

**MIDDLEBROOK, PLANNED UNIT DEVELOPMENT in the CITY OF CUMMING,  
COUNTY OF WARREN, STATE OF IOWA**



Middlebrook is a new mixed-use community with timeless qualities, interweaving contemporary design with the agricultural heritage of Iowa. Middlebrook represents a fresh spin on old approaches to community building by using New Urbanism and Traditional Neighborhood Development as guiding principles. This neighborhood/town-scale development provides diverse range in housing types, well connected blocks, environmentally friendly public spaces, and jobs/services in walking distance; much like a small rural town in Iowa developed at the turn of the century. Middlebrook takes this a step further by integrating food production into the way of life, not just as a necessity, but as an amenity.

Neighborhoods in Middlebrook are founded on historic traditions, but incorporate a new live-work-retreat lifestyle in which residents can enjoy both vibrant public spaces and quiet parks and community gardens, all within walking distance of home. The benefits of living in agrihoods are numerous, from building resiliency and fostering neighborhood connection, to positively impacting physical health and wellbeing. The working farms and smaller gardens located throughout the community offer residents the advantages of growing their own food and having uplifting places where they can gather. Middlebrook is a community of connected neighborhoods where “the simple life” is possible, where families can be raised, and where residents can live sustainably.

Goals:

- 1) Create a sense of neighborhood through urban scale which provides walkable neighborhoods, diverse housing types, and core services.
- 2) Be stewards of the land by using natural amenities for public engagement including farming operations, stormwater features, natural landscaping, and more.
- 3) Provide housing diversity in form and scale more typical in an urban town center of a rural community. Mixture of households is encouraged by blending forms and intensities.
- 4) Maintain open area for residents and visitors to enjoy by having green connections that promote wildlife engagement, recreation, wellness, and pedestrian scale experience.
- 5) Cohesive vision led by Architectural Design Guidelines that create a unique place-making identity.
- 6) Streetscape shall intentionally recognize other modes of transportation such as walkability, bikeability, and more.

The following PUD Zoning Ordinances shall be effective and enforceable by the City of Cumming as it relates to typical entitlements such as "Use" (what business/residence, size, parking, etc.); "Form" (setback/build-to, heights, quality materials, features, etc.); and "Infrastructure" (open space/park, regional detention goals, public streets/trails, landscape, etc.). However, let it be known that the Master Developer will create a Middlebrook Design Review Committee that ensures cohesion in the architectural design of the master-planned Middlebrook community. This shall not supersede the PUD Zoning Ordinance and shall be part of the Middlebrook Covenants; further protecting the Developer's conceptual vision. A set of guidelines will steer the Developer Team in aspects less typically found in zoning ordinances such as colors, design styles, architectural details, and more. The City acknowledges the private Middlebrook Design Review Committee and agrees to require the Committees "recommendation" prior to issuing site-plan approval and/or building permits.





## **ZONING TYPE (USE & FORM) “ZONES”**

**ZONE 1** is intended to provide neighborhood scale commercial, office, retail, governmental, hospitality, and multi-family residential uses. Zone 1 is designed to emulate a rural town center providing a live, work, play atmosphere.

**ZONE 2** is intended to act as a blending of uses and provide flexibility transitioning from mixed-use town center scale development to more urban rural residential. Commercial and Residential typologies will intertwine to create walk-able neighborhoods to services and recreation.

**ZONE 3** will act as a cut-off of Commercial uses but provide a wide variety of Residential housing typologies meant to target transitioning lifestyles and diversity in single family homes.

**ZONE 4** will transition in to traditional suburban lots with focus on more space while maintaining a more distant connection to the urban services but higher access to natural open/recreation area.

**ZONE 5** will offer the lowest intensity and most private Residential housing typology. This will offer larger lots separated from the direct access to the live, work, play atmosphere but still connected. This will emulate homes found on the fringe of rural towns.

**ZONE 6** will be the center for Agri-Tourism. This will be large scale agricultural facility that welcomes visitors and residents alike. Access and visibility to agricultural open areas as well as major arterials are equally important to support this use.

**ZONE 7** is committed to being open, recreation, and/or agricultural ground. This will satisfy the majority of the open space requirement for the Middlebrook PUD. Zone 7, along with smaller future identified areas will provide over 30% of undeveloped outdoor space. This could be a larger scale farming operation, a urban park, a sprawling meadow, a community garden, a greenbelt, etc. Structures for storage, care-taking, and sales in connection with agricultural production, farmers markets, nursery and orchard sales, keeping of farm-friendly livestock, and more should be facilitated.

### **MISCELLANEOUS:**

As a destination for agritourism, local curated goods, and natural recreation; small-town hospitality shall be a common theme supported by this PUD Zoning Ordinance. The PUD Zoning Ordinance recognizes and supports small business and community engagement with the allowance of Food Trucks, Pop-up Markets, Live Music, and other outdoor events necessary for supporting residents and welcoming visitors.

As a live, work, play community; diverse housing types that are inclusive and allow residents of all ages and incomes shall be supported by this PUD Zoning Ordinance. Therefore, ADU (Accessory Dwelling Units) are commonly referred to as allowed structures. These can be in the form of an above-garage apartments, “granny flat”, multi-generational home, “she-shed”, accessory office, garden house and more which allow for additional space outside of the primary residence and offer additional lifestyle opportunities in an evolving world.

As an agriculturally rooted community; sustainable practices should be celebrated by this PUD Zoning Ordinance. Solar, Wind, and Geothermal efforts should be supported within all zones. Natural landscaping and grasses, raised beds, etc., if well maintained, shall not be considered a nuisance within the PUD Zoning Ordinance and are vital to the Agrihood theme.

**MIXED USE TOWNCENTER (Allowed in Zone 1 & Zone 2)**

<b><i>Mixed Use TYPOLOGY</i></b>		
<u>Lot Characteristics</u>		
Lot Width		50' minimum
Lot Depth		Varies
Front Yard Setback		0'
Build-to-Zone		0' - 10'
Side Yard Setback		5' minimum (80% Minimum Primary Frontage Coverage)
Rear Yard Setback		10'
<u>Building Characteristics</u>		
Floors		2 - 3
1st Floor Allowed Use		C-2 Central Business District, C-3 Community Commercial, & C-4 Professional Commerce Uses. Dwelling Units (hotel/B&B/residential) if less than 40% of Primary street frontage.
Upper Story Allowed Use		C-2 Central Business District, C-3 Community Commercial, C-4 Professional Commerce Uses, and Dwelling Units (hotel/B&B/residential).
Size		12' 1st floor height minimum expressed as tall single storefront composition. 9' upper story height minimum.
Primary Street Facing Entry		Principal Entryway at least every 60'. Recessed if 0' setback.
Secondary Street Facing Entry		Entryway within 30' of Primary Corner.
Parking		2 spaces / 1,000 sf. On-Street stalls can be allocated to Mixed-Use Buildings. No off-street parking between building and Primary street. Parking can occur within building if below grade or at least 30' from Primary Street frontage.
Drive-Thrus		Not on Primary or Secondary Street
Glazing		20' - 30' bay door/window composition. Windows expressed with vertical proportion. 30% minimum glazing on primary and secondary street facade.
Major Material % - Primary / Secondary Street		at least 50%
Major Materials		Full brick, natural stone, concealed fastner and factory finished metal cladding, architectural stamped/imbed concrete panel, architectural block (limestone, split-face, burnished).
Minor Materials <i>(required where major is not)</i>		Grouted venter, natural wood (painted or stained), fiber-cement products (lap, shingle, batten board, or panel with color match reveal & fastner), exposed fastener metal cladding.
Roof Type		Flat with overhang, flat with parapet, and pitched.
Allowable Roof Materials		Standard color (white/black/gray) EPDM or TPO, Factory Finished Standing Seem Metal, Natrual Weathering Metal (Copper, Zalmag, etc.), Synthetic Slate or Shake, and 30+ Yr Architectural Shingles with Design Review Board approval.
Porches, Awning, Canopy, Balcony		Optional - If elected, at least 9' above grade, at least 5' projection, no more than 10' projection.

## MIXED USE TOWNCENTER (Allowed in Zone 1 & Zone 2)

<b><i>Stand-Alone TYPOLOGY</i></b>		
<u>Lot Characteristics</u>		
Lot Width		50' minimum
Lot Depth		Varies
Front Yard Setback		0'
Build-to-Zone		0' - 20'
Side Yard Setback		5' minimum each side (10' total)
Rear Yard Setback		(50% Minimum Primary Frontage Coverage)
Allowed Accessory Bldgs		15'
		None
<u>Building Characteristics</u>		
Floors		1 - 2
1st Floor Allowed Use		C-2 Central Business District, C-3 Community Commercial, & C-4 Professional Commerce Uses.
Upper Story Allowed Use		C-2 Central Business District, C-3 Community Commercial, & C-4 Professional Commerce Uses.
Size		12' 1st floor height minimum expressed as tall single storefront composition. 9' upper story height minimum.
Primary Street Facing Entry		Principal Entryway at least every 60'. Recessed if 0' setback.
Secondary Street Facing Entry		Entryway within 30' of Primary Corner.
Parking		5 spaces / 1,000 sf. No off-street parking between building and public street. Parking can occur within building if below grade or at least 30' from Primary Street
Drive-Thrus		Not on Primary or Secondary Street.
Glazing		20' - 30' bay door/window composition. Windows expressed with vertical proportion. 30% minimum glazing on primary and secondary street facade.
Articulation		One feature/prominent element oriented to address Primary Street. Can be distinguished with window composition, height, material/color change, storefront/porch/entry feature, etc.
Major Material % - Primary / Secondary Street		at least 10%
Major Materials		Full brick, natural stone, concealed fastner and factory finished metal cladding, architectural stamped/imbed concrete panel, architecural block (split-face,
Minor Materials ( <i>required where major is not</i> )		Grouted vener, natural wood (painted or stained), fiber-cement products (lap, shingle, batten board, or panel with color match reveal & fastner), exposed fastener metal cladding.
Roof Type		Flat with overhang, flat with parapet, and pitched.
Allowable Roof Materials		Standard color (white/black/gray) EPDM or TPO, Factory Finished Standing Seem Metal, Natrual Weathering Metal (Copper, Zalmag, etc.), Synthetic Slate or Shake, and 30+ YrArchitectural Shingles with Design Review Board approval.
Porches, Awning, Canopy, Balcony		Encouraged - If elected, at least 9' above grade, at least 5' projection, no more than 20' projection.

**MIXED USE TOWNCENTER (Allowed in Zone 1 & Zone 2)**

<b><i>Live Work TYPOLOGY</i></b>		
<u>Lot Characteristics</u>		
Lot Width		20' - 80'
Lot Depth		Varies
Front Yard Setback		10' minimum
Build-to-Zone		10' - 25'
Side Yard Setback		0' minimum b/w units, 5' each side (10' total) b/w bldgs (60% Minimum Primary Frontage Coverage)
Rear Yard Setback		10'
Allowed Accessory Bldgs		None
<u>Building Characteristics</u>		
Floors		2 - 3
1st Floor Allowed Use		C-2 Central Business District, C-3 Community Commercial, & C-4 Professional Commerce Uses.
Upper Story Allowed Use		Dwelling Units (hotel/B&B/residential)
Size		1,500 sf minimum. 3,000 sf maximum. No more than 50% shall be non-residential. Non-residential is limited to first floor. 10' 1st floor height minimum expressed as tall single storefront composition. 9' upper story height minimum.
Entryway		Entryway at least every 30'. Separate entryways for ground floor commercial and upper story living - both facing either a primary or secondary street.
Parking		2 spaces / 1,000 sf. On-Street stalls can be allocated to Live/Work Buildings. No off-street parking between building and public street. Parking can occur within building if at least 30' behind Primary Entrance.
Drive-Thrus		Not Allowed.
Glazing		Windows expressed with vertical proportion. 25% minimum glazing on primary and secondary street facade.
Articulation		One feature/prominent element oriented to address Primary Street. Can be distinguished with window composition, height, material/color change, storefront/porch/entry feature, etc. Emulate a multi-story single family home, multi-story townhome, or urban mainstreet bay.
Major Material % - Primary / Secondary Street		not required
Major Materials		Full brick, natural stone, concealed fastener and factory finished metal cladding, architectural stamped/imbed concrete panel, architectural block (split-face,
Minor Materials <i>(required where major is not)</i>		Grouted veneer, natural wood (painted or stained), fiber-cement products (lap, shingle, batten board, or panel with color match reveal & fastener), exposed fastener metal cladding.
Roof Type		Flat with overhang, flat with parapet, hip, and pitched.
Allowable Roof Materials		Standard color (white/black/gray) EPDM or TPO, Factory Finished Standing Seam Metal, Natural Weathering Metal (Copper, Zalmag, etc.), Synthetic Slate or Shake, and 30+ Yr Architectural Shingles.
Porches, Awning, Canopy, Balcony		Strongly Encouraged - If elected, at least 9' above grade, at least 5' projection, no more than 15' projection.



## Main Street Mixed-Use



## Stand-Alone



## Live-Work





## HIGHEST INTENSITY RESIDENTIAL (Allowed in Zone 2)

<b><i>Big House/Mansion/Flats TYPOLOGY</i></b>		
<u>Lot Characteristics</u>		
Density		Max 8 Units per Building (no limit to buildings per lot)
Lot Width		70' minimum
Lot Depth		Varies
Front Yard Setback		15'
Build-to-Zone		15' - 20'
Side Yard Setback		8' side minimum, 16' total minimum per building ( <i>applies to multiple buildings per lot - 16' separation between all building</i> )
Rear Yard Setback		20'
Allowed Accessory Bldgs		Pool House/Clubhouse
<u>Housing Characteristics</u>		
Floors		2 - 3
Size		2,500 sf minimum. No unit less than 500 sf. <i>calculation does not include below grade square footage, garage, porches, decks, other non-conditioned areas, or Accessory Buildings.</i>
Primary Entrance		Each Unit to have individual entrance on front or side elevation.
Parking		2/3 space per bedroom (including units above garage). 50% of which must be garage. On-street parking can be included. Garages must be side-load or rear-load; attached, detached, or tuck-under and NOT facing primary street or common greenway/lawn courtyard facing.
Allowable Facade Materials		Full brick, natural stone, brick/stone veneer, natural wood (stained or painted), fiber-cement (lap, shingle, or batten board), concealed fastener metal panel, exposed fastener metal panel if naturally aging (zinc/corten), stucco.
Allowable Roof Materials		30-yr architectural asphalt shingle, factory finish black metal, copper, slate, or synthetic slate. Membrane if not visible from ground-level right-of-way.

## HIGHEST INTENSITY RESIDENTIAL (Allowed in Zone 2)

<b><i>Townhouse/Rowhouse TYPOLOGY</i></b>		
<u>Lot Characteristics</u>		
Density		Max 8 Units per Building
Lot Width		15 - 30' per unit
Lot Depth		Varies
Front Yard Setback		10'
Build-to-Zone		10' - 15'
Side Yard Setback		8' side minimum, 16' total minimum per building
Rear Yard Setback		20'
<u>Housing Characteristics</u>		
Floors		2 - 4
Size		1,000 sf <i>calculation does not include below grade square footage, garage, porches, decks, other non-conditioned areas, or Accessory Buildings.</i>
Primary Entrance		Primary Entrance must be street facing. Porch, Patio, or Entry Terrace as focal
Parking		Minimum 1-car garage per unit. Rear-load.
Allowable Facade Materials		Full brick, natural stone, brick/stone veneer, natural wood (stained or painted), fiber-cement (lap, shingle, batten board, or panel), concealed fastener metal panel, exposed fastener metal panel if naturally aging (zinc/corten), stucco.
Allowable Roof Materials		30-yr architectural asphalt shingle, factory finish black metal, copper, slate, synthetic slate or flat membrane with parapet or overhang.



**MEDIUM INTENSITY RESIDENTIAL (Allowed in Zone 2, 3, & 4)**

<b><i>Bungalow Court TYPOLOGY</i></b>		
<u>Lot Characteristics</u>		
Lot Width		30' - 40'
Lot Depth		Varies
Front Yard Setback		10'
Build-to-Zone		10' - 15'
Side Yard Setback		0' side minimum, 10' total minimum
Rear Yard Setback		10'
Allowed Accessory Bldgs		None
<u>Housing Characteristics</u>		
Floors		1 - 2
Size Minimum		750 sf minimum
		<i>calculation does not include below grade square footage, garage, porches, decks, or other non-conditioned areas.</i>
Primary Entrance		Primary Entrance must be street facing. Porch, Patio, or Entry Terrace as focal
Parking		Minimum 1-car garage. Rear-loaded. 1 additional off street required. PER UNIT.
Allowable Facade Materials		Full brick, natural stone, brick/stone veneer, natural wood (stained or painted), fiber cement (lap, shingle or batten board), or stucco. Maximum of 3 materials.
Allowable Roof Materials		30-yr architectural asphalt shingle, factory finish black metal, copper, slate, or synthetic slate. Membrane if not visible from ground-level right-of-way.

**MEDIUM INTENSITY RESIDENTIAL (Allowed in Zone 2, 3, & 4)**

<b><i>Detached Townhome</i></b>		
<u>Lot Characteristics</u>		
Lot Width		30' - 40'
Lot Depth		Varies
Front Yard Setback		10'
Build-to-Zone		10' - 15'
Side Yard Setback		0' side minimum, 10' total minimum
Rear Yard Setback		10'
Allowed Accessory Bldgs		1 Per Lot. ADU, Shed. Same story, setback, & material requirements.
		Accessory Bldg must be 50% or less of Primary Residence above ground square footage. Examples are detached garage, carriage house apartment, shed.
<u>Housing Characteristics</u>		
Floors		2 - 4
Size Minimum		1,000 sf
		<i>calculation does not include below grade square footage, garage, porches, decks, other non-conditioned areas, or Accessory Buildings.</i>
Primary Entrance		Primary Entrance must be street facing. Porch, Patio, or Entry Terrace as focal
Parking		Minimum 1-car garage. Rear-loaded. 1 additional off street required. PER UNIT.
Allowable Facade Materials		Full brick, natural stone, brick/stone veneer, natural wood (stained or painted), fiber cement (lap, shingle or batten board), or stucco. Maximum of 3 materials.
Allowable Roof Materials		30-yr architectural asphalt shingle, factory finish black metal, copper, slate, or synthetic slate. Membrane if not visible from ground-level right-of-way.



**MEDIUM INTENSITY RESIDENTIAL (Allowed in Zone 2, 3, & 4)**

<b><i>Alley Load Urbanburb TYPOLOGY</i></b>		
<u>Lot Characteristics</u>		
Lot Width		40' - 70'
		Duplex Allowed - sum of lots not to exceed 70'
Lot Depth		Varies
Front Yard Setback		15'
Build-to-Zone		15' - 20'
Side Yard Setback		5' side minimum, 13' total minimum
Rear Yard Setback		10'
Allowed Accessory Bldgs		(not allowed if duplex) 1 Per Lot. ADU, Shed. Same story, setback, & material requirements.
		Accessory Bldg must be 50% or less of Primary Residence above ground square footage. Examples are detached garage, carriage house apartment, shed.
<u>Housing Characteristics</u>		
Floors		1 - 2.5
Size		1,200 sf
		<i>calculation does not include below grade square footage, garage, porches, decks, other non-conditioned areas, or Accessory Buildings.</i>
Primary Entrance		Primary Entrance must be street facing. Porch, Patio, or Entry Terrace as focal
Parking		Minimum 2-car garage. Rear-loaded. 1 additional covered space for ADU.
Allowable Facade Materials		Full brick, natural stone, brick/stone veneer, natural wood (stained or painted), fiber cement (lap, shingle or batten board), or stucco. Maximum of 3 materials.
Allowable Roof Materials		30-yr architectural asphalt shingle, factory finish black metal, copper, slate, or synthetic slate. Membrane if not visible from ground-level right-of-way.

**MEDIUM INTENSITY RESIDENTIAL (Allowed in Zone 2, 3, & 4)**

<b><i>Front Load Urbanburb TYPOLOGY</i></b>		
<u>Lot Characteristics</u>		
Lot Width		40' - 70'
		Duplex Allowed - sum of lots not to exceed 70'
Lot Depth		Varies
Front Yard Setback		15'
Build-to-Zone		15' - 20'
Side Yard Setback		5' side minimum, 13' total minimum
Rear Yard Setback		10'
Allowed Accessory Bldgs		1 Per Lot. ADU, Pool House, Shed. Same story, setback, & material requirements.
		Accessory Bldg must be 50% or less of Primary Residence above ground square footage. Examples are detached garage, carriage house apartment, granny flat, pool house, shed, ancillary office, etc.
<u>Housing Characteristics</u>		
Floors		1 - 2.5
Size		1,200 sf
		<i>calculation does not include below grade square footage, garage, porches, decks, other non-conditioned areas, or Accessory Buildings.</i>
Primary Entrance		Primary Entrance must be street facing. Porch, Patio, or Entry Terrace as focal
Parking		Minimum 2-car garage. Front-loaded with front face of garage at least 20' behind Primary Entry. 1 additional covered space for ADU.
Allowable Facade Materials		Full brick, natural stone, brick/stone veneer, natural wood (stained or painted), fiber cement (lap, shingle or batten board), or stucco. Maximum of 3 materials.
Allowable Roof Materials		30-yr architectural asphalt shingle, factory finish black metal, copper, slate, or synthetic slate. Membrane if not visible from ground-level right-of-way.

**Courtyard**



**Detached Townhome/Zero Lot**



**Alley Load**



**Front Load**



## LOWEST INTENSITY RESIDENTIAL (Allowed in Zone 4 & 5)

<b><i>Suburban TYPOLOGY</i></b>		
<u>Lot Characteristics</u>		
Lot Width		65' - 100'
Lot Depth		Varies
Front Yard Setback		25'
Primary Build-to-Zone		25'-35'
Side Yard Setback		7' side minimum, 15' total minimum
Rear Yard Setback		25'
Allowed Accessory Bldgs		1 Per Lot. ADU, Pool House, Shed. Same story, setback, & material requirements. Accessory Bldg must be 50% or less of Primary Residence above ground square footage. Examples are detached garage, carriage house apartment, granny flat, pool house, shed, ancillary office, etc.
<u>Housing Characteristics</u>		
Floors		1 - 2.5
Size Minimum		
1-Story		1,400 sf <i>calculation does not include below grade square footage, garage</i>
Greater than 1-Story		1,750 sf <i>porches, decks, other non-conditioned areas, or Accessory Bldgs</i>
Primary Entrance		Primary Entrance must be street facing. Porch, Patio, or Entry Terrace as focal
Parking		Minimum 2-car garage. Side-load if possible. If front-load, at least 5' behind Primary Entrance and no more than 67% of front elevation.
Allowable Facade Materials		Full brick, natural stone, brick/stone veneer, natural wood (stained or painted), fiber cement (lap, shingle or batten board), or stucco. Maximum of 3 materials.
Allowable Roof Materials		30-yr architectural asphalt shingle, factory finish black metal, copper, slate, or synthetic slate. Membrane if not visible from ground-level right-of-way.

## LOWEST INTENSITY RESIDENTIAL (Allowed in Zone 4 & 5)

<b><i>Estate TYPOLOGY</i></b>		
<u>Lot Characteristics</u>		
Lot Width		100'+
Lot Depth		Varies
Front Yard Setback		35'
Build-to-Zone		N/A
Side Yard Setback		15' side minimum, 30' total minimum
Rear Yard Setback		35'
Allowed Accessory Bldgs		1 Per Lot. ADU, Pool House, Shed. Same story, setback, & material requirements. Accessory Bldg must be 50% or less of Primary Residence above ground square footage. Examples are detached garage, carriage house apartment, granny flat, pool house, shed, ancillary office, etc.
<u>Housing Characteristics</u>		
Floors		1 - 2.5
Size Minimum		
1-Story		1,800 sf <i>calculation does not include below grade square footage, garage</i>
Greater than 1-Story		2,000 sf <i>porches, decks, other non-conditioned areas, or Accessory Bldgs</i>
Primary Entrance		Primary Entrance must be street facing. Porch, Patio, or Entry Terrace as focal
Parking		Minimum 2-car garage. Side-load if possible. If front-load, at least 10' behind Primary Entrance and no more than 50% of front elevation.
Allowable Facade Materials		Full brick, natural stone, brick/stone veneer, natural wood (stained or painted), fiber cement (lap, shingle or batten board), or stucco. Maximum of 3 materials.
Allowable Roof Materials		30-yr architectural asphalt shingle, factory finish black metal, copper, slate, or synthetic slate. Membrane if not visible from ground-level right-of-way.



Low Intensity







## COMMERCIAL SCALE AGRITOURIM (Allowed in Zone 6)

<u>Lot Characteristics</u>	
Lot Width	3 acre lot minimum
Lot Depth	Varies
Front Yard Setback	35' minimum
Build-to-Zone	none
Side Yard Setback	15' side minimum, 30' total minimum per building ( <i>applies to multiple buildings per lot - 30' seperation between all building</i> )
Rear Yard Setback	30'
Allowed Accessory Bldgs	AG-Ancillary Buildings (see requirements in Zone 7)
<u>Building Characteristics</u>	
Floors	1 - 3
Allowed Use (all floors)	Agri-tourism - food and beverage production and sale (alcoholic included), agriculture education, events attracting visitors to Open/Agricultural area
Size	2,000 sf minimum per building.
Entryway	No requirement
Parking	2.5 spaces / 1,000 sf. Gravel or seeded parking lot acceptable.
Drive-Thrus	Not Allowed.
Windows	5% total (not per elevation; all 5% of total elevations can be focused to entry feature, public-use area, etc. versus production areas)
Articulation	One feature/prominent element oriented to address entrance to public. Can be distinguished with window composition, height, material/color change, storefront/porch/entry feature, etc.
Major Material % - Primary / Secondary Street	not required
Major Material % - Non-street facing facades	not required
Major Materials	Full brick, natural stone, concealed fastner and factory finished metal cladding, architectural stamped/imbed concrete panel, architectural block (split-face,
Minor Materials ( <i>required where major is not</i> )	Grouted venter, natural wood (painted or stained), fiber-cement products (lap, shingle, batten board, or panel with color match reveal & fastner), exposed fastener metal cladding.
Roof Type	Flat with overhang, flat with parapet, hip, gambrel, shed, and gable pitched.
Allowable Roof Materials	Standard color (white/black/gray) EPDM or TPO, Factory Finished Standing Seem Metal, Factory Finished Exposed Fastner, Natrual Weathering Metal (Copper, Zalmag, etc.), Synthetic Slate or Shake, and 30+ YrArchitectural Shingles.
Porches, Awning, Canopy, Balcony	Strongly Encouraged





**AGRICULTURAL & RECREATIONAL OPEN SPACE (Exclusive in Zone 7 – Allowed as needed in ALL Zones)**

<u>Intent</u>	
	Intent is to incorporate neighborhood scale agricultural uses throughout for community engagement. Committed to this use exclusively in Zone 7 which is approximately 30% of the PUD area. Agricultural and Recreational Open Space should be considered case-by-case in other Zones and should be welcomed as educational/public-engagement opportunity, community gardens, open-to-public parks, recreation areas, preserves, civic spaces, and more.
<u>Lot Characteristics</u>	
Lot Width	no requirement
Lot Depth	no requirement
Front Yard Setback	10' minimum
Build-to-Zone	no requirement
Side Yard Setback	10' minimum (not within 10' of any other building)
Rear Yard Setback	10'
Allowed Accessory Bldgs	This can act as accessory building on any PUD Zone when necessary for Open Space
<u>Building Characteristics</u>	
Floors	Not to exceed 30' in total height to top of roof.
Allowed Use	Chicken coop, produce shed, machine shed, barn, livestock shelter, grain storage, tool shed, water storage and equipment building, greenhouse, farm market pavilion, outdoor restroom, trash/compost enclosures, etc.
Size	50 sf minimum. 10,000 sf maximum.
Entryway	No requirement.
Parking	No requirement, gravel or seeded lot allowed when parking provided.
Drive-Thrus	Drive-up allowed.
Windows	No requirement.
Articulation	Must be clear in the design the agricultural purpose of the building.
Major Material % - Primary / Secondary Street	not required
Major Material % - Non-street facing facades	not required
Major Materials	Full brick, natural stone, concealed fastner and factory finished metal cladding, architectural stamped/imbed concrete panel, architecural block (split-face,
Minor Materials ( <i>required where major is not</i> )	Grouted venter, natural wood (painted or stained), fiber-cement products (lap, shingle, batten board, or panel with color match reveal & fastner), exposed fastener metal cladding.
Roof Type	Flat with overhang, flat with parapet, hip, gambrel, shed, and gable pitched.
Allowable Roof Materials	Standard color (white/black/gray) EPDM or TPO, Factory Finished Standing Seem Metal, Factory Finished Exposed Fastner, Natrual Weathering Metal (Copper, Zalmag, etc.), Synthetic Slate or Shake, and 30+ YrArchitectural Shingles.
Porches, Awning, Canopy, Balcony	No requirement.



# INFRASTRUCTURE

## Open Space

Middlebrook PUD area shall provide a total of 30% Agricultural and Recreation Open Area as a whole. This open area includes all natural amenities open to the public and furthering the “agrihood” concept. Open Areas may include privately owned and operated, Owners Association owned and operated, publicly owned and operated, and blanket easement property dedicated to recreation and agriculture. Zone 7 shall act as the initial Open Space satisfying the majority of the 30% commitment to the PUD. Additional Open Space can and will be added in the form of pocket parks, community gardens, recreational fields, greenbelts trails, amenitized detention ponds, and more. Given the global Open Space concept in the PUD, Open Space will not be required on individual lots within the PUD.





## Parkland

No development within the Middlebrook PUD shall be subject to current or future parkland dedication requirements. The PUD maintains a 30% Agriculture and Recreation Open Space that is largely accessible by the public in lieu of parkland. Landowners and City shall agree to dedicate areas to the City for public-owned, public operated, public maintained amenities on a case-by-case basis dependent on what makes the most sense for both parties.

## Landscape

All areas not covered by building or paving shall be landscaped with turf grass, prairie grass, native plantings, plant beds, shrubs, produce, pollinators, edible landscape, and trees.

Landscape standards for this PUD are intended to help in the creation of an overall theme. The use of native, drought tolerant plant materials is encouraged. Diversity of plantings is also strongly encouraged over mass monoculture plantings. Hybrid and native turf varieties are strongly encouraged as an alternate to typical sod.

The following required landscaping shall be based on calculations of open space per site. Sites, while not required, are encouraged to offer open space and if so choose the following minimums are required (rounded to nearest planting).

- 1 Overstory Trees per 6,000 SF of open space
- 1 Understory Tree per 6,000 SF of open space
- 1 Evergreen Tree per 10,000 SF of open space
- 1 Shrub per 1,000 SF of required open space

Vegetation in parking lots aid in breaking up large open areas of pavement and helps reduce overall negative environmental impacts on the property. Landscaped islands throughout the parking lot are required to help break up the overall expanse of pavement. Islands should be effectively placed to allow access for emergency vehicles. Tree plantings along walkways adjacent to parking areas shall be an acceptable alternative to a landscaped island.



## Buffer

Buffers are not a requirement of the Middlebrook PUD. The PUD lays out transitional uses and intensities that naturally blend without the need of screening/buffering. The mixed use and walkable nature of Middlebrook is one that encourages interaction and engagement between recreational/agricultural uses, different housing typologies, and neighborhood scale service-oriented commercial. Public Right of Ways, Bulk Regulation setbacks, and Open Space features shall act as unrecognizable buffers while maintaining a walkable experience.



## Trails

The Middlebrook PUD shall support a variety of trails. Trails will vary in size, material, and primary use. The PUD recognizes and accepts varying trail networks. Public and Private trails may include mowed paths, gravel, crushed rock, blacktop, pavement, and permeable pavers, among others. Regional Trails (Great Western), City Trails (G14), neighborhood trails, and recreation trails are all meant to connect as a system. Locations can include in public ROW, private easements, private property accessible by public (such as HOA), and more. Examples are on-street dedicated bike lanes, dual-use trails, walking trails, natural hiking trails, and more.



## Streets

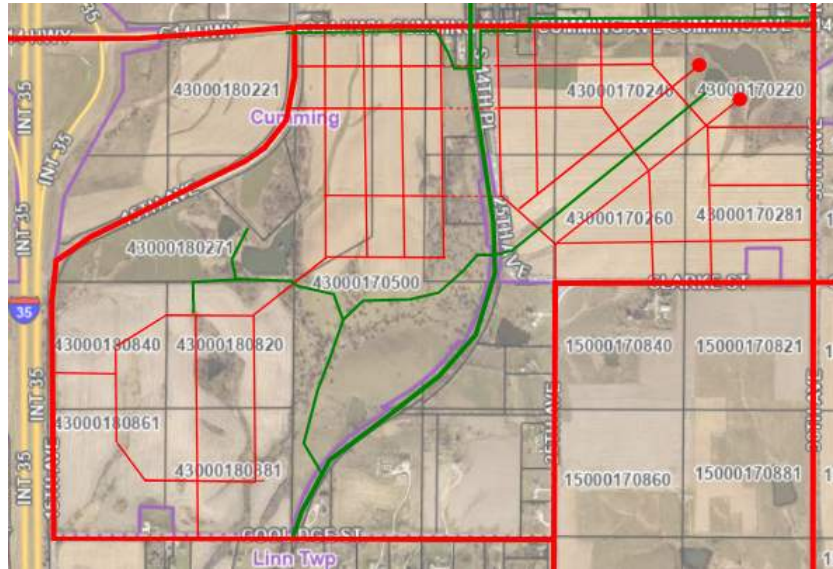
In order to emulate a rural town with walkable scale, many street sections include on-street parking, walk-way/trails, and lean right of ways with landscaped “verges” providing buffer from vehicular and non-vehicular traffic. Therefore, included street sections are meant to illustrate intent of streetscape but not be exclusive.

Right of ways will be dedicated with necessary portions of street section installed. However, parking stalls, walk-ways, verges, etc. shall not be required until site plan submittal of each lot. This is to ensure that infrastructure is not damaged during vertical construction or as a result of access and site layout coordination. Furthermore, this ensures the City is not responsible for maintaining infrastructure until its needed and beneficial for use. On street parking shall be allocated towards parking requirements on private lot site plans responsible for installing.

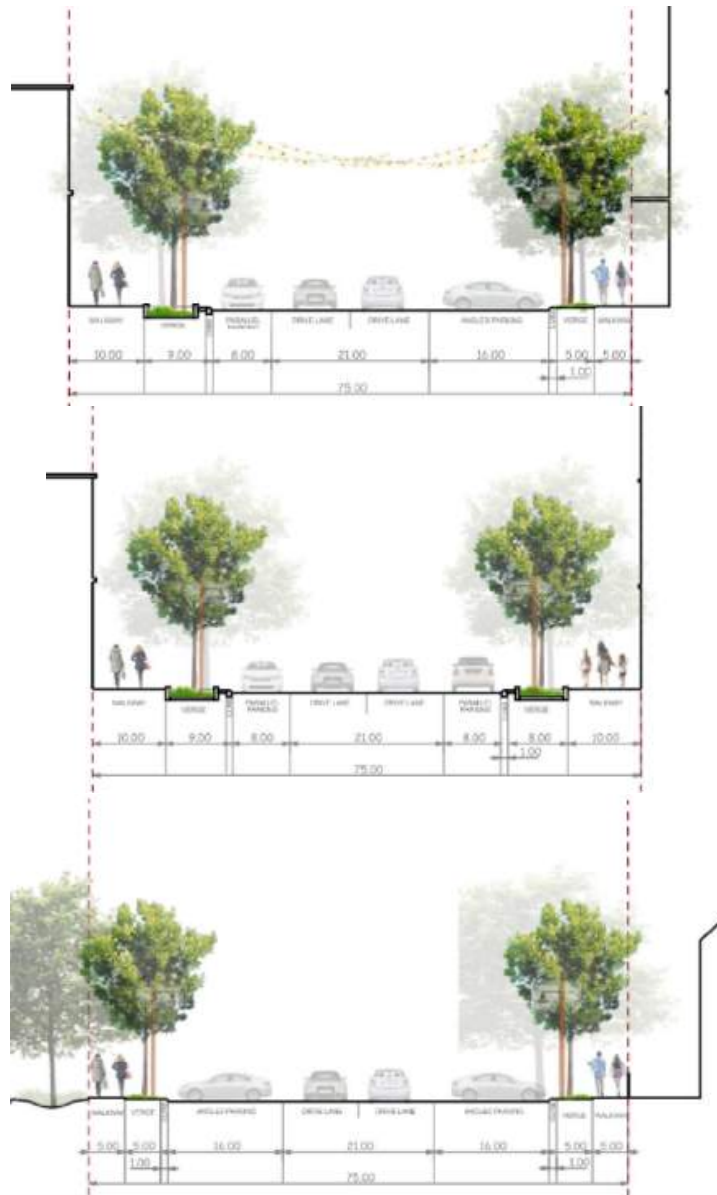
To maintain lean urban streets that are walkable, mid-block crossings, directional crossings, painted crosswalk, curb extensions when street parking, and reduced curb return radii shall be encouraged.

Verge options shall include but are not limited to sod, native grasses, plantings, street trees, planter boxes, hard-scaped bioswales, natural bioswales, and drainage ditches. An overstory street tree should be considered at least every 50-75 feet of street frontage within verge with flexibility when warranted due to site layout (avoid entrances, architectural features, etc.).

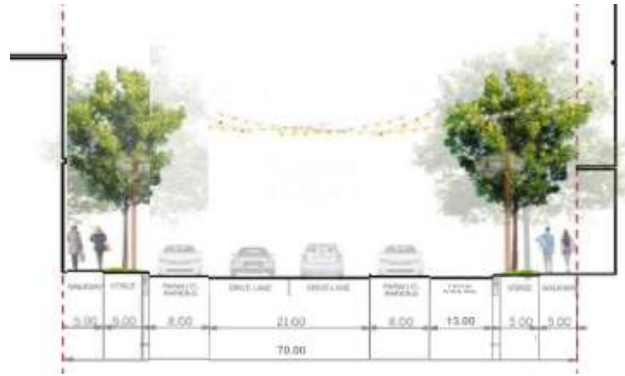
Modes of transportation other than vehicular is encouraged to assist in the urban experience by reducing vast parking lots, noise, speed of travel, and more to increase safety. Therefore, electronic bikes, electronic golf carts, and other non-vehicular motorized modes of transportation are allowable in areas with speed limits of 30 mph or less.



Allowable in Zone 1 & 2  
**75' ROW**



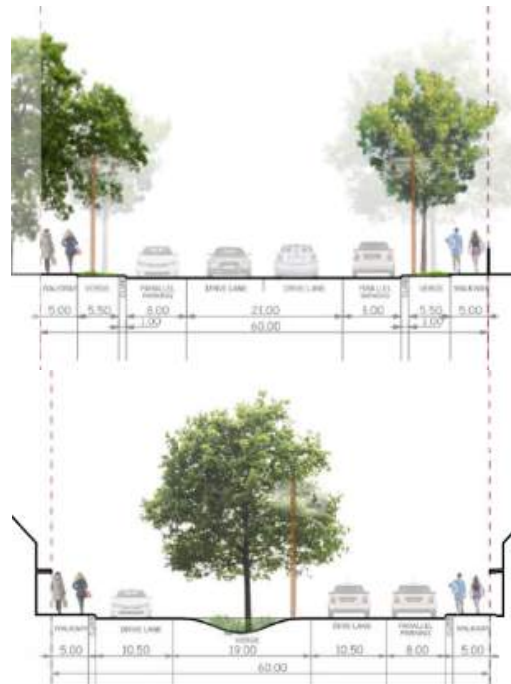
Allowable in Zone 1, 2, 3, & 4  
**70' ROW**



**65' ROW**



Allowable in Zone 3, 4 & 5  
**60' ROW**

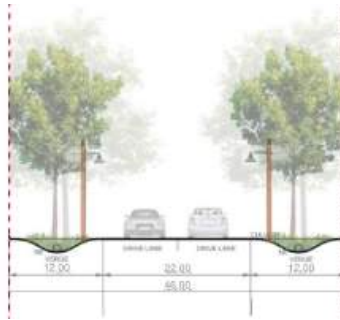




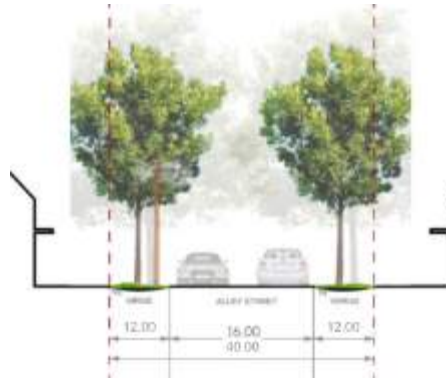
**52' ROW**



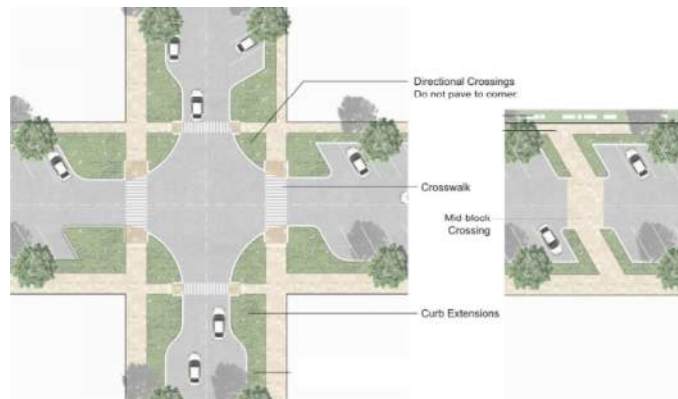
Allowable in Zone 5  
**46' ROW**



Allowable Alley in All Zones  
**40' ROW**



Intersections & Crossings

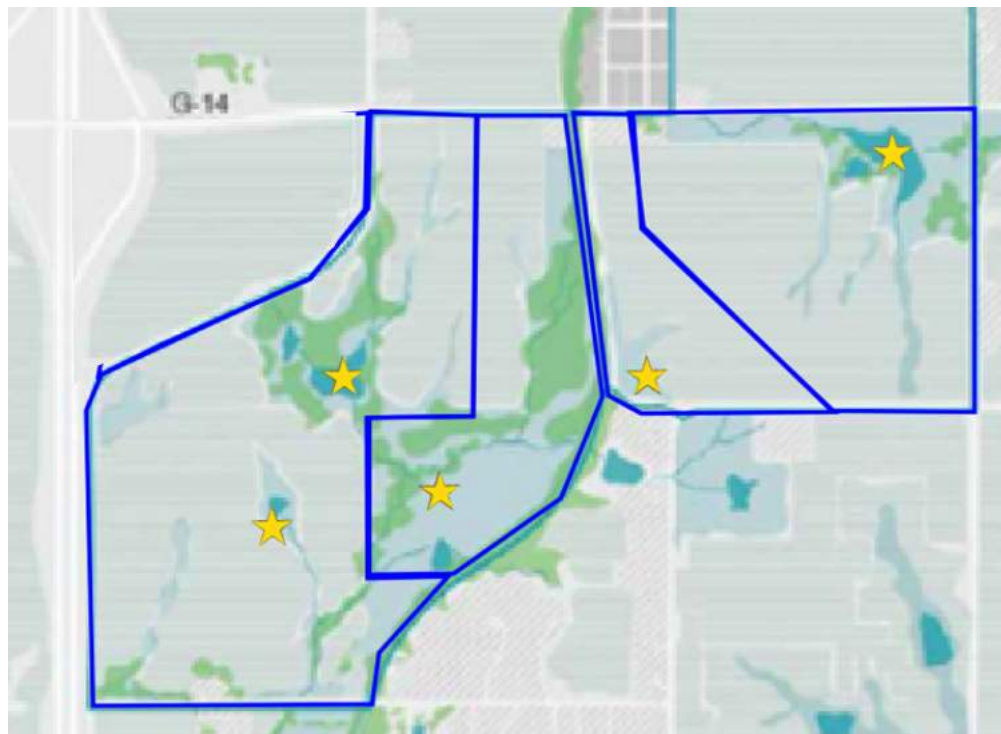


## Stormwater

It is intended for Middlebrook to utilize Low Impact Design concepts to mimic pre-development functionality. Goals include limiting drainage redirection, mass grading including extreme cut/fill, using simple solutions for distributed control of stormwater, consideration for stormwater control throughout rather than just pipe and end-of-pipe solutions. This may include utilization of native plants, rock, natural landscape, water features, and more in lieu of steel, concrete, and polyethylene pipe when able. Therefore, integrated, and regional drainage systems are encouraged and planned, especially at existing ponds and drainage areas. These locations are also encouraged to be open space accessible to the public as natural outdoor features. Volunteered sustainable measures like permeable surfaces, rain collection, and more should be celebrated.

Temporary solutions/facilities may be considered to bridge the gap between development and final destination of storm water so that infrastructure grows as development occurs.

Stormwater run-off, release rates, and quality shall be calculated based on Iowa DNR standard XYZ.123 and will not exceed 5 year flows generated by current uses (largely row crop and pasture) when fully developed during a 100-yr storm.





## Signage

Signage is intended to be flexible and allow for creativity further providing a unique sense of place. Sign types typical in commercial settings are flush-mounted wall signs, canopy or awning signs, projecting signs, monument signs, and window signs. Sign types typical throughout the community include entry signage, wayfinding, and street identification. Natural materials like wood, metal, stone, brick, concrete, hand painted, gold leaf, and more should be encouraged.

