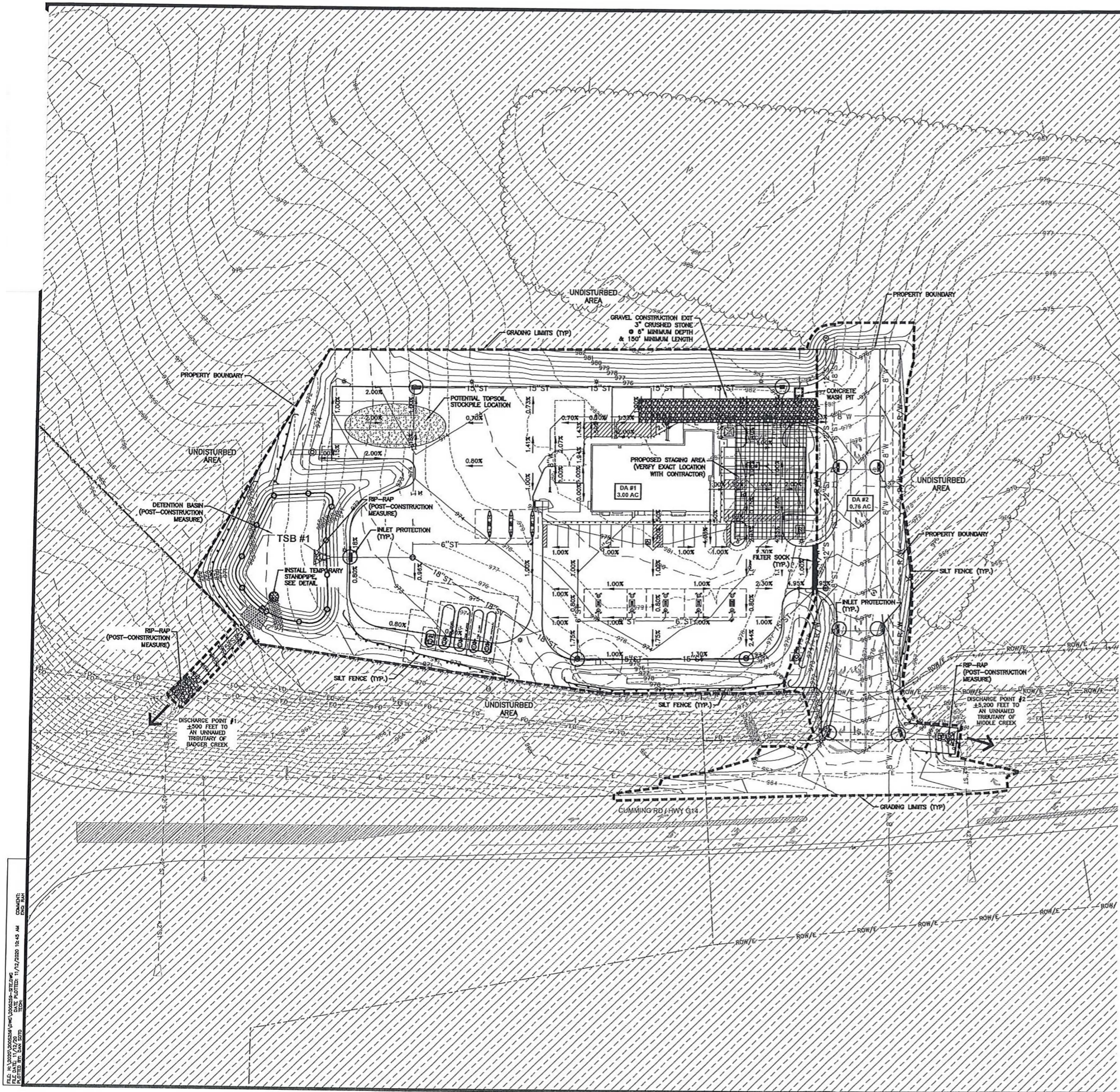
GRADING PLAN

KG PROJECT TEAM:
RDR:
SDM:
CPL:

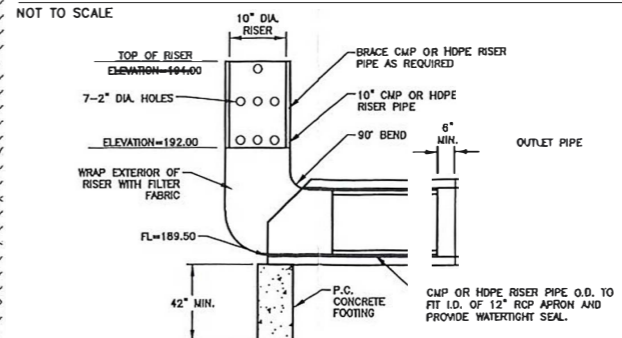
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DATE: 11-13-2020
SHEET NUMBER:

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TEMPORARY STAND PIPE DETAIL



STABILIZATION QUANTITIES

| ITEM NO. | ITEM | UNIT | TOTAL |
|----------|------------------------------------|------|-------|
| 1 | SILT FENCE | LF | 1,344 |
| 2 | SEEDING, FERTILIZING, AND MULCHING | AC | 1.77 |
| 3 | INLET PROTECTION DEVICES | EA | 11 |
| 4 | CONCRETE WASHOUT PIT | EA | 1 |
| 5 | 10" PVC TEMPORARY STANDPIPE | EA | 1 |
| 6 | FILTER SOCK | LF | 42 |

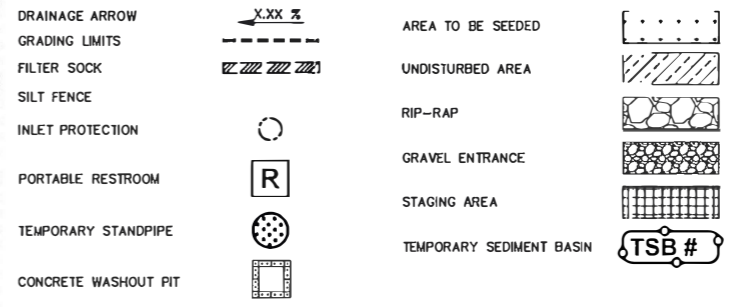
NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.

DISCHARGE POINT SUMMARY

| DISCHARGE POINT #1 TO AN UNNAMED TRIBUTARY OF BADGER CREEK ±500 FT | 3.00 ACRES |
|--|--------------|
| TOTAL AREA DISTURBED TO DISCHARGE POINT | 10,800 CU FT |
| STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT) | |
| VOLUME PROVIDED IN SILT FENCE (696 LF @ 4.5 CU FT/LF OF FENCE) | 3,132 CU FT |
| VOLUME PROVIDED IN FILTER SOCK (42 LF @ 2.0 CU FT/LF OF SOCK) | 84 CU FT |
| VOLUME PROVIDED IN TSB #1 | 17,868 CU FT |
| TOTAL VOLUME PROVIDED | 21,182 CU FT |
| DISCHARGE POINT #2 TO AN UNNAMED TRIBUTARY OF MIDDLE CREEK ±5200 FT | |
| TOTAL AREA DISTURBED TO DISCHARGE POINT | 0.76 ACRES |
| STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT) | 2,736 CU FT |
| VOLUME PROVIDED IN SILT FENCE (648 LF @ 4.5 CU FT/LF OF FENCE) | 2,916 CU FT |
| TOTAL VOLUME PROVIDED | 2,916 CU FT |

SWPPP LEGEND



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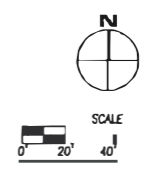
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 Des Moines, Iowa 50309
 P: 515-226-0128
 F: 515-223-9873

0 C M M N G O W A
 I-35 & CUMMING AVENUE
 E O O N S E M E N T C O N T R O L

KG PROJECT TEAM:
 RDR:
 SBL:
 CPH:

| DATE | REVISION DESCRIPTION | REVISIONS |
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DATE: 11-13-2020
 SHEET NUMBER:
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0198 CUMMING RD
 I-35 & CUMMING AVENUE
 UTILITY PLAN

KG PROJECT TEAM:
 RDR:
 SDM:
 CRK:

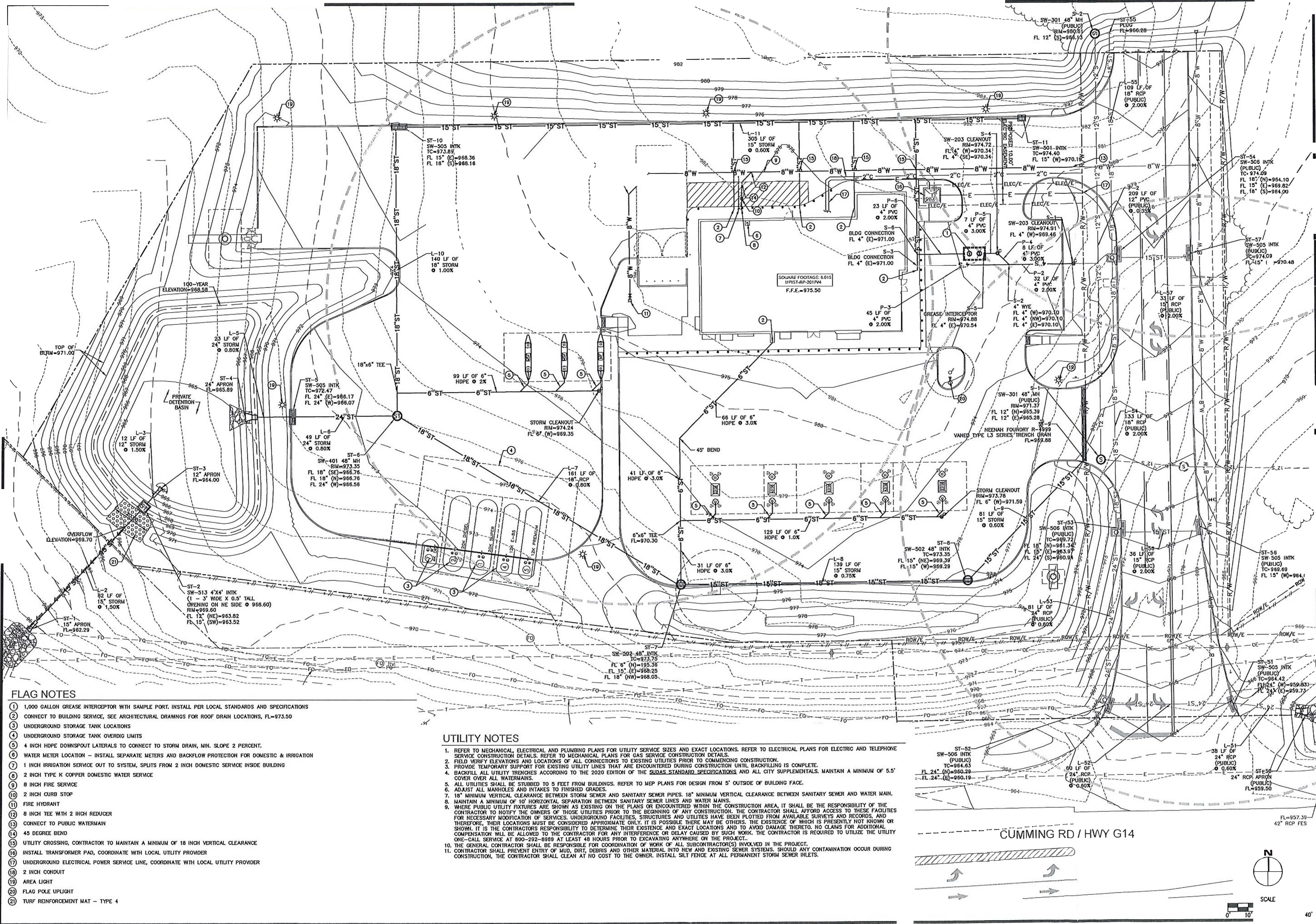
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DATE: 11-13-2020

SHEET NUMBER:

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REVISIONS



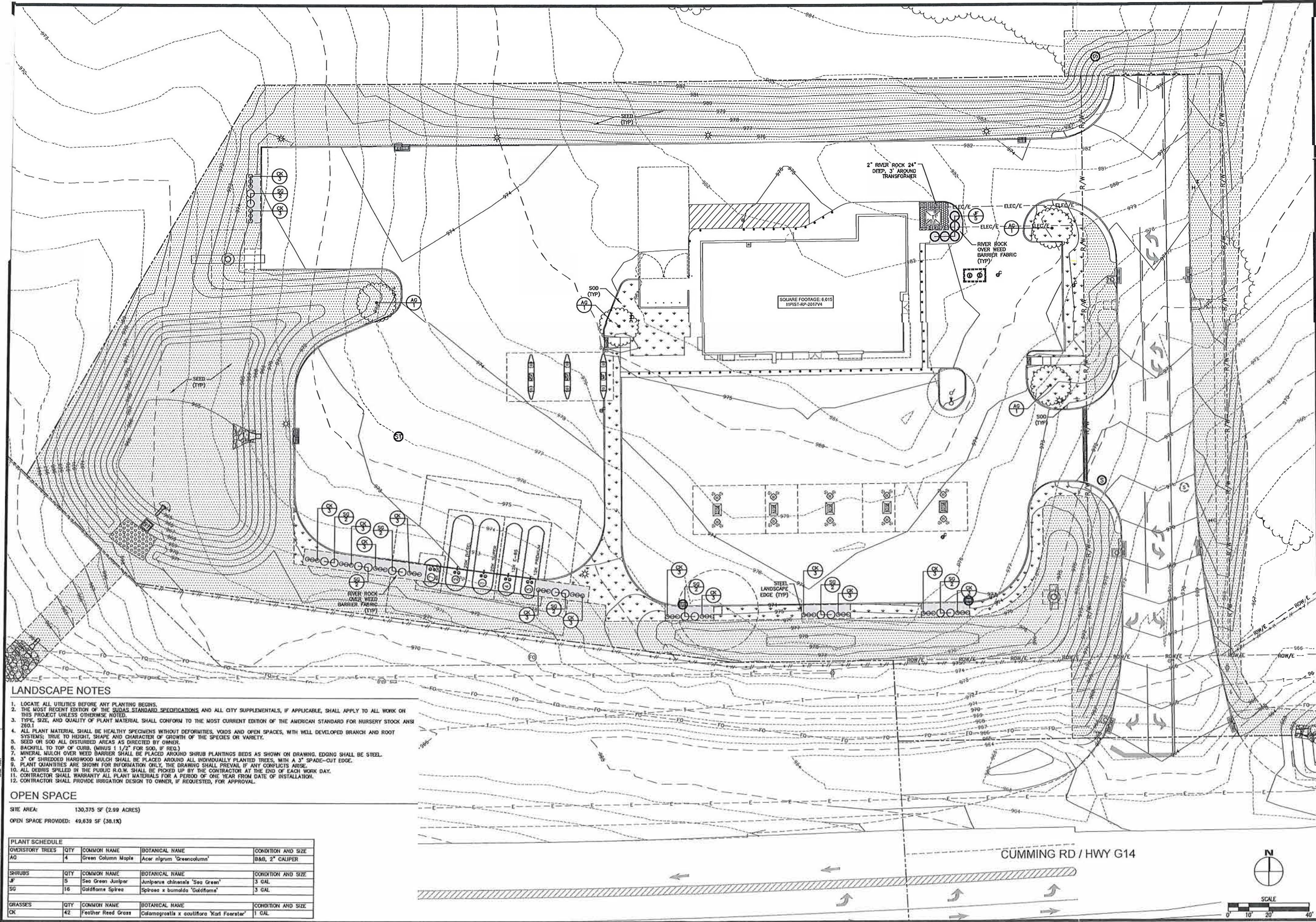
FLAG NOTES

- 1 1,000 GALLON GREASE INTERCEPTOR WITH SAMPLE PORT. INSTALL PER LOCAL STANDARDS AND SPECIFICATIONS
- 2 CONNECT TO BUILDING SERVICE, SEE ARCHITECTURAL DRAWINGS FOR ROOF DRAIN LOCATIONS, FL=973.50
- 3 UNDERGROUND STORAGE TANK LOCATIONS
- 4 UNDERGROUND STORAGE TANK OVERDIG LIMITS
- 5 4 INCH HOPE DOWNSPOUT LATERALS TO CONNECT TO STORM DRAIN, MIN. SLOPE 2 PERCENT.
- 6 WATER METER LOCATION - INSTALL SEPARATE METERS AND BACKFLOW PROTECTION FOR DOMESTIC & IRRIGATION
- 7 1 INCH IRRIGATION SERVICE OUT TO SYSTEM, SPLITS FROM 2 INCH DOMESTIC SERVICE INSIDE BUILDING
- 8 2 INCH TYPE K COPPER DOMESTIC WATER SERVICE
- 9 8 INCH FIRE SERVICE
- 10 2 INCH CURB STOP
- 11 FIRE HYDRANT
- 12 8 INCH TEE WITH 2 INCH REDUCER
- 13 CONNECT TO PUBLIC WATERMAIN
- 14 45 DEGREE BEND
- 15 UTILITY CROSSING, CONTRACTOR TO MAINTAIN A MINIMUM OF 18 INCH VERTICAL CLEARANCE
- 16 INSTALL TRANSFORMER PAD, COORDINATE WITH LOCAL UTILITY PROVIDER
- 17 UNDERGROUND ELECTRICAL POWER SERVICE LINE, COORDINATE WITH LOCAL UTILITY PROVIDER
- 18 2 INCH CONDUIT
- 19 AREA LIGHT
- 20 FLAG POLE UPLIGHT
- 21 TURF REINFORCEMENT MAT - TYPE 4

UTILITY NOTES

1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2020 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5' COVER OVER ALL WATERMANS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
8. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
9. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF SUCH UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8999 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
11. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.

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 PLOTTER: HP DesignJet T1100PS
 USER: JG



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANS 260.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS, TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED OR SOO ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB, (MINUS 1 1/2" FOR SOO, IF REQ.)
7. MINERAL MULCH OVER WEED BARRIER SHALL BE PLACED AROUND SHRUB PLANTINGS BEDS AS SHOWN ON DRAWING. EDGING SHALL BE STEEL.
8. 3" OF SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL INDIVIDUALLY PLANTED TREES, WITH A 3" SPADE-CUT EDGE.
9. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
10. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
11. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
12. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

OPEN SPACE

SITE AREA: 130,375 SF (2.99 ACRES)
 OPEN SPACE PROVIDED: 49,839 SF (38.1%)

| PLANT SCHEDULE | | | | |
|-----------------|-----|--------------------|--|--------------------|
| OVERSTORY TREES | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE |
| AG | 4 | Green Column Maple | Acer nigrum 'Greencolumn' | B&B, 2" CALIPER |
| SHRUBS | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE |
| JF | 5 | Sea Green Juniper | Juniperus chinensis 'Sea Green' | 3 GAL |
| SG | 16 | Goldflame Spirea | Spiraea x bumalda 'Goldflame' | 3 GAL |
| GRASSES | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE |
| CK | 42 | Feather Reed Grass | Calamagrostis x acutiflora 'Karl Foerster' | 1 GAL |



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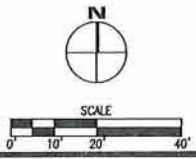
0198 - CUMMING, IOWA
 I-35 & CUMMING AVENUE
 LANDSCAPE PLAN

KG PROJECT TEAM:
 HDR:
 SMT:
 CMT:

| DATE | REVISION DESCRIPTION |
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DATE: 11-13-2020

SHEET NUMBER:
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REVISIONS

PROJECT TEAM:

OWNER/DEVELOPER/APPLICANT:

KUM & GO L.C.
1459 GRAND AVENUE
DES MOINES, IA 50309
ATTN: BRITNI ANDREASSEN
PH: (515) 457-6083

WATER:

DES MOINES WATER WORKS
2201 GEORGE FLAGG PARKWAY
DES MOINES, IOWA 50321
CONTACT: BRYAN POLLPETER
PH: (515) 323-6204

ENGINEER:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

SANITARY SEWER:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)
(515) 225-8000

LANDSCAPE ARCHITECT:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

ELECTRIC:

MIDAMERICAN ENERGY COMPANY
3500 104TH STREET
URBANDALE, IA 50322
CONTACT: CRAIG RANFELD
PH: (515) 252-6632

SURVEYOR:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

STORM SEWER:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: ANTHONY BELLIZZI (VEENSTRA & KIMM)
(515) 225-8000

TELEPHONE/CABLE:

CENTURYLINK
2103 EAST UNIVERSITY AVENUE
DES MOINES, IA 50317
CONTACT: MINDI BURGETT
PH: (515) 263-7230

BUILDING DEPARTMENT:

CITY OF CUMMING
300 WESTOWN PARKWAY
WEST DES MOINES, IA 20566
CONTACT: JASON VANAUSSDALL (VEENSTRA & KIMM)
(515) 225-8000

GEOTECHNICAL ENGINEER:

TERRACON CONSULTANTS, INC.
600 SW 7TH STREET, SUITE M
DES MOINES, IOWA 50309
BRETT BRADFIELD
PH: (515) 244-3184

BENCH MARKS

CITY OF WEST DES MOINES BM# 108 LOCATED AT THE INTERSECTION OF 105TH STREET AND WARREN AVENUE, NORTH OF INTERSECTION, 4 FEET WEST OF THE CENTERLINE EXTENDED, 20 FEET SOUTH OF THE EAST/WEST FENCE. ELEVATION=211.96

CITY OF WEST DES MOINES BM# 140 LOCATED AT THE NW CORNER OF ADAMS STREET AND 20TH AVENUE, 4 FEET SOUTH OF POWER POLE, 38 FEET WEST OF CENTERLINE OF 20TH AVENUE, 68 FEET NORTH OF CENTERLINE OF ADAMS STREET. ELEVATION=183.87

PROPERTY DESCRIPTION

LOT 1, SPANGLER PLAT 1 AN OFFICIAL PLAT IN THE CITY OF CUMMING, WARREN COUNTY, IOWA. INCLUDING 2.99 ACRES (130,375 SF).

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = 11/01/2020
ANTICIPATED FINISH DATE = 11/01/2021

REFER TO GEOTECHNICAL ENGINEERING REPORT NO. 08205135 PREPARED BY TERRACON CONSULTANTS, INC. FOR GEOTECHNICAL REQUIREMENTS

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PROFESSIONAL ENGINEER
JOHN PATRICK BECKER, P.E.
DATE: 11/13/2020
LICENSE NUMBER: 25523
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020
PAGES OR SHEETS COVERED BY THIS SEAL:
1-10

PRELIMINARY NOT FOR CONSTRUCTION



WHERE & MEANS MORE

PUBLIC IMPROVEMENT DRAWINGS
STORE #0198
I-35 & CUMMING AVENUE
CUMMING, IA 50061



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Des Moines, Iowa 50309
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0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
COVER SHEET

KG PROJECT TEAM:
RDR:
SDM:
CPM:

| DATE | REVISION DESCRIPTION |
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DATE: 11-13-2020

SHEET NUMBER:

1 OF 10

| SHEET INDEX | |
|-------------|---|
| 1 | COVER SHEET |
| 2 | TYPICAL SECTIONS AND DETAILS |
| 3 | QUANTITIES, NOTES AND REFERENCE NOTES |
| 4 | TOPOGRAPHIC SURVEY / DEMOLITION PLAN |
| 5 | GRADING PLAN |
| 6 | SANITARY SEWER & WATERMAIN PLAN AND PROFILE |
| 7-8 | STORM SEWER PLAN & PROFILE |
| 9-10 | JOINTING PLAN |

| SITE DATA | | |
|------------------------------------|--|---------|
| STORE TYPE | INTERSTATE | |
| CANOPY / DISPENSER ARRANGEMENT | 5 DISPENSERS (SINGLE), 3 HI-FLOW DISPENSERS | |
| TYPE OF USE | CONVENIENCE STORE WITH FUEL | |
| HEIGHT | BUILDING | 21'-0" |
| | TOP OF BLADE WALL | 22'-7" |
| | CANOPY | 20'-10" |
| | DIESEL CANOPY | 19'-0" |
| GROSS FLOOR AREA | 6,015 S.F. | |
| GROSS CANOPY AREA | 4,536 S.F. | |
| GROSS LOT AREA | ±130,375 S.F. ±2.99 ACRES | |
| FAR (INCLUDING CANOPY) | 0.08 | |
| KUM & GO BUILDING COVERAGE | 6,015 S.F. (4.6%) | |
| LANDSCAPE COVERAGE | 50,095 SF (38.4%) | |
| PARKING/DRIVE/ COVERAGE | 74,283 SF (57.0%) | |
| BICYCLE PARKING | | |
| | STANDARD | 31 |
| | ADA | 1 |
| | TOTAL | 32 |
| PARKING RATIO = 1 SPACE/ 187 GFA | | |
| REQUIRED PARKING | STANDARD | 25 |
| | ADA | 2 |
| | TRUCKS | 5 |
| | TOTAL | 32 |
| PARKING RATIO = 5.4 CARS/1000 S.F. | | |

| ZONING INFORMATION | |
|---------------------------------------|-----|
| ZONE: C-1 HIGHWAY COMMERCIAL DISTRICT | |
| MINIMUM LOT AREA (SQUARE FEET) | |
| MINIMUM LOT WIDTH (FEET) | |
| SITE AREA PER UNIT (SQUARE FEET) | N/A |
| FRONT YARD SETBACK (FEET) | 50 |
| FRONT YARD CANOPY SETBACK (FEET) | 15 |
| LEFT SIDE YARD SETBACK (FEET) | 0 |
| RIGHT SIDE YARD SETBACK (FEET) | 0 |
| REAR YARD SETBACK (FEET) | 0 |
| BUILDING MAXIMUM HEIGHT (FEET) | 35 |
| CANOPY MAXIMUM HEIGHT (FEET) | 20 |
| MAXIMUM BUILDING COVERAGE | N/A |

GENERAL LEGEND

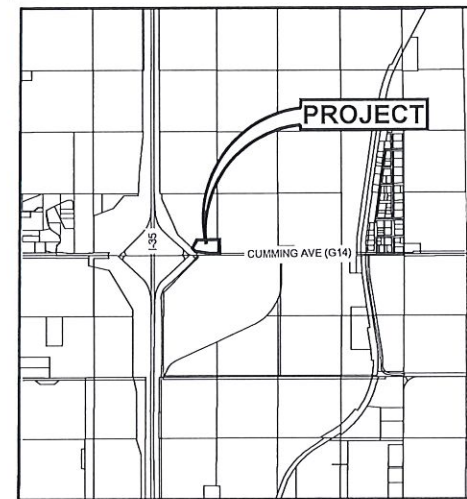
| PROPOSED | EXISTING |
|------------------------------|---------------------------|
| LOT LINE | SANITARY MANHOLE |
| CENTER LINE | WATER VALVE BOX |
| RIGHT OF WAY | FIRE HYDRANT |
| PERMANENT EASEMENT | WATER CURB STOP |
| TEMPORARY EASEMENT | STORM SEWER MANHOLE |
| TYPE SW-501 STORM INTAKE | STORM SEWER SINGLE INTAKE |
| TYPE SW-503 STORM INTAKE | STORM SEWER DOUBLE INTAKE |
| TYPE SW-401 STORM MANHOLE | FLARED END SECTION |
| TYPE SW-301 SANITARY MANHOLE | DECIDUOUS TREE |
| STORM/SANITARY CLEANOUT | CONIFEROUS TREE |
| WATER VALVE | DECIDUOUS SHRUB |
| FIRE HYDRANT ASSEMBLY | CONIFEROUS SHRUB |
| SIGN | ELECTRIC POWER POLE |
| DETECTABLE WARNING PANEL | GUY ANCHOR |
| SANITARY SEWER WITH SIZE | STREET LIGHT |
| STORM SERVICE | POWER POLE W/ TRANSFORMER |
| WATERMAIN WITH SIZE | UTILITY POLE W/ LIGHT |
| SAWCUT (FULL DEPTH) | ELECTRIC BOX |
| SILT FENCE | ELECTRIC TRANSFORMER |
| | ELECTRIC MANHOLE OR VAULT |
| | TRAFFIC SIGN |
| | TELEPHONE JUNCTION BOX |
| | TELEPHONE MANHOLE/VAULT |
| | TELEPHONE POLE |
| | GAS VALVE BOX |
| | CABLE TV JUNCTION BOX |
| | CABLE TV MANHOLE/VAULT |
| | BENCH MARK |
| | SOIL BORING |
| | UNDERGROUND TV CABLE |
| | GAS MAIN |
| | FIBER OPTIC |
| | UNDERGROUND TELEPHONE |
| | OVERHEAD ELECTRIC |
| | UNDERGROUND ELECTRIC |
| | SANITARY SEWER W/ SIZE |
| | STORM SEWER W/ SIZE |
| | WATER MAIN W/ SIZE |

SUBMITTAL DATES

SUBMITTAL #1: SEPTEMBER 11, 2020
SUBMITTAL #2: OCTOBER 29, 2020
SUBMITTAL #3: NOVEMBER 13, 2020

VICINITY MAP

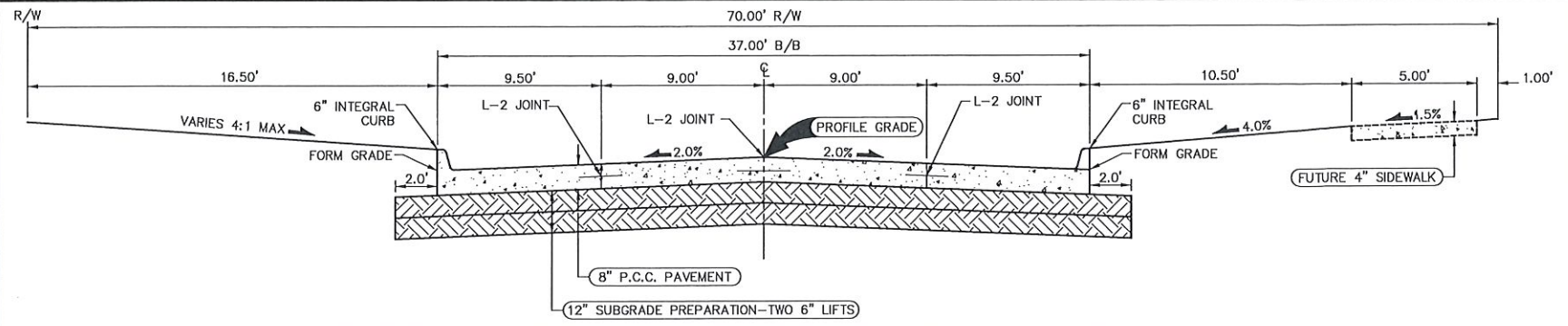
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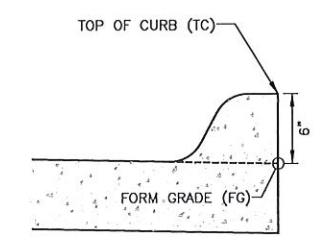
CUMMING, IOWA

CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

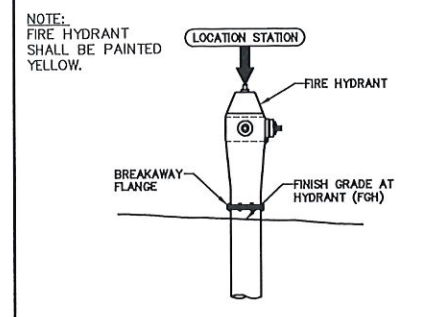




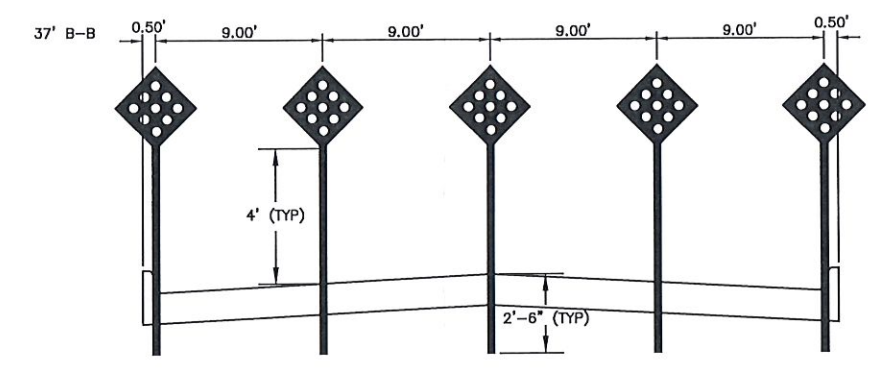
TYPICAL SECTION - 37' B/B P.C.C. ROADWAY WITH 70' ROW
NOT TO SCALE (STA 2+46.30 TO STA 4+23.22)



INTEGRAL 6\"/>



HYDRANT ASSEMBLY SPOT ELEVATION REFERENCE DETAIL
NOT TO SCALE



PERMANENT ROAD CLOSURE SIGN SPACING DETAIL
NOT TO SCALE **SI-182**

PAVEMENT MARKING SYMBOLS AND LEGENDS
Refer to PM-111

| Road Identification | Location | | CSTW | RTAW | LTAW | Remarks |
|---------------------|----------|------|------|------|------|---------|
| | Station | Side | | | | |
| PUBLIC ROAD | 1+02.00 | R | | 1 | 1 | |
| PUBLIC ROAD | 1+52.00 | R | | 1 | 1 | |
| | 1+86.00 | R | | | 1 | |
| | 1+98.00 | R | | | 1 | |
| | 2+77.00 | R | | | 1 | |
| | 2+89.00 | R | | | 1 | |
| | 3+32.00 | R | | | 1 | |
| | 3+44.00 | R | | | 1 | |

Totals

PAVEMENT MARKING LINE TYPES
See PM-110

*BCY4 - Place on the same side of the roadway to match existing markings near the project.
**NPY4 - For estimating purposes only. No Passing Zone Lines will be located in the field.
***MNY4 - Factor of 1.00 as value includes number of 4-inch passes to cover median nose area.

This Data Entry Sheet fills Tab 108-22 effective 04-16-13

BLW4: Broken Lane Line (White) @ 0.25 DCY4: Double Centerline (Yellow) @ 2.00 SLW4: Solid Lane Line (White) @ 1.00 SLW2: Stop Line (White) @ 6.00 CLW6: Crosswalk Line (White) @ 3.00
DLW4: Dotted Line (White) @ 0.33 NPY4: No Passing Zone Line (Yellow) @ 1.25

| Road ID | Station to Station | | Length (STA) | Dir. of Travel | Marking Type | Length by Line Type (Unfactored) | | | | | | | | | | | | | | | | Remarks | | | | | |
|--|--------------------|---------|--------------|----------------|---------------|----------------------------------|------|------|------|------|------|------|--------|-----|-----|-----|-----|-----|-----|-----|--|---------|--|--|--|--|--|
| | L | C | | | | R | BLW4 | DCY4 | SLW4 | SLW2 | CLW6 | DLW4 | NPY4** | STA | STA | STA | STA | STA | STA | STA | | | | | | | |
| PUBLIC ROAD | +95.71 | 1+66.71 | 0.71 | SB | Durable Paint | | | | | | | | | | | | | | | | | | | | | | |
| PUBLIC ROAD | +95.71 | 1+31.71 | 0.36 | BOTH | Durable Paint | | | | | | | | | | | | | | | | | | | | | | |
| PUBLIC ROAD | 1+66.71 | 4+23.22 | 2.57 | NB | Durable Paint | | | | | | | | | | | | | | | | | | | | | | |
| PUBLIC ROAD | 1+66.71 | 2+16.71 | 0.50 | SB | Durable Paint | | | | | | | | | | | | | | | | | | | | | | |
| PUBLIC ROAD | 2+81.85 | 3+48.85 | 0.67 | SB | Durable Paint | | | | | | | | | | | | | | | | | | | | | | |
| PUBLIC ROAD | 4+07.00 | 4+23.22 | 0.16 | SB | Durable Paint | | | | | | | | | | | | | | | | | | | | | | |
| Factored Total: Durable Paint | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 0 Bid Quantity: Painted Pavement Markings, Durable | | | | | | | | | | | | | | | | | | | | | | | | | | | |



1459 GRAND AVENUE
Des Moines, Iowa 50309
P: 515-226-0128
F: 515-223-9873

0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
TYPICAL SECTIONS AND DETAILS

KG PROJECT TEAM:
ROR:
SDM:
CPM:

| DATE | REVISION DESCRIPTION |
|------|----------------------|
| | |
| | |
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| | |

DATE: 11-13-2020

SHEET NUMBER:

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DATE PLOTTED: 11/13/2020 11:59 AM
DRAWN BY: JLM
CHECKED BY: JLM

ESTIMATED PROJECT QUANTITIES

| ITEM NO. | ITEM DESCRIPTION | UNIT | QUANTITY |
|----------|--|------|----------|
| 1 | CLEARING AND GRUBBING | LS | 1 |
| 2 | TOPSOIL STRIP, SALVAGE AND SPREAD | LS | 1 |
| 3 | EXCAVATION | SY | 1,848 |
| 4 | SUBGRADE PREPARATION | SY | 1,848 |
| 5 | SANITARY SEWER GRAVITY MAIN, TRENCHED, PVC, 8 IN. DIA. | LF | 209 |
| 6 | SANITARY SEWER SERVICE STUB, PVC 4 IN. DIA. | EA | 1 |
| 7 | STORM SEWER, TRENCHED, RCP, 15 IN. DIA. | LF | 69 |
| 8 | STORM SEWER, TRENCHED, RCP, 18 IN. DIA. | LF | 242 |
| 9 | STORM SEWER, TRENCHED, RCP, 24 IN. DIA. | LF | 182 |
| 10 | STORM SEWER, 24 IN. RCP APRON WITH APRON GUARD | EA | 1 |
| 11 | WATER MAIN, TRENCHED, PVC, 8 IN. DIA. | LF | 390 |
| 12 | VALVE 8 IN. DIA. | EA | 2 |
| 13 | TAPPING SLEEVE AND VALVE | EA | 1 |
| 14 | FIRE HYDRANT ASSEMBLY | EA | 1 |
| 15 | BLOWOFF HYDRANT | EA | 1 |
| 16 | SANITARY MANHOLE, TYPE SW-301, 48 IN. DIA | EA | 1 |
| 17 | STORM INTAKE, TYPE SW-505 | EA | 3 |
| 18 | STORM INTAKE, TYPE SW-506 | EA | 3 |
| 19 | PAVEMENT P.C.C. 8 IN. | SY | 1,655 |
| 20 | SIDEWALK, P.C.C. 4 IN | SF | 248 |
| 21 | DETECTABLE WARNING PANELS | SF | 16 |
| 22 | PAVEMENT HMA REMOVAL | SY | 176 |
| 23 | GRAVEL SURFACE REMOVAL | SY | 67 |
| 24 | FENCE REMOVAL | LF | 70 |
| 25 | PERMANENT ROAD CLOSURE URBAN SI-182 | EA | 1 |
| 26 | PAINTED PAVEMENT MARKINGS, WATERBORNE | STA | 6.65 |
| 27 | PAINTED PAVEMENT SYMBOLS, WATERBORNE | EA | 10 |

ESTIMATE REFERENCE INFORMATION

DATA LISTED BELOW IS FOR INFORMATIONAL PURPOSE ONLY AND SHALL NOT CONSTITUTE A BASIS FOR ANY EXTRA WORK ORDERS.

| ITEM NO. | DESCRIPTION |
|----------|--|
| | THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE CITY OF CUMMING SUPPLEMENTAL SPECIFICATIONS, AND THE CUMMING WATER UTILITY SPECIFICATIONS SHALL APPLY TO ALL WORK ON THIS PROJECT EXCEPT AS MODIFIED HEREIN. ALL REFERENCES TO SECTIONS AND FIGURES ARE TO THE 2020 SUDAS SPECIFICATIONS. |
| | ALL REFERENCES TO SECTIONS AND FIGURES ARE TO THE 2020 SUDAS STANDARD SPECIFICATIONS AND CITY OF CUMMING WATER UTILITY STANDARD SPECIFICATIONS. |
| 1 | CLEAR AND GRUB ALL AREAS AFFECTED BY GRADING OPERATIONS. THE CONTRACTOR SHALL FIELD VERIFY CLEARING AND GRUBBING NEEDS PRIOR TO BIDDING. INCLUDES REMOVAL OF HOUSES, BUILDINGS, APPURTENANCES, TREES AND UTILITIES INCLUDING WELL ABANDONMENTS ASSOCIATED WITH SAID HOUSES. REMOVAL OF ALL FENCES AND TREES INCLUDED IN THIS BID ITEM. ALL MATERIAL THAT IS REMOVED FROM THE PROJECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR. |
| 2 | STRIP, SALVAGE AND SPREAD THE TOP 6 INCHES OF SOIL IN ALL DISTURBED AREAS. RESPREAD TOPSOIL IN PLAT 1 AREA. STOCKPILE TOPSOIL FOR RESPREAD IN FUTURE PLAT 2. THE TOP 6 INCHES OF SOIL TO BE RESPREAD SHALL BE FREE OF ROCK AND DEBRIS AND BE SUITABLE FOR THE GROWTH OF GRASS. |
| 3 | EXCAVATION INCLUDES ALL WORK NECESSARY TO ACHIEVE PROPER GRADES AS SHOWN IN PLANS. NO PAYMENT FOR OVERHAUL SHALL BE ALLOWED. SHRINKAGE WAS ASSUMED TO BE 30%. |
| 4 | REFER TO SHEET 2 FOR TYPICAL LOCATIONS AND THICKNESS. COMPACT THE TOP 12 INCHES OF SUBGRADE TO NOT LESS THAN 95% MAXIMUM STANDARD PROCTOR DRY DENSITY WITH A MOISTURE CONTENT AS SPECIFIED IN THE GEOTECHNICAL REPORT. SUBGRADE TO BE PREPARED IN 2 - 6 INCH LIFTS. |
| 5-6 | REFER TO FIG. 3010.101 - TRENCH BEDDING AND BACKFILL ZONES AND FIG. 3010.103 - FLEXIBLE GRAVITY PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL. SANITARY SEWER SHALL BE SOLID WALL PVC OR PVC TRUSS PIPE. TELEWISE SANITARY SEWER PRIOR TO PAVING AND PROVIDE TELEVISION REPORT TO CITY IN HARD COPY AND DISC FORMAT. TELEVISION SHALL BE CONSIDERED INCIDENTAL. CONNECTION TO EXISTING SANITARY SEWER SHALL BE CONSIDERED INCIDENTAL. CERTIFICATION FROM A GEOTECHNICAL ENGINEER RELATED TO SETTLEMENT OF THE TRENCHES SHALL BE REQUIRED BEFORE PAVING. |
| 7-10 | REFER TO FIG. 3010.101 - TRENCH BEDDING AND BACKFILL ZONES, FIG. 3010.102 - RIGID GRAVITY PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS, FIG. 3010.103 - FLEXIBLE GRAVITY PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL. PIPE LENGTH INCLUDES PIPE APRON. TELEWISE STORM SEWER PRIOR TO PAVING AND PROVIDE TELEVISION REPORT TO CITY IN HARD COPY AND DISC FORMAT. TELEVISION SHALL BE CONSIDERED INCIDENTAL. |
| | WHERE THE STORM SEWER CROSSES OVER THE WATER MAIN LOCATE ONE FULL LENGTH OF REINFORCED CONCRETE PIPE (RCP) WITH FLEXIBLE O-RING GASKET JOINTS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN. |
| 11-15 | REFER TO FIG. 3010.101 - TRENCH BEDDING AND BACKFILL ZONES AND FIG. 3010.104 - PRESSURE PIPE TRENCH BEDDING FOR BEDDING AND BACKFILL DETAILS. GRANULAR PIPE BEDDING MATERIAL SHALL BE CONSIDERED INCIDENTAL. REFER TO FIG. 5010.101 FOR THRUST BLOCK DETAILS. REFER TO FIG. 5010.102 FOR TRACER WIRE DETAILS. CONNECTIONS TO EXISTING WATER MAIN, ALL FITTINGS, PIPE BEDDING MATERIAL, POLYETHYLENE ENCASEMENT, THRUST BLOCKS AND TRACER WIRE SYSTEM SHALL BE CONSIDERED INCIDENTAL. ALL WATER MAIN SHALL BE INSTALLED A MINIMUM OF 5.5 FEET BELOW FINISHED GRADE. |
| 11 | INCLUDES VALVE, VALVE BOX AND COVER, VALVE BOX EXTENSION, AND VALVE STEM EXTENSION. |
| 14-15 | REFER TO FIG. 5020.201 - FIRE HYDRANT ASSEMBLY FOR FIRE HYDRANT CONSTRUCTION DETAILS. INCLUDES ANCHORING TEE, ANCHORING ELBOW, GATE VALVE, VALVE BOX, ANCHORING PIPE, ANCHORING COUPLING, ELBOWS, TRACER WIRE STATION, FIRE HYDRANT AND THRUST BLOCKS. |
| 16 | REFER TO FIG. 6010.301 - CIRCULAR SANITARY SEWER MANHOLE (SW-301) FOR CONSTRUCTION DETAILS. REFER TO FIG. 6010.601 - CASTINGS FOR SANITARY SEWER MANHOLES FOR CASTING DETAILS. TYPE B CASTINGS REQUIRED FOR ALL MANHOLES IN PAVEMENT. THE MAXIMUM HEIGHT OF ADJUSTING RINGS ALLOWED FOR MANHOLE CASTINGS IS 12 IN. ROTATE STRUCTURE CONES AWAY FROM FUTURE SIDEWALKS. |
| 17 | REFER TO FIG. 6010.505 - DOUBLE GRATE INTAKE (SW-505) FOR CONSTRUCTION DETAILS. REFER TO FIG. 6010.602 - CASTINGS FOR STORM SEWER MANHOLES FOR CASTING DETAILS. TYPE F CASTINGS REQUIRED FOR ALL MANHOLES IN PAVEMENT. THE MAXIMUM HEIGHT OF ADJUSTING RINGS ALLOWED FOR MANHOLE CASTINGS IS 12 INCHES. ROTATE STRUCTURE CONES AWAY FROM FUTURE SIDEWALKS. |
| 18 | REFER TO FIG. 6010.50 - DOUBLE GRATE INTAKE WITH MANHOLE (SW-506) FOR CONSTRUCTION DETAILS. REFER TO FIG. 6010.602 - CASTINGS FOR STORM SEWER MANHOLES FOR CASTING DETAILS. TYPE F CASTINGS REQUIRED FOR ALL MANHOLES IN PAVEMENT. THE MAXIMUM HEIGHT OF ADJUSTING RINGS ALLOWED FOR MANHOLE CASTINGS IS 12 INCHES. ROTATE STRUCTURE CONES AWAY FROM FUTURE SIDEWALKS. |
| 19 | REFER TO FIG. 7030.101 - JOINTS FOR CONSTRUCTION. REFER TO INTERSECTION SHEET FOR JOINTING AND GEOMETRIC PLAN DETAILS. TYPICAL 'CD' JOINT SPACING IS 15 FEET. COARSE AGGREGATE FOR PCC PAVEMENT SHALL BE CLASS 3 DURABILITY. |
| 20 | REFER TO FIG. 7030.210 FOR GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK AND FIG. 7030.207 - CURB RAMPS FOR CLASS B OR C SIDEWALK FOR CONSTRUCTION DETAILS. REFER TO INTERSECTION DETAILS FOR SIDEWALK GRADES. SIDEWALK SLOPES SHALL NOT EXCEED A CROSS SLOPE OF 1.5%. DETECTABLE WARNING PANELS TO BE ARMOR TILE ADA SOLUTIONS OR APPROVED EQUAL, RED IN COLOR ACCESSIBLE RAMPS SHALL BE 6" THICK P.C.C. AND CROSS SLOPES SHALL NOT EXCEED 1.5%. |
| 22-24 | INCLUDES ALL MATERIALS, EQUIPMENT AND LABOR TO PERFORM REMOVALS. ALL REMOVALS SHALL BECOME PROPERTY OF THE CONTRACTOR. |
| 25 | REFER TO IOWA DEPARTMENT OF TRANSPORTATION STANDARD ROAD PLAN DRAWING S-182 AND DETAIL ON SHEET 2 FOR CONSTRUCTION DETAILS. SIGNS SHALL BE BLACK DIAMOND WITH RED DOTS. |
| 26-27 | REFER TO IDOT STD. RD. PLAN PM-110 - LINE TYPES, TABULATIONS 108-22 AND 108-29 ON SHEET 2 AND SHEETS 6-7 FOR LOCATIONS. INCLUDES ALL MATERIAL, LABOR AND EQUIPMENT, CLEANING AND PREPARING THE PAVEMENT SURFACE, GROOVE MARKINGS AND SYMBOLS INTO SURFACE, AND APPLICATION OF PAVEMENT MARKINGS AND SYMBOLS IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS. |

GENERAL NOTES

- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING:
 - CITY OF CUMMING
 - APPROPRIATE UTILITY COMPANIES
 - OWNER
 - CIVIL DESIGN ADVANTAGE
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN ALL SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT. INCLUDING STAGING OF CONSTRUCTION DETAILS.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- THE CONTRACTOR MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR THE CITY, TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY.
- SPECIAL CARE SHALL BE TAKEN WHEN FORMING AT INTERSECTIONS SO THE PROFILES SHOWN ON THE PLANS AND THE ELEVATIONS SHOWN ON THE INTERSECTION DETAILS ARE OBTAINED. SHORT LENGTHS OF FORMS OR FLEXIBLE FORMS MAY BE NECESSARY AT THESE LOCATIONS.
- TO OBTAIN THE CORRECT FORM GRADES AT LOW POINTS WHERE INTAKES ARE LOCATED, THE CONTRACTOR MUST EXERCISE ADDITIONAL CARE WHEN PAVING FULL WIDTH PAVEMENTS. THIS MAY REQUIRE POURING ONE HALF OF THE PAVEMENT AT A TIME OR OTHER METHODS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE PROPOSED AND EXISTING RIGHT OF WAY, CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS.
- PLAN AND PROFILE SHEETS INCLUDED IN THE PROJECT ARE FOR THE PURPOSE OF ALIGNMENT, LOCATION AND SPECIFIC DIRECTIONS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT. IRRELEVANT DATA ON THESE SHEETS IS NOT TO BE CONSIDERED A PART OF THIS CONTRACT.
- THE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH AND COMPLY WITH OSHA STANDARDS. NOTHING WITHIN THESE PLANS SHALL RELIEVE THE CONTRACTOR OF THIS REQUIREMENT.
- CIVIL DESIGN ADVANTAGE WILL PROVIDE ALL CONSTRUCTION STAKING ON THIS PROJECT. NOTIFY MIKE BROONER (369-4400) A MINIMUM OF 48 HOURS BEFORE CONSTRUCTION STAKES ARE REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES REQUIRED ON THE STORM WATER POLLUTION PREVENTION PLAN.
- IN THE EVENT OF A DISCREPANCY BETWEEN DETAILED PLANS AND QUANTITIES, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL. ALL TRAFFIC CONTROL SHALL COMPLY WITH MUTCD AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO ENGINEER FOR NOTATION ON AS-BUILTS INCLUDING LOCATION, TYPE OF TILE, & TILE ELEVATION.
- PRIOR TO ANY WORK AT THIS SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- CONTRACTOR SHALL COMPLY WITH ALL PROWAG A.D.A. REQUIREMENTS FOR ACCESSIBLE SIDEWALK RAMPS INCLUDING RAISED TRUNCATED DOME DETECTABLE WARNINGS.
- CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- ALL MATERIAL TESTING SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION.
- ALL MANHOLE THREE PIECE CASTINGS SHALL BE BOXED OUT IN THE PAVEMENT.
- THE GRADING OF THE DETENTION FACILITY AND INSTALLATION OF THE STORM SEWER SYSTEM SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN THE SIZE OF IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.
- BENDS SHOULD BE INSTALLED AS NEEDED THROUGHOUT THE PLAN.
- WATER MAIN INSTALLATION SHALL COMPLY WITH THE CITY OF CUMMING WATER UTILITY STANDARD SPECIFICATIONS.

GRADING NOTES

- GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS INC., DATED AUGUST 24, 2020, PROJECT NO. 08205135
- SOILS EXPOSED IN RELATIVELY DEEPER CUT AREAS ARE ANTICIPATED TO BE SENSITIVE TO DISTURBANCE DURING CONSTRUCTION, AS WELL AS REQUIRE AIR DRYING OR CHEMICAL MODIFICATION TO ACHIEVE SUITABLE COMPACTION AND STABILITY.
- WHERE RELATIVELY HIGH WATER CONTENT SOILS ARE ENCOUNTERED, THE SUBGRADE DEVELOPMENT MAY REQUIRE STRIPPING/UNDERCUTTING OF SITE SOILS TO DEPTHS OF AT LEAST 2 FEET BELOW PLANNED SUBGRADE LEVEL TO SUPPORT PAVEMENT SECTIONS ABOVE AT LEAST 2 FEET OF NEW STRUCTURAL FILL.
- AT LEAST 1-1/2 FEET OF LOW PLASTICITY COHESIVE SOIL REQUIRED BELOW FLOOR SLABS AND GRADE SUPPORTED EXTERIOR SLABS.
- DEWATERING OF EXCAVATIONS SHOULD BE ANTICIPATED.
- UNDERCUTS AND PLACEMENT OF AT LEAST 6 INCHES OF CRUSHED STONE SHOULD BE ANTICIPATED AT THE BASE OF DEEPER EXCAVATIONS.
- REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION REGARDING FILL COMPACTION REQUIREMENTS, UTILITY TRENCH BACKFILL, CHEMICAL TREATMENT OF SOILS, FILL MATERIAL TYPES, ETC.

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 USER: JLD



1459 GRAND AVENUE
 Des Moines, Iowa 50309
 P: 515-226-0128
 F: 515-223-9873

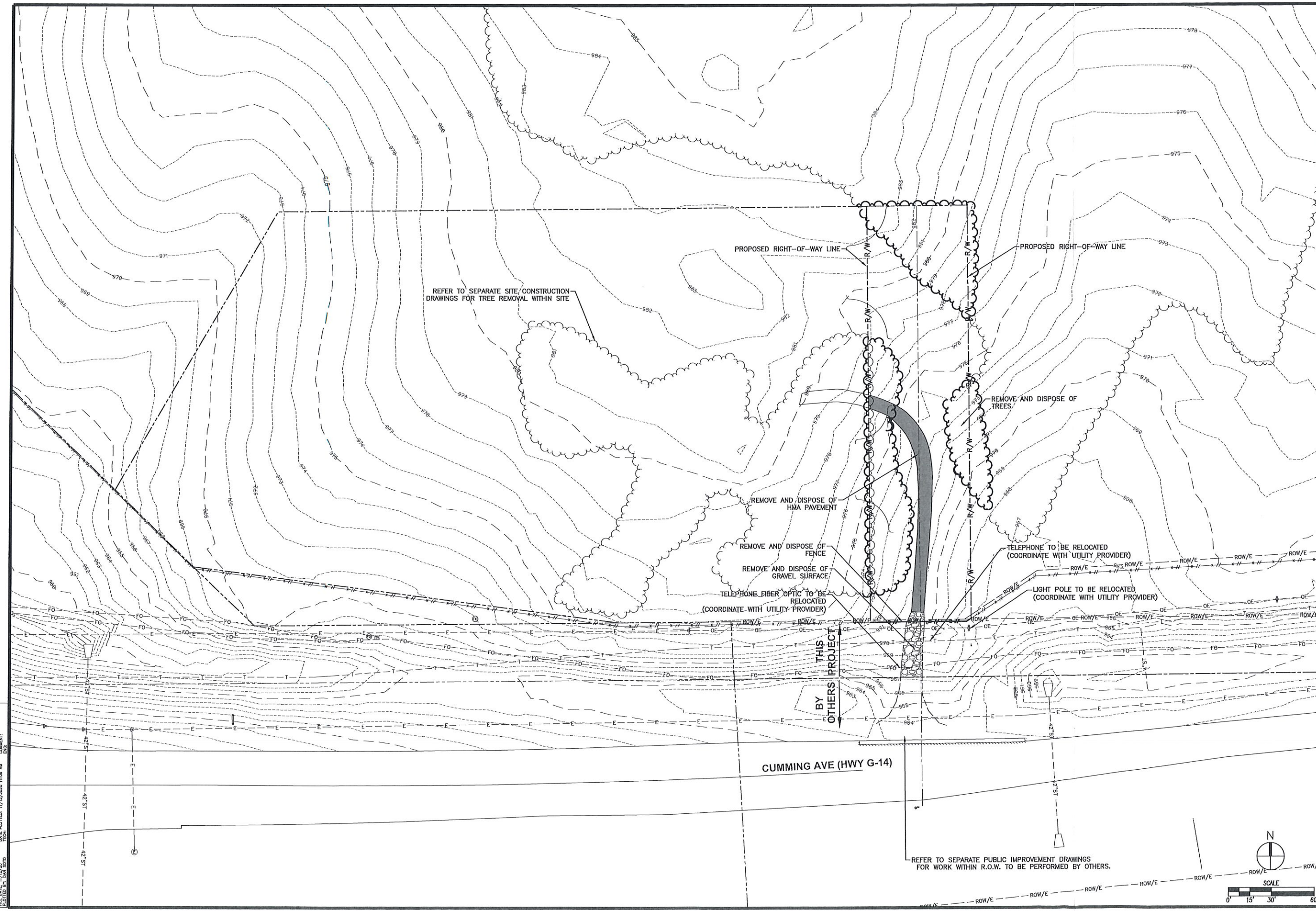
0198 - CUMMING, IOWA
 I-35 & CUMMING AVENUE
 QUANTITIES, NOTES AND
 REFERENCE NOTES

KG PROJECT TEAM:
 RDR:
 SDM:
 CPL:

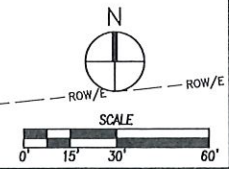
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DATE: 11-13-2020

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3 OF 10



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1459 GRAND AVENUE
 Des Moines, Iowa 50309
 P: 515-226-0128
 F: 515-223-9873

0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
TOPOGRAPHIC SURVEY AND
DEMOLITION PLAN

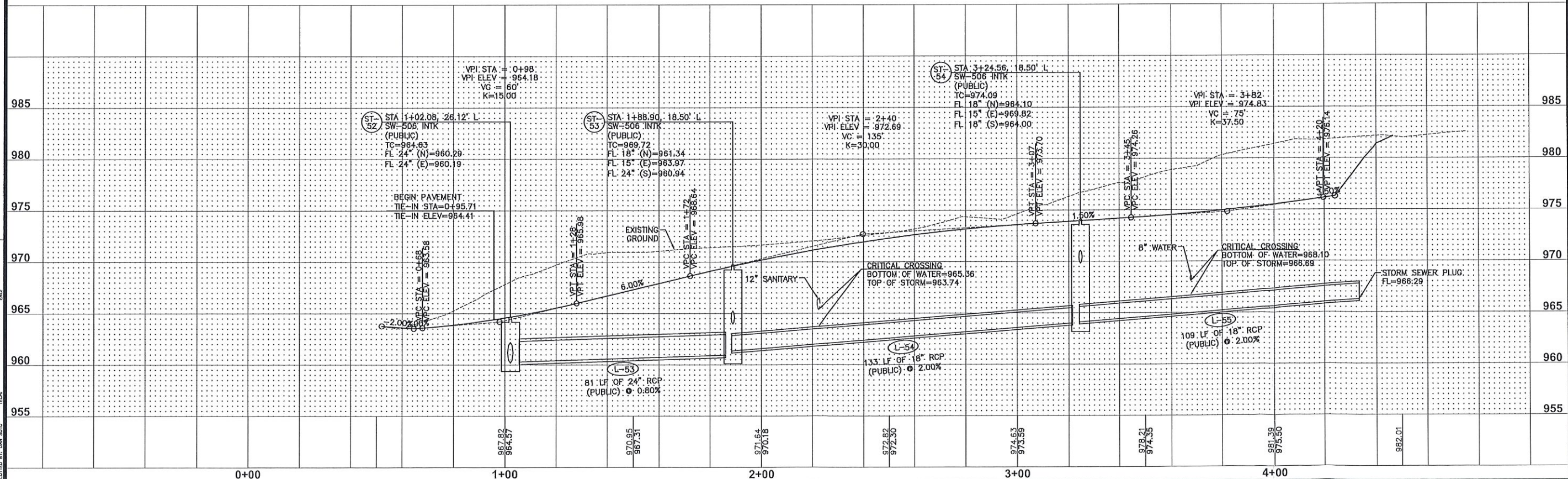
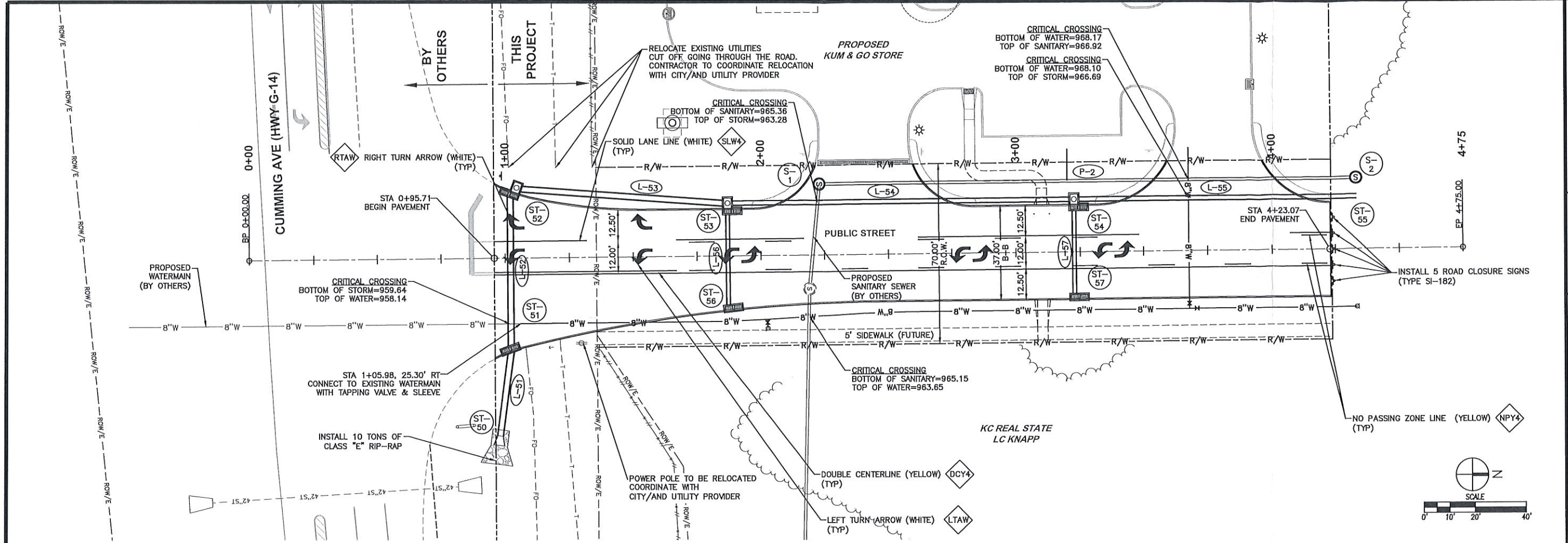
KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

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DATE: 11-13-2020

SHEET NUMBER:
4 OF 10

REVISIONS



FILE: H:\2025\0198-CUMMING-135-Storm-Sewer-Plan-Profile.dwg
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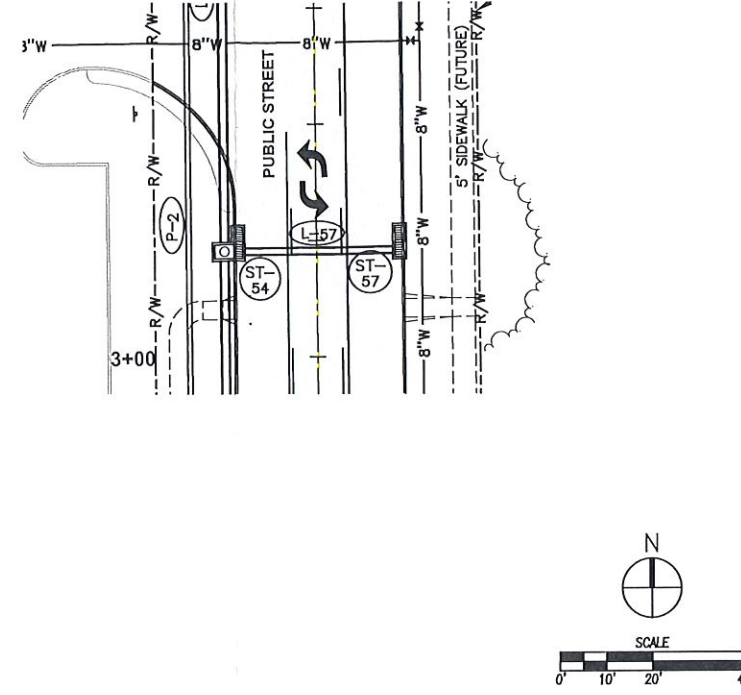
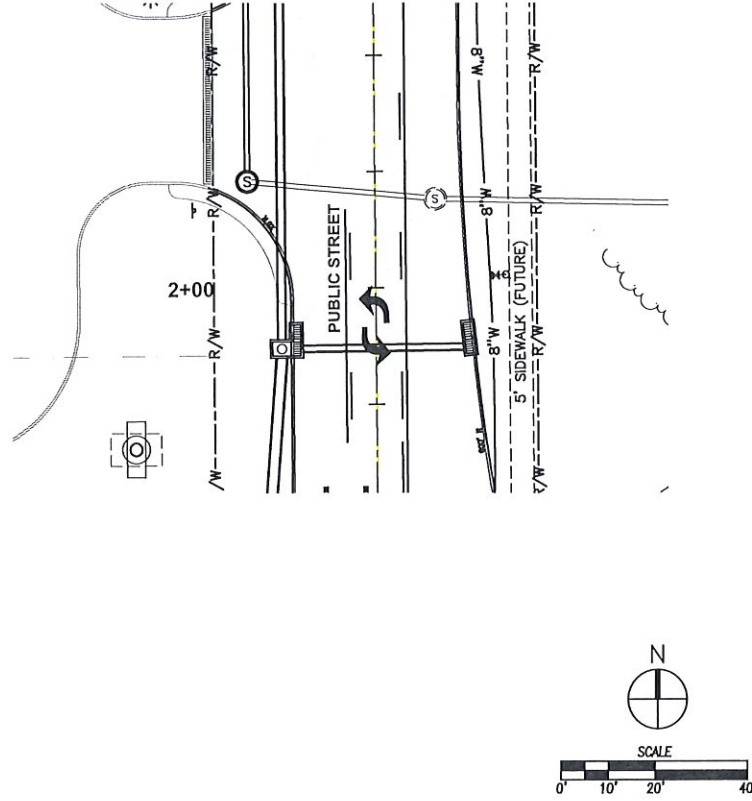
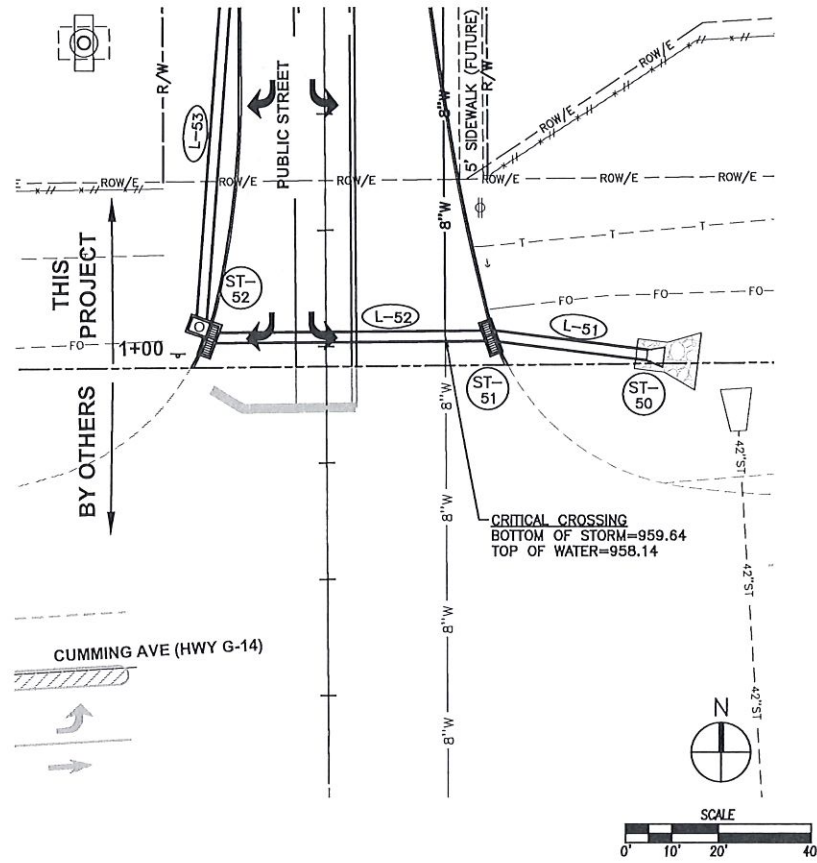
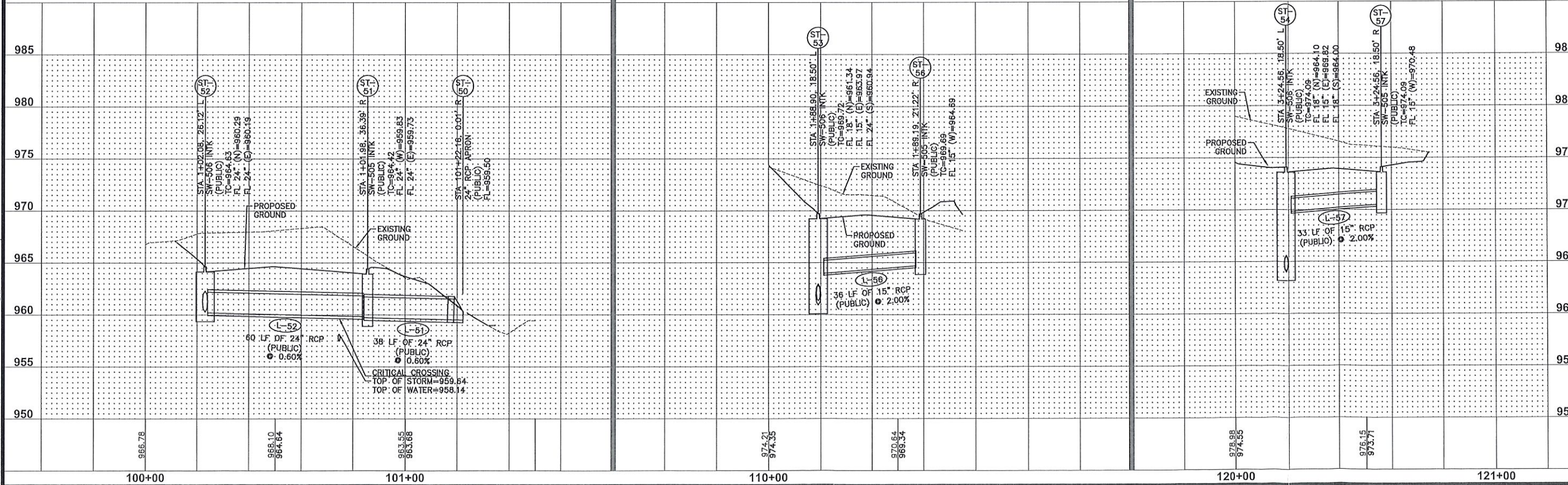


1459 GRAND AVENUE
 Des Moines, Iowa 50309
 P: 515-226-0128
 F: 515-223-9873

0198 - CUMMING, IOWA
I-35 & CUMMING AVENUE
STORM SEWER PLAN & PROFILE

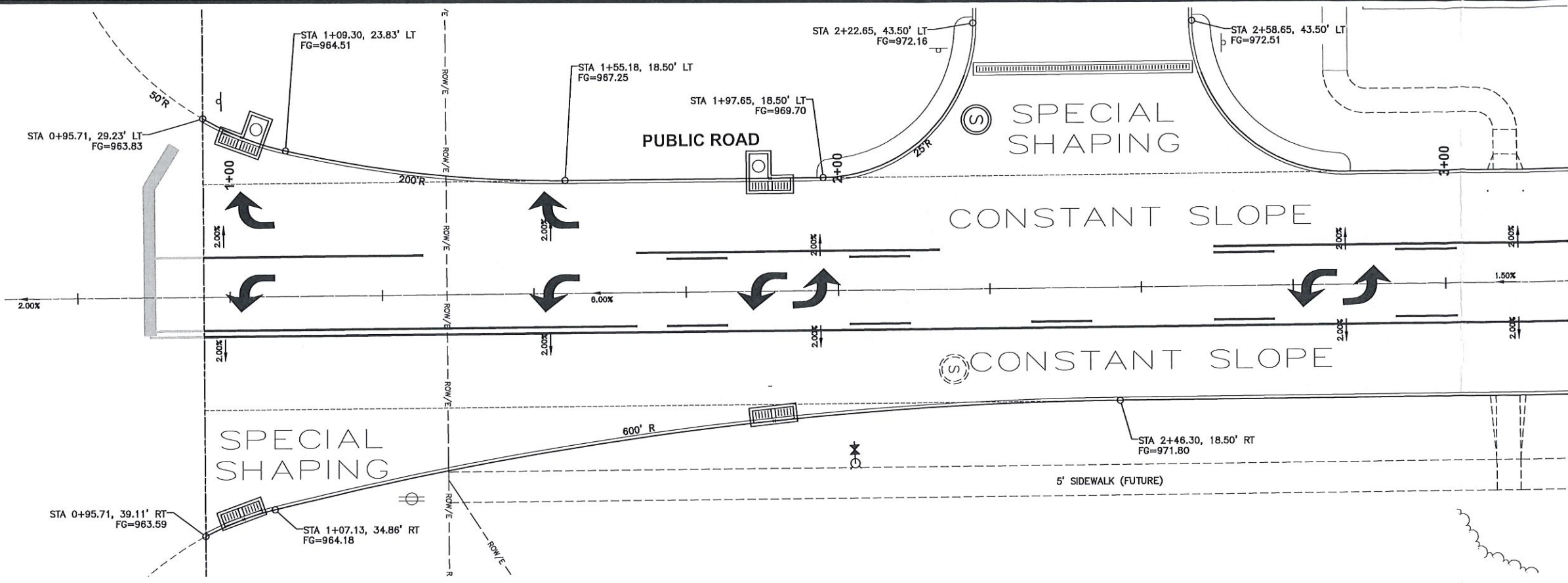
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| KG PROJECT TEAM: | |
| RDR: | |
| SDM: | |
| CPM: | |
| REVISION DESCRIPTION | REVISIONS |
| DATE | |
| DATE: | 11-13-2020 |
| SHEET NUMBER: | 7 OF 10 |

FILE: \\s0203\projects\198-0198\198-0198-PUBLIC IMPROVEMENT DRAWINGS.DWG
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 PLOTTED BY: JAK.SOT

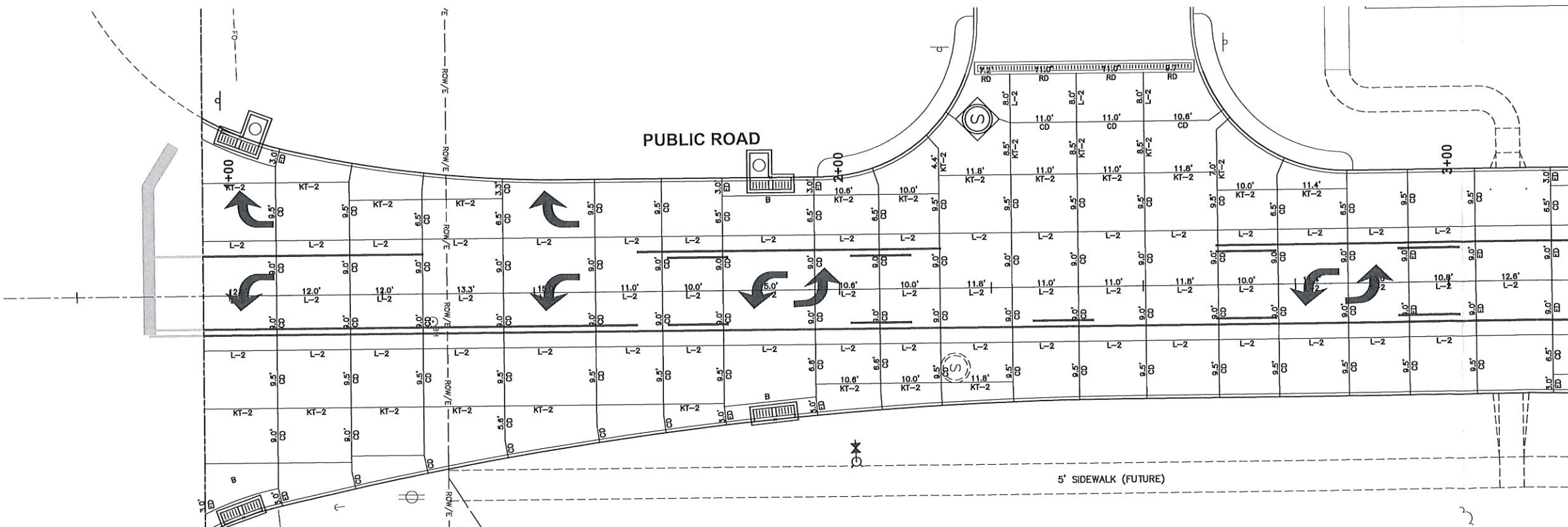


KG PROJECT TEAM:
 RDR:
 SDM:
 CFM:

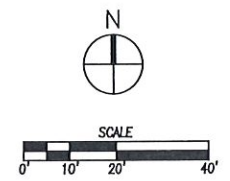
| DATE | REVISION DESCRIPTION |
|------|----------------------|
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GEOMETRICS AND STAKING LAYOUT



JOINTING PLAN



- NOTES:**
- ELEVATIONS SHOWN ARE TOP OF SLAB AND/OR FORM GRADE.
 - DROP CURBS AT LOCATIONS SHOWN FOR FUTURE ACCESSIBLE RAMPS.
 - REFER TO FIGURE 6010.514 FOR GRATE INTAKE BOXOUT FOR PCC PAVEMENT DETAILS.

FILE: H:\2020\202005\050\050005-PUBLIC IMPROVEMENT DRAWINGS.DWG
 DATE: 11/13/2020 11:10 AM
 PLOTTER: HP DesignJet T1100
 PLOT: 11/13/2020 11:10 AM
 USER: JLM



1459 GRAND AVENUE
 Des Moines, Iowa 50309
 P: 515-226-0128
 F: 515-223-9873

0198 - CUMMING, IOWA
 I-35 & CUMMING AVENUE
 INTERSECTION DETAILS

KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

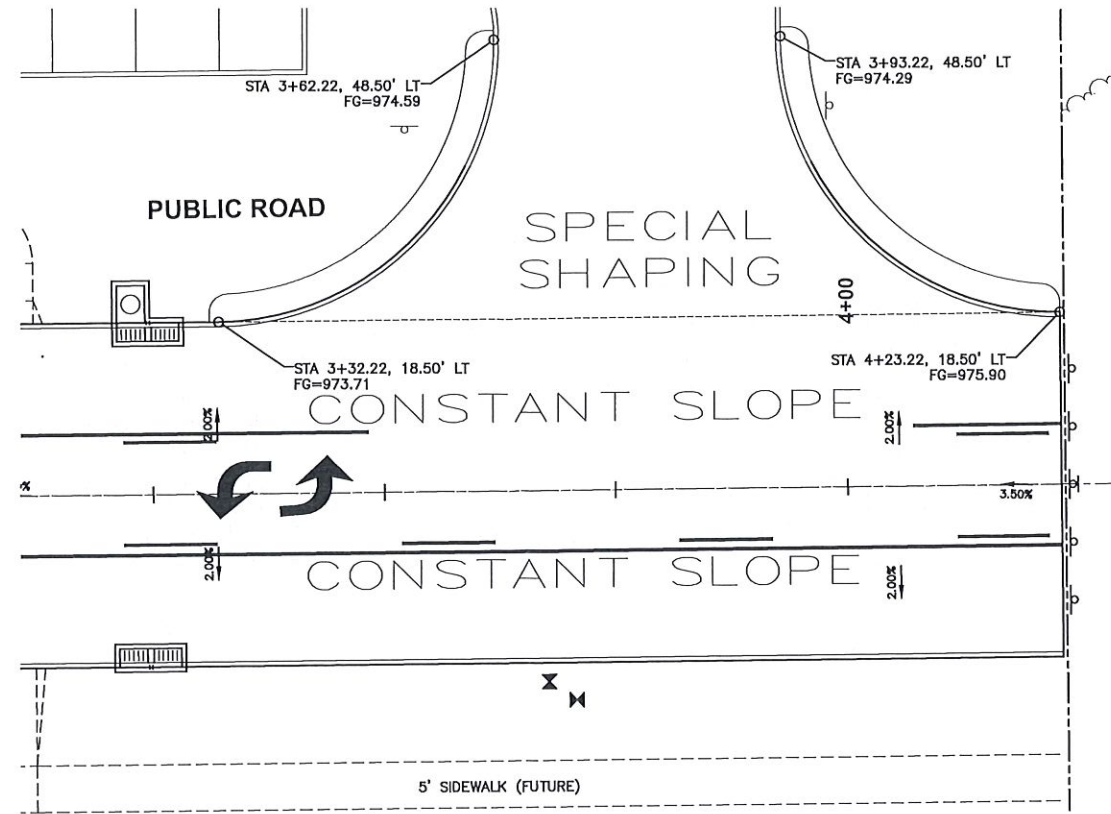
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DATE: 11-13-2020

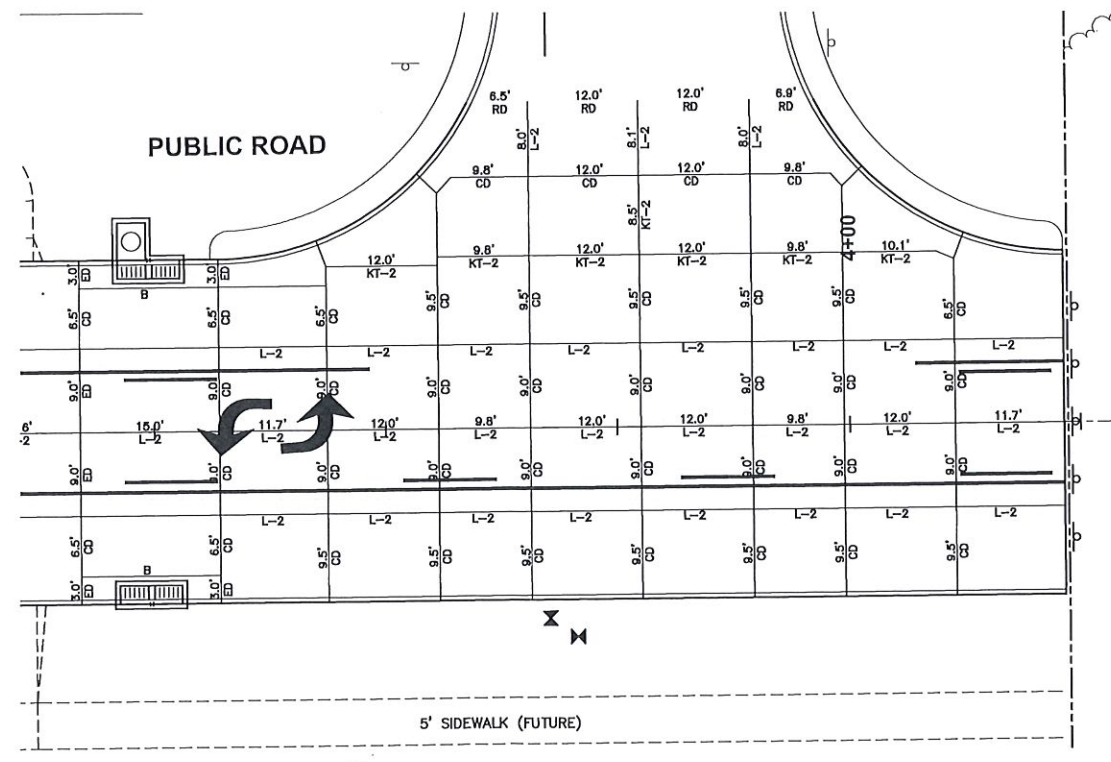
SHEET NUMBER:

9 OF 10

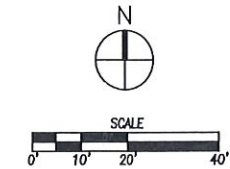
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 PLOTTED BY: JAM/STB
 DATE: 11/13/2025 11:10 AM
 TECH:



GEOMETRICS AND STAKING LAYOUT



JOINTING PLAN



- NOTES:**
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INTERSECTION DETAILS

KG PROJECT TEAM:
 RDR:
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 CPM:

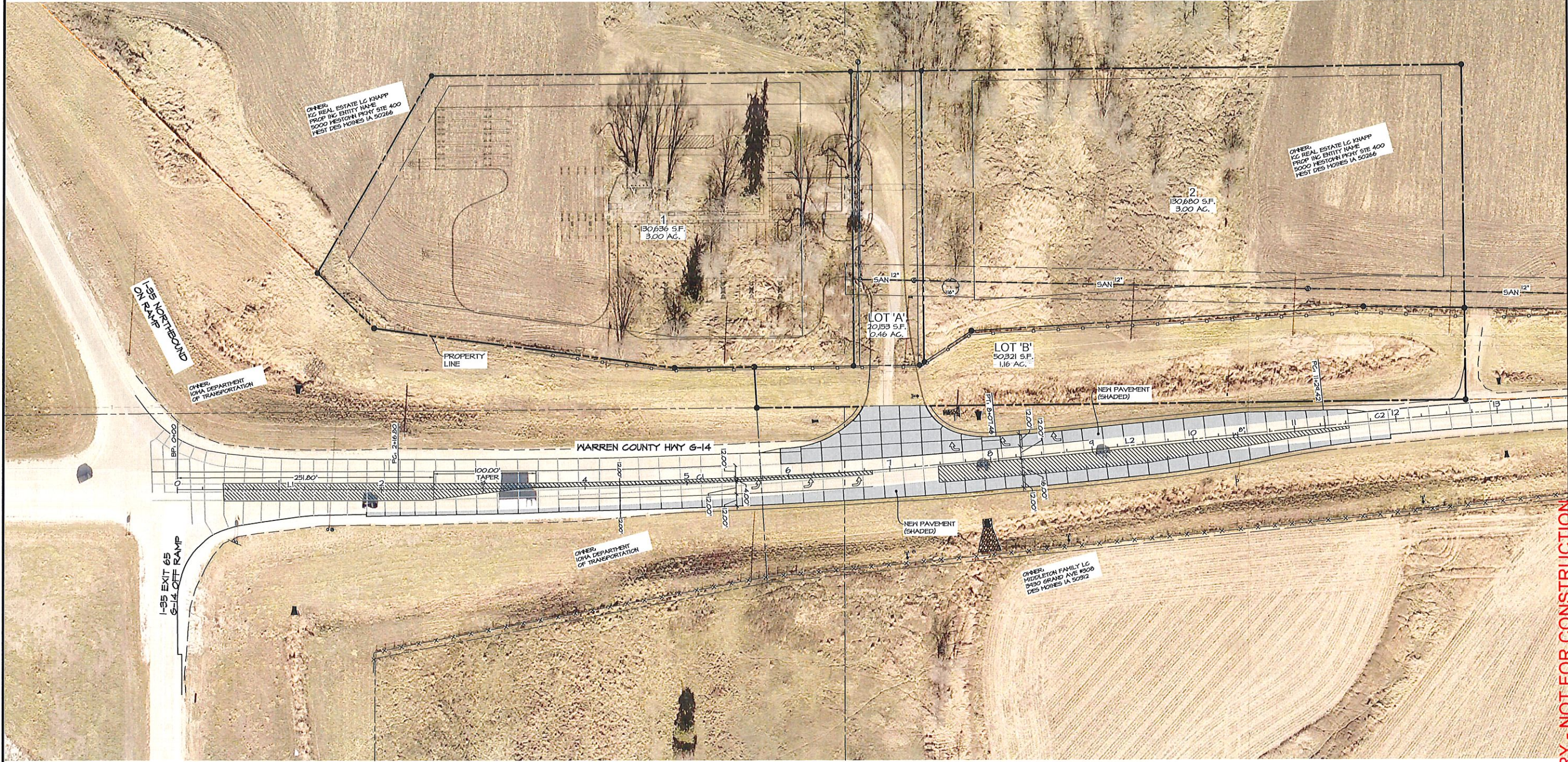
| DATE | REVISION DESCRIPTION |
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DATE: 11-13-2020

SHEET NUMBER:
10 OF 10

REVISIONS

PLOT BY: ALSTIN ROEBER - 20220115 - G:\E-FILES-000000000\2022 Drawing\Submittals\20220115 - ANS - BROAD D (3600 X 2500 INCHES) - DWG TO PER IAS - CEC-RES-TEST-07B - PLAN SCALE = 1/1



I-35 NORTHBOUND
ON RAMP

I-35 EXIT 65
6-14 OFF RAMP

OWNER: LG REAL ESTATE LG KNAPP
PROP INC ENTITY NAME
5000 WESTON HWY SITE 400
WEST DES MOINES IA 50266

OWNER: LG REAL ESTATE LG KNAPP
PROP INC ENTITY NAME
5000 WESTON HWY SITE 400
WEST DES MOINES IA 50266

1
130,636 S.F.
3.00 AC.

2
130,680 S.F.
3.00 AC.

LOT 'A'
20,153 S.F.
0.46 AC.

LOT 'B'
50,321 S.F.
1.16 AC.

MARREN COUNTY HWY 6-14

100.00' TAPER

OWNER: IONIA DEPARTMENT OF TRANSPORTATION

OWNER: MIDDLETON FAMILY LG
3930 GRAND AVE #508
DES MOINES IA 50312

PRELIMINARY - NOT FOR CONSTRUCTION

COUNTY HIGHWAY 614

PCC PAVEMENT WIDENING, -----

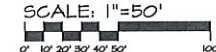
PAVEMENT MARKINGS PLAN

PUBLISH DATE: November 13, 2020

| | |
|-----------------|---------------|
| DATE OF SURVEY: | JULY 23, 2020 |
| DESIGNED BY: | PC |
| DRAWN BY: | MEH |

CEC
Civil Engineering Consultants, Inc.
2400 86th Street, Unit 12, Des Moines, Iowa, 50322
515.276.4884 · Fax: 515.276.7084 · mail@cecinc.com

HORIZONTAL SCALE
1"=50' PRINTED ON 22"x34"
1"=100' PRINTED ON 11"x17"



SHEET
D-3
OF 30
E-0345

**NOTICE OF PUBLIC HEARING
CITY OF CUMMING**

**AMENDING CHAPTER 69 PARKING
REGULATIONS**

Notice is hereby given that the City Council of the City of Cumming, Iowa, will conduct a public hearing on Monday, November 23, 2020, 7:00 P.M., at City Hall, 649 N. 44th Street, Cumming, Iowa, to receive comments on the following:

Amending the City of Cumming's Code of Ordinances,
Chapter 69 Parking Regulations

Additional information regarding this request may be obtained by contacting the Deputy Clerk at 981-9214. Anyone wishing to comment on this matter should attend this hearing or submit written comments at any time prior to the hearing. Send comments to City of Cumming, PO Box 100, Cumming, IA, 50061.

ORDINANCE 2020-08

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF CUMMING, IOWA, BY AMENDING PROVISIONS PERTAINING TO CHAPTER 69 PARKING REGULATIONS

BE IT ENACTED by the City Council of the City of Cumming, Iowa:

SECTION 1. CHAPTER MODIFIED. Chapter 69.08 of the Code of Ordinances of the City of Cumming, Iowa, is repealed and the following adopted in lieu thereof:

69.08 NO PARKING ZONES No one shall stop, stand or park a vehicle in any of the following specifically designated no parking zones except when necessary to avoid conflict with other traffic or in compliance with the direction of a peace officer or traffic control signal.

(Code of Iowa, Sec. 321.236[1])

1. North 43rd Street, on the west side, from Cumming Avenue to Alice Avenue.
2. Alice Avenue, on the south side, from North 44th Street to North 43rd Street.
3. Alice Avenue, on the south side, from North 43rd Street to the east end of the street.
4. Birch Avenue, on the south side, from North 44th Street to North 43rd Street.
5. North 43rd Street, on the west side, from Birch Avenue to Callison Avenue.
6. N. Callison Avenue, on the south side from North 44th Street to North 43rd Street
7. N. Callison Avenue, on the south side, from North 43rd to the east end of the street
8. N. Dawson Avenue, on the south side from North 44th Street to North 43rd street
9. N. Dawson Avenue, on the south side, from North 43rd to the east end of the street
10. Cumming Avenue, on the north side, from North 44th Street to North 43rd Street (from north side of sidewalk to center of roadway).
11. Cumming Avenue, on the south side, from North 44th Street to North 43rd Street (from existing fence line to center of roadway).

SECTION 2. SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision, or part thereof not adjudged invalid or unconstitutional.

SECTION 3. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval, and publication as provided by law.

Passed and Approved by the Council the _____ day of _____, 2020.

Tom Becker, Mayor

ATTEST:

Robert Fagen, City Administrator/Clerk

First Reading: 11/23/20

Second Reading:

Third Reading:

I certify that the foregoing was published as Ordinance 2020-08 on the _____ day of _____, 2020.

Angie Ritchie, Deputy Clerk

CLERK'S CERTIFICATE

State of Iowa)
) SS
County of Warren)

I, Angie Ritchie, Deputy Clerk of the City of Cumming, Iowa, hereby certify that the "ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF CUMMING, IOWA, BY AMENDING PROVISIONS PERTAINING TO CHAPTER 69.08 NO PARKING ZONES," was adopted by the City Council of the City of Cumming, Iowa, and that an official copy of said Code of Ordinances is on file at the office of the City Clerk, City of Cumming, Iowa, and that Ordinance No. 2020-08 adopting said Code of Ordinances was passed by the City Council of the City of Cumming, Iowa, on the _____ day of _____, 2020, signed by the Mayor on the _____ day of _____, 2020; duly recorded and published as provided by law, and that the effective date of said Code is _____, 2020.

Witness my hand and official seal of the City of Cumming, Iowa, this _____ day of _____, 2020.

SIGNED: _____
Angie Ritchie, Deputy Clerk
CITY OF CUMMING, IOWA

CITY OF CUMMING

APPLICATION TO SERVE ON A CITY BOARD OR COMMISSION

Name: Jackie Haan Occupation: Law Enforcement Analyst

[Redacted] Cumming, IA [Redacted]

Best phone number to reach you: [Redacted]

Email: [Redacted]

How long have you been a resident: Since 2012

I am interested in serving on the following Board/Commission: Parks and Rec

List Board/Commission you currently serve on: _____

List Board/Commission you have served on in the past: _____ No _____

Describe why you are interested and what knowledge and/or experience you have that would be beneficial to the community: _____

I believe in community involvement. I just retired from the Navy Reserves and am currently employed as an analyst for the FBI. I don't have any particular Parks and Rec experience, but I do enjoy gardening and have a large garden and lots of landscaping/native scaping at our property in Prairie Shores. I have 3 young children and an interest in ensuring they grow up in a loving community.

Jackie Haan 11/6/2020
Signature Date

Please return to:
Cumming City Hall
PO Box 100
649 N 44th Street
Cumming, IA 50061

Quote To Upgrade City Hall Internet

Happy Friday Angie,

As follow up to our call yesterday, pricing is below for adding a new DSL circuit and converting your current local line bundle over to the new bundle pricing and adding a 3rd local line. Your current monthly spend is approximately \$223 per month, so you can compare to the pricing provided below.

40Mb Monthly Cost – 2 Year Term: \$109.99 (Includes Primary Line cost)

100Mb Monthly Cost – 2 Year Term: \$159.99 (Includes Primary Line cost)

Line 2: \$34.99

Line 3: \$34.99

Total Monthly Cost with 40Mb DSL: \$179.97/Projected(Budgetary) Fees & Surcharges:
\$27.39/Projected Monthly Cost: \$207.26

Total Monthly Cost with 100Mb DSL: \$229.97/Projected(Budgetary) Fees & Surcharges:
\$27.39/Projected Monthly Cost: \$245.39

**If static IP address is needed add \$10 to monthly costs above. Installation cost: \$164

**Voicemail and Caller ID is included in the bundle cost

Let me know if there's anything else that you need.

Best Regards,

The logo for LUMEN, featuring the word "LUMEN" in a bold, sans-serif font. The letter "U" is stylized with a blue horizontal bar above it. A registered trademark symbol (®) is located to the upper right of the "N".

Lynn Zinsser

Senior Account Manager – Inside SLED

St. Louis, MO

tel: 314-712-3246 | cell: 314-712-3246

lynn.zinsser@lumen.com

FY22 Budget Timeline

| | |
|---|--------------------------------------|
| Budget Discussion - Orders notice of Max Levy Hearing (MLH) | 1/11/21 – Regular Meeting |
| Notice of MLH sent to paper by noon | 1/15/21* |
| Notice of MLH is published in newspaper, online, and 3 places. (1/23-1/3**) | 1/21/21 – (19 days prior to hearing) |
| Budget Work Session | 1/25/21 – Regular Meeting |
| Public Max Levy Hearing held, Resolution Signed. Council adopts final Proposed Budget and sets Public Hearing | 2/8/21 – Regular Meeting |
| Signed Max Levy Resolution is posted online | 2/9/21 |
| Final Budget sent to newspaper by noon | 2/12/21 |
| Notice of Public Hearing is published (2/17-2/27**) | 2/18/21 – (19 days prior to hearing) |
| Public Hearing and Resolution to certify budget | 3/08/21 – Regular Meeting |
| Certified Budget to County Auditor and filed with the Iowa Dept. of Management (IDOM) | 3/31/21* |
| Person affected by the budget have 10 days after certification to file a written protest. | 4/01/21* |
| IDOM certifies taxes back to county auditor | 6/15/21* |
| Budget takes effect | 7/1/21* |

*Deadline, statutory deadlines or requirements

**Notices need to be published 10/20. No less than 10 days and no more than 20 days before the Hearing Date.