

NOTICE OF PLANNING & ZONING COMMISSION MEETING

City of Cumming

Tuesday January 28, 2025 – 6:00 p.m.

Cumming City Hall

649 N 44th Street

Cumming, Iowa 50061

- I. APPROVAL OF AGENDA** as presented and/or amended.
- II. CONSENT ITEMS**
 - a. Approve Minutes from October 29, 2024 Meeting
- III. PUBLIC COMMENT**
- IV. PUBLIC HEARING**-None
- V. BUSINESS ITEMS**
 - A. Review and Recommendation to Council on Rooster’s Coffee Shop Site Plan
- VI. ADJOURN**

The City of Cumming welcomes public participation in its board and commission meetings. If you are unable to attend in person, you may access the meeting using the link and information below.

[Join the meeting now](#)

Meeting ID: 262 226 777 201

Passcode: VX68bW2Y

P & Z Communication: Planning & Zoning Commission Meeting Items for January 28, 2025

SUBMITTED BY:

Rita Conner, City Administrator

SYNOPSIS:

The information below summarizes agenda items before the Commission for January 28, 2025.

PUBLIC HEARING (S): None

BUSINESS ITEMS:

Rooster's Coffee Shop Site Plan

Summary: Rooster's Coffee, LLC (Haley Gremler and Mark Gremler, Owner/Representative, 2425 Cumming Avenue Cumming, Iowa 50061) have submitted a site plan for the construction of a new 4090 square foot mixed-use building at the NW corner of N. 43rd Street and Cumming Avenue. The site may be viewed here: <https://beacon.schneidercorp.com/Application.aspx?AppID=9&LayerID=35&PageTypeID=1&PageID=964>. The proposal includes first floor commercial space for a coffee shop and salon, with three apartments on the second floor. 2025 construction is planned.

Background and general information: The site is currently vacant. It is zoned C-2, Central Business District, with future land use under the Comprehensive Plan also shown as Central Business District. The proposed uses for the building are allowable under the zoning ordinance. The site is also part of the Historic Callison PUD (Planned Unit Development), adopted in 2007 for Old Town Cumming. The Callison PUD was developed as a set of standards to protect the character of the original city and guide its future development.

The site will be served by public utilities. Water service is planned to come from the existing main in the SW section of the site off Cumming Avenue. Sanitary sewer service will come from the City's sanitary sewer planned for construction initiation this summer. The location of the project is in the area where the sanitary sewer project will start, which will assist in timing of the construction of both elements. Stormwater will be directed to the planned intake north of the driveway as shown, outlet west of the Mercantile, drain under Cumming Ave to the south ditch and to the Agrihood area pond.

The site will include 10 parking stalls. The City's sanitary sewer project proposes widening 43rd Street to 31' and including 9 on street parallel parking stalls on the west side of the street, adjacent to the site. The site's proposed parking will accommodate the zoning district requirement for two spaces per business and also provide space for the three residential units. On street parking will accommodate visitors, with additional space for public parking in the new public lot south of Cumming Ave, constructed as part of the Middlebrook Main block on new S. 44th Street.

Public sidewalk will be included on N. 43rd and the project will be requested to extend the shared use path on the north side of Cumming Avenue that currently ends on the east side of the N.43rd/Cumming Avenue intersection. Alignment and width of the path will need to be conducted with the primary goals of connectivity and walkability but also recognizing that there are physical and other constraints that may require the path to meander, as it does to the east.

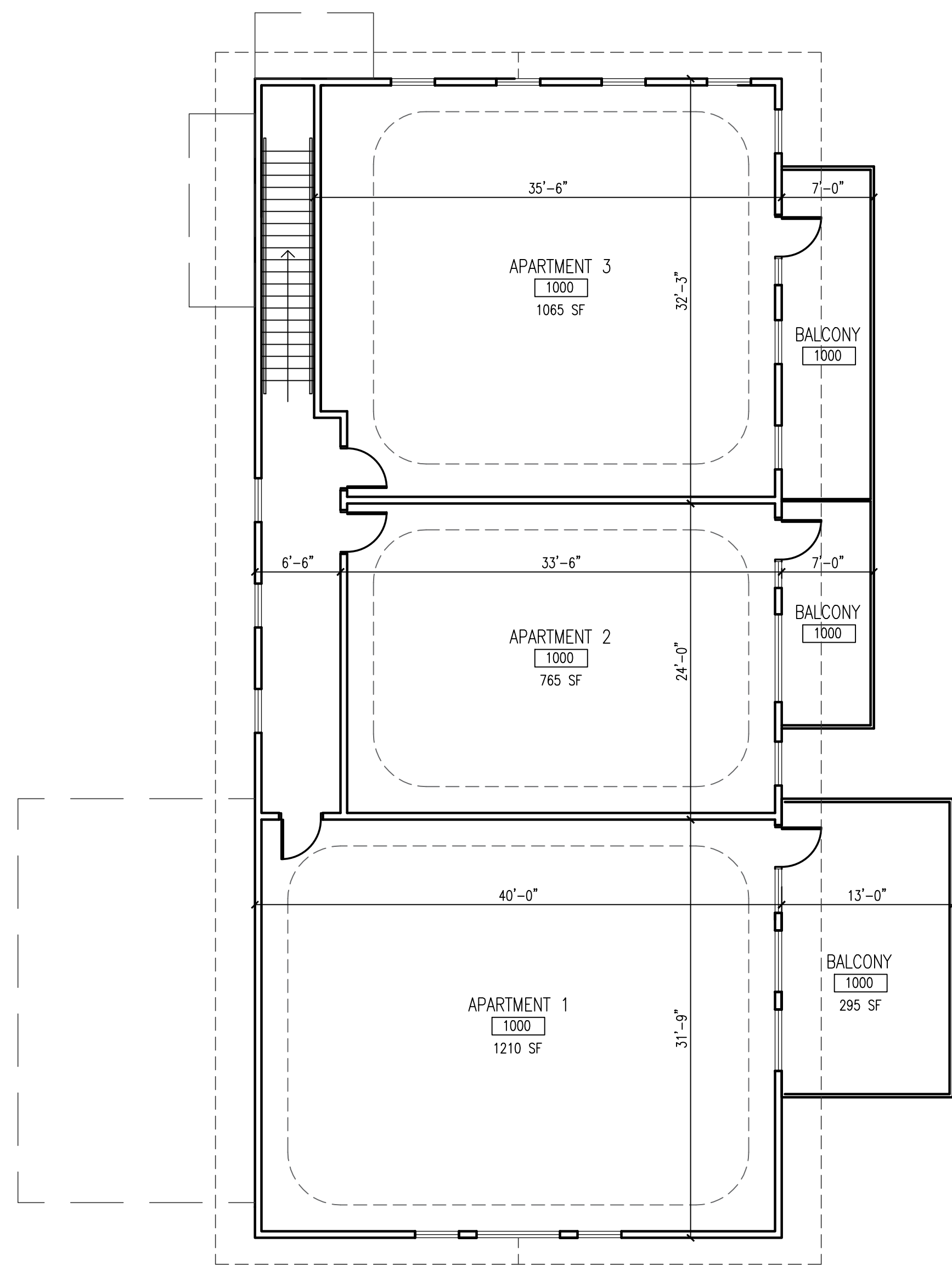
The conceptual architectural renderings included with the submittal propose a two-story building that complements both the history and scale of Old Town and the design standards utilized for the Middlebrook Agrihood. The building is positioned on the western side of the site, with the front façade to the south, facing Cumming Avenue. Bike racks and outdoor patio space are included on the east side.

The building orientation and site configuration are specific to allow for the inclusion of a drive through window for the coffee shop and the ability to maneuver vehicles successfully through the site and back onto public streets. Vehicles are proposed to enter the site at the NE corner, which also serves as an exit, and a right in/right out only access is included at the SW corner.

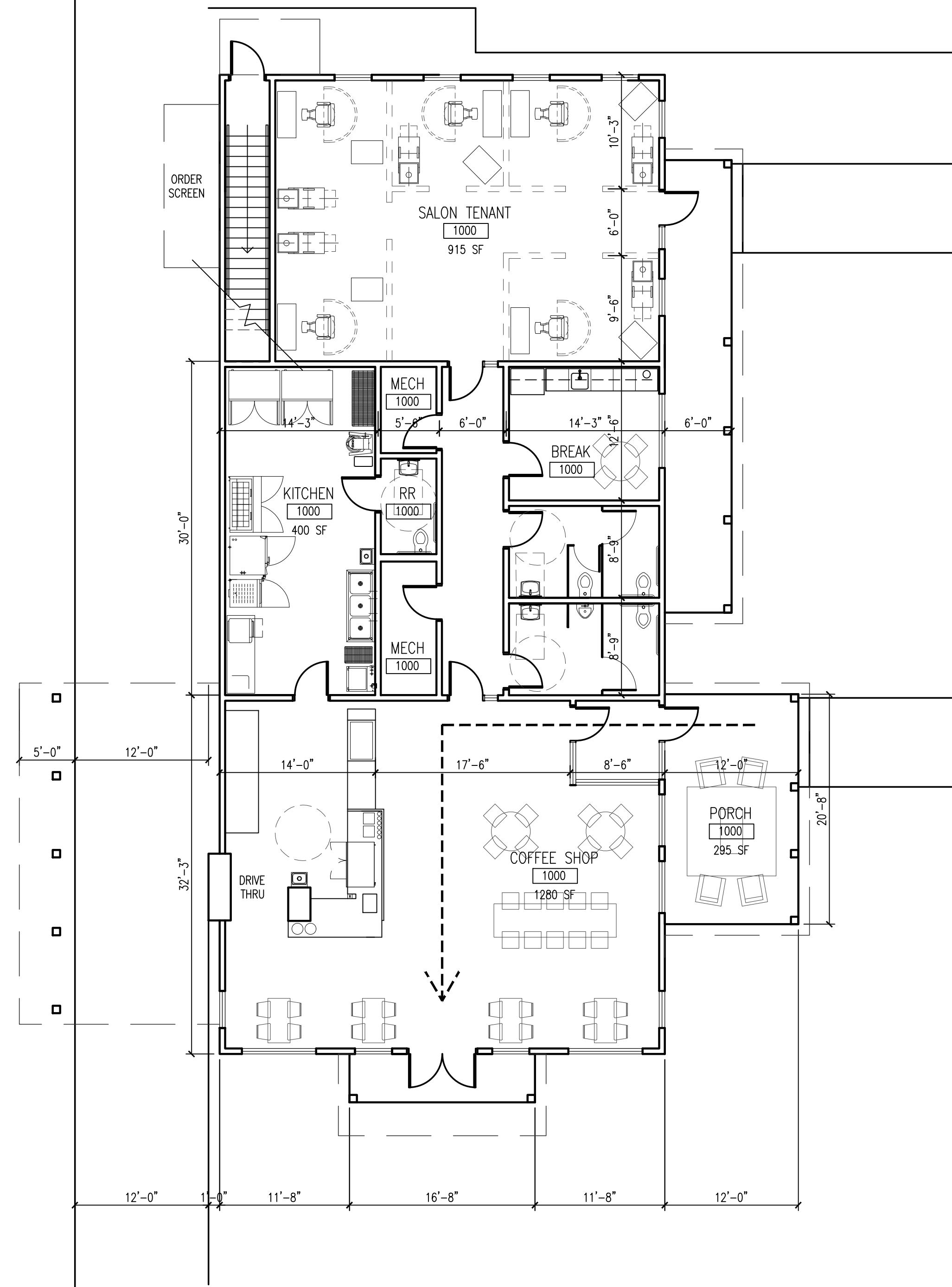
Considerations in Review Process:

- Drive through: This element of the project required the most detailed analysis and modification. The design team has proposed a plan that maximizes the site's capabilities, providing density with the mixed-use nature of the building, and also promoting and providing biking and walking alternatives. Traffic movement in and out of the site is helped by the location of the NE corner access drive, positioned to get vehicles onto N. 43rd to go north into Old Town (future connections to the east through Great Western Crossing plats), or south to the stop sign at Cumming Ave, which is no longer a three way stop since creation of the four way at Cumming Avenue and 44th Street. The relocation of the Cumming Avenue stopping movement one block is generally seen as a benefit to this proposal, with potentially less stacking of traffic on N. 43rd.
- Existing City alleys to the north and west: The site may benefit from working with the City on the vacation and conveyance, or usage, of the alley to the north. This discussion is continuing.
- Timing of City sanitary sewer project: Timing and coordination of this project and the City's sanitary work are critical. Old Town single family homes built in the last two years have been required to construct septic systems while awaiting public sewer. This is not a feasible solution for this site; public sewer connection is needed.

Recommendation: Approval



2 FLOOR PLAN - UPPER LEVEL
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN - MAIN LEVEL
SCALE: 1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

PRINT DATE:
14 NOV 2024
SHEET NAME:
PRELIM FLOOR PLANS

ROOSTERS COFFEE LLC
4301 CUMMING ROAD
CUMMING, IOWA 50061

MIXED USE
BUILDING

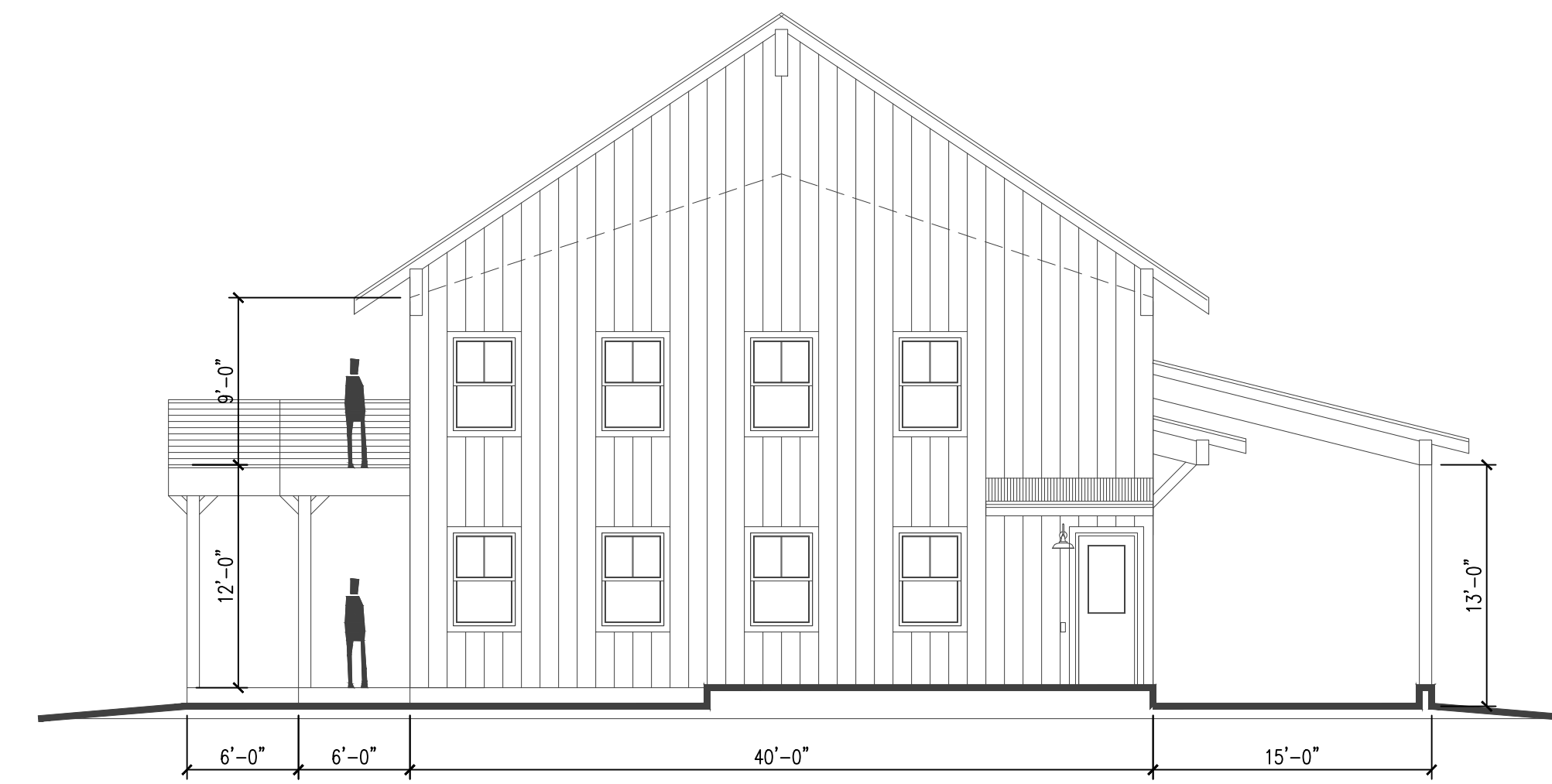
STUDIO MELE
139 FOURTH STREET
WEST DES MOINES, IOWA 50265

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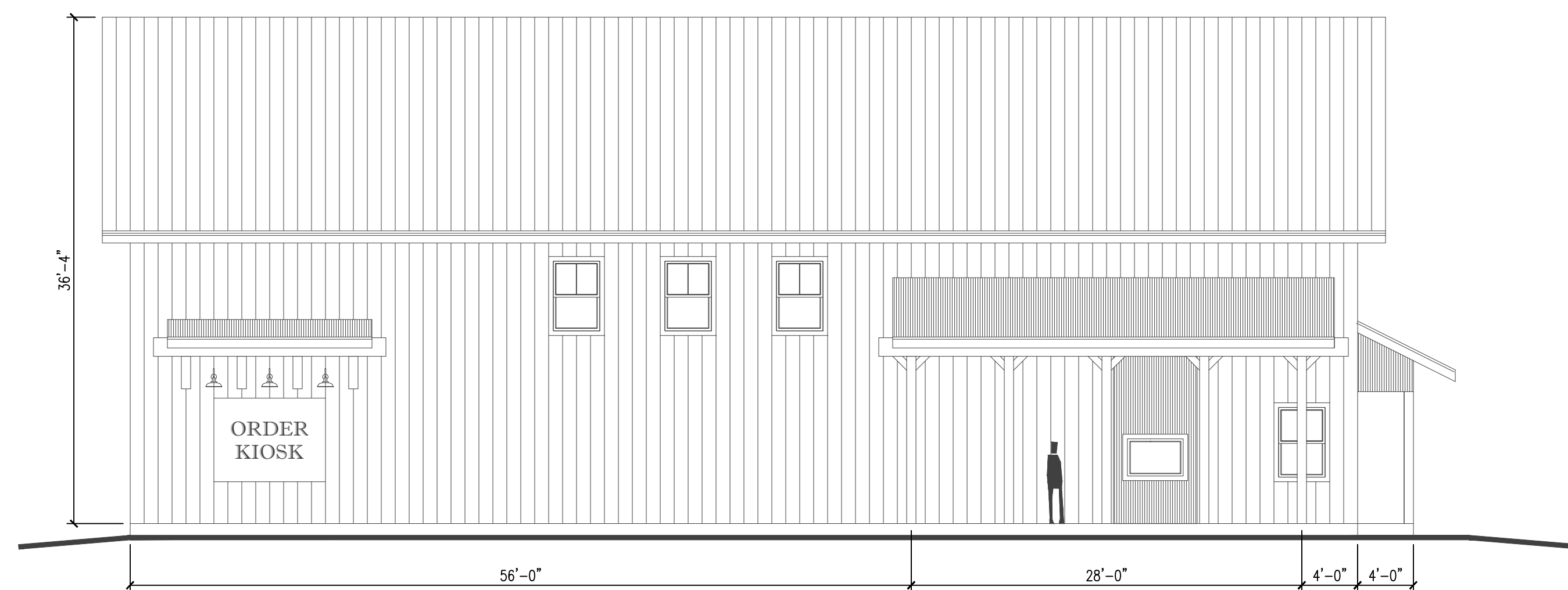
A1.1



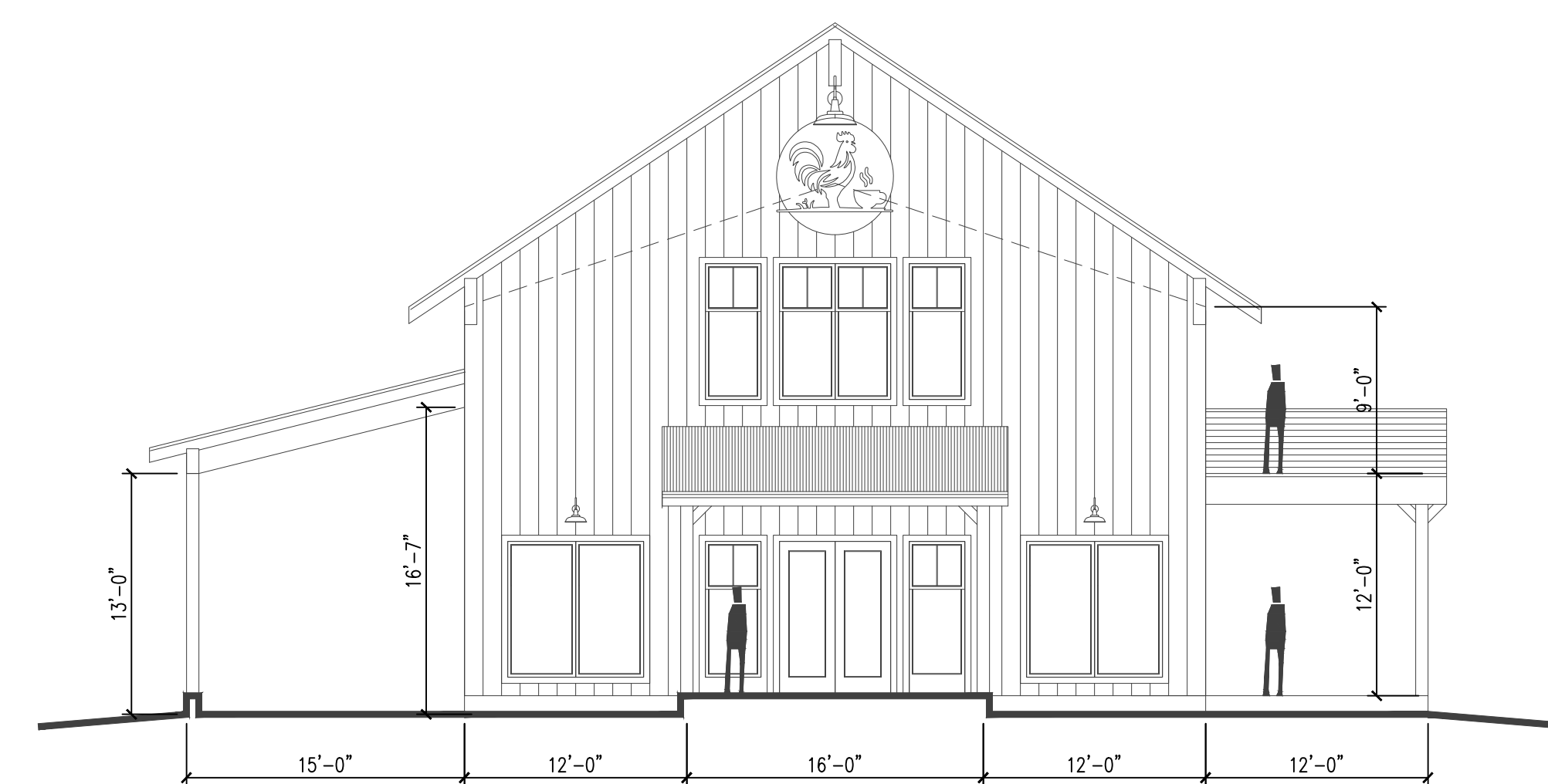
4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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ROOSTERS COFFEE LLC
4301 CUMMING ROAD
CUMMING, IOWA 50061
MIXED USE
BUILDING

PRINT DATE:
14 NOV 2024
SHEET NAME:
PRELIM ELEVATIONS

A2.1

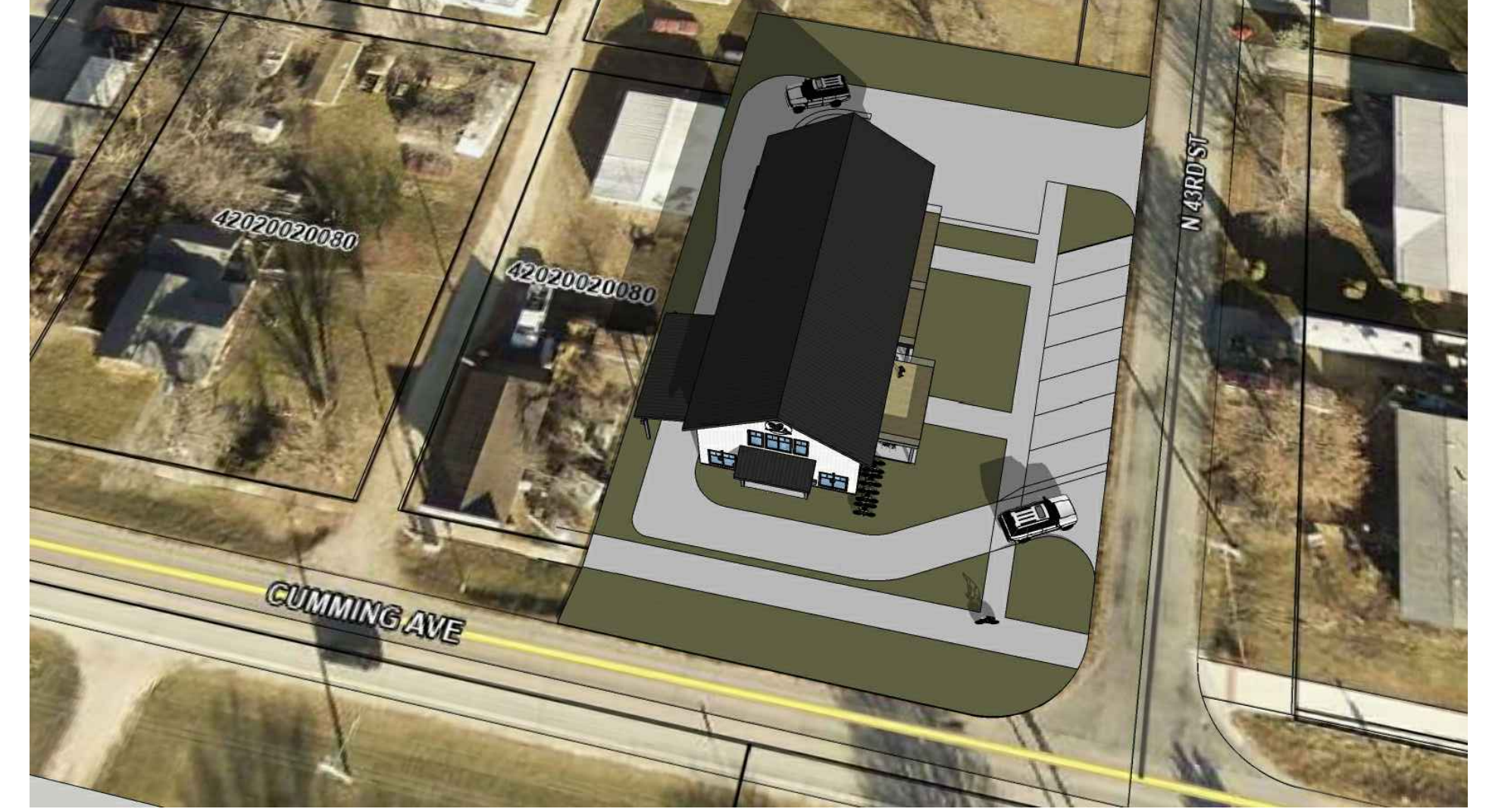
PRELIMINARY NOT FOR CONSTRUCTION



6 WEST VIEW
NOT TO SCALE



5 SOUTHEAST VIEW
NOT TO SCALE



4 BIRDSEYE VIEW
NOT TO SCALE



3 NORTHEAST VIEW
NOT TO SCALE



2 EAST VIEW
NOT TO SCALE



1 SOUTH VIEW
NOT TO SCALE

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STUDIO MELE E
 139 FOURTH STREET
 WEST DES MOINES, IOWA 50265

ROOSTERS COFFEE LLC
 4301 CUMMING ROAD
 CUMMING, IOWA 50061

MIXED USE
 BUILDING

PRINT DATE:
 31 OCT 2024
 SHEET NAME:
 PRELIM ELEVATIONS

SITE PLAN

ROOSTERS COFFEE

4301 Cumming Avenue

OWNER / DEVELOPER

DSM REAL ESTATE, LLC
401 RAILROAD PLACE
WEST DES MOINES, IOWA 50265

ZONING

C-2 CENTRAL BUSINESS DISTRICT

SETBACKS

FRONT - 5'
REAR - NONE
SIDE - 5'

LEGAL DESCRIPTION

LOTS 11 AND 12 IN BLOCK 2 IN THE CITY OF CUMMING, WARREN COUNTY, IOWA.

SITE AREAS

BUILDING	4,090 SQ FT	25%
PAVING	6,395 SQ FT	39%
SIDEWALK	994 SQ FT	6%
OPEN SPACE	4,770 SQ FT	30%
TOTAL	16,209 SQ FT	100%

LEGEND

---	EXISTING/PROPOSED PLAT BOUNDARY
W 8"	WATER MAIN & SIZE
SA 8"	SANITARY SEWER & SIZE
ST 8"	STORM SEWER & SIZE
U6E	UNDERGROUND ELECTRIC CABLE
U6T	UNDERGROUND TELEPHONE CABLE
CTV 4	UNDERGROUND CABLE TV
G 4	GAS MAIN & SIZE
○	MANHOLE
□	INTAKE
⊕	HYDRANT
● PP/LP	POWER POLE/LIGHT POLE
□	UTILITY BOX/TELEPHONE RISER
- - -	EXISTING CONTOURS
- - -	PROPOSED CONTOURS
X X X X	SILT FENCE OR APPROVED FILTRATION SOCK
☁	TREES

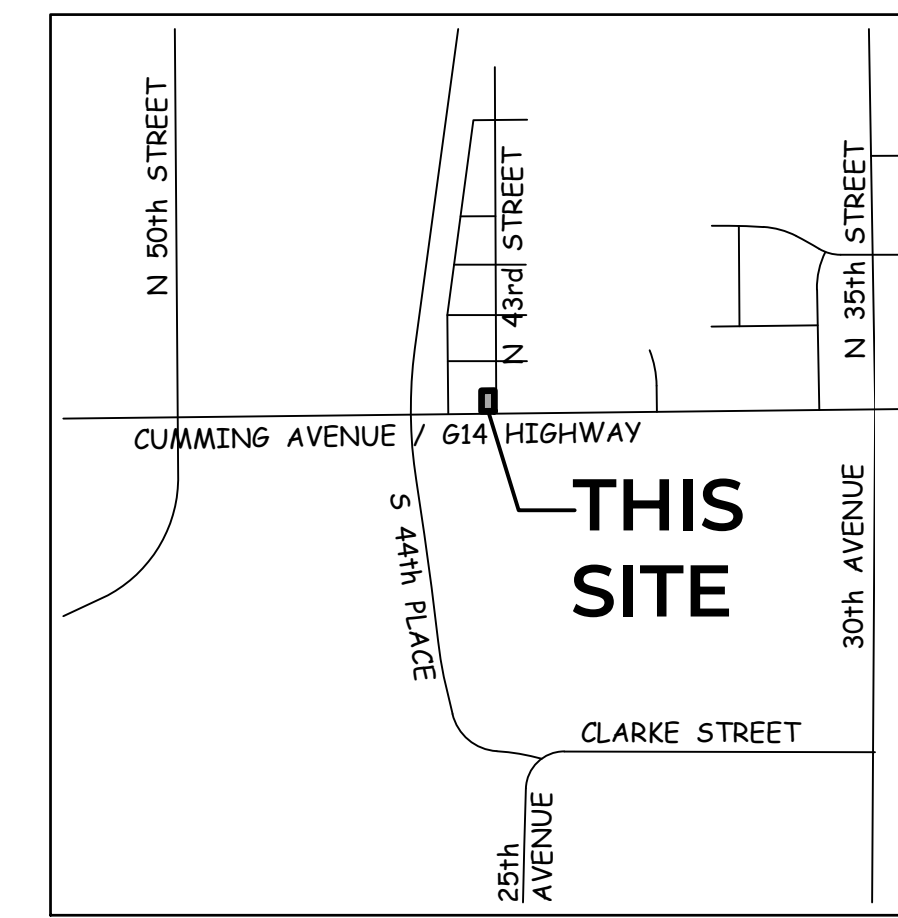
CERTIFICATION

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
	BRADLEY R. COOPER, IOWA LICENSE NO. 12980 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025 PAGES OR SHEETS COVERED BY THIS SEAL: Sheets 1-4

COOPER CRAWFORD & Associates
 Civil Engineers & Land Surveyors
 475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
 PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 12-5-2024
 REVISIONS: X-X-XXXX
 JOB NUMBER
CC 2957
 AS-BUILT: ---

SITE PLAN
ROOSTERS COFFEE
SHEET 1 OF 4



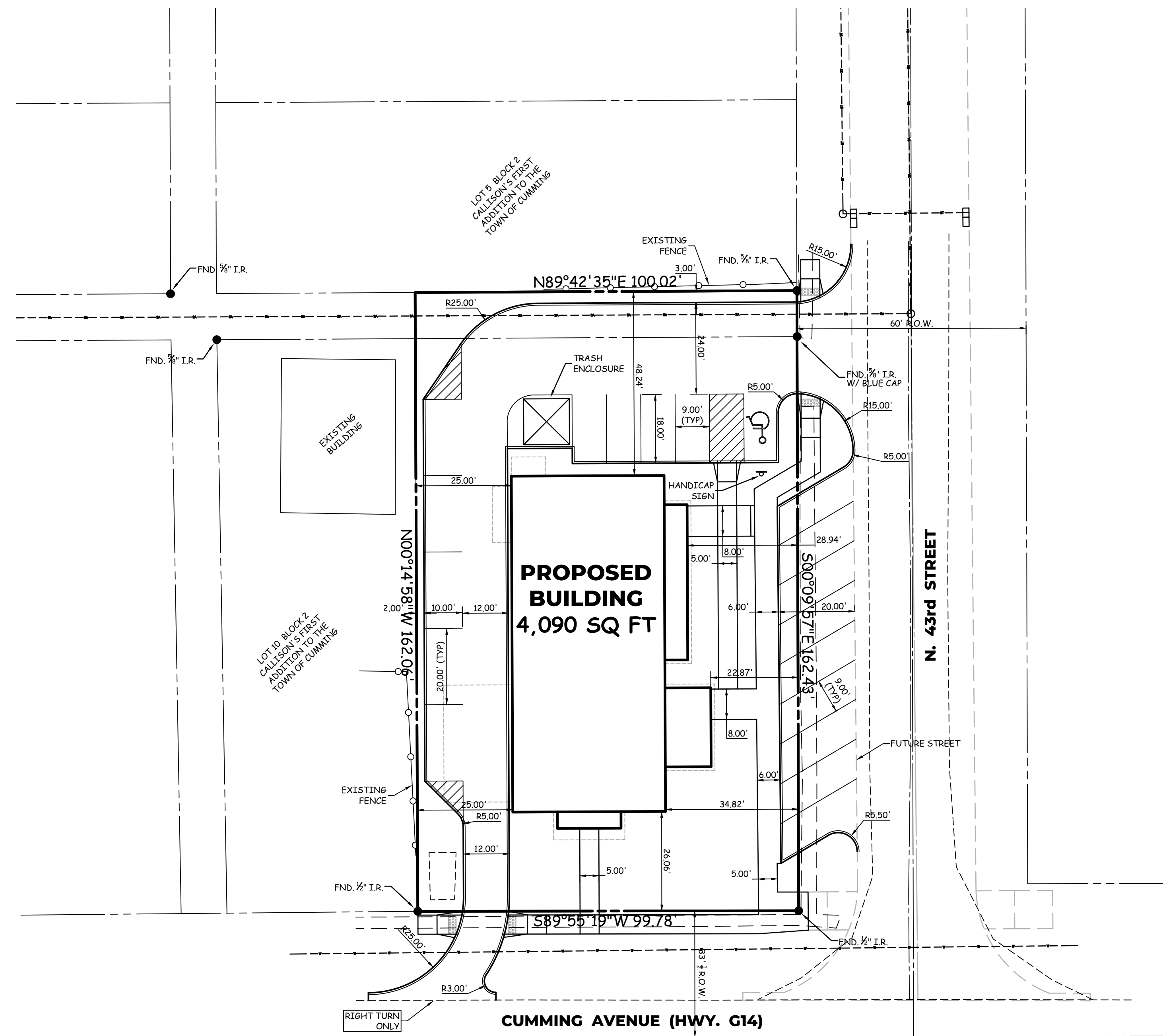
VICINITY SKETCH NORTH SCALE: 1"=1,500'

GENERAL NOTES

- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY:
 - CITY OF CUMMING
 - DSM REAL ESTATE, LLC
 - COOPER CRAWFORD & ASSOCIATES, LLC
- DIMENSIONS ARE TO PROPERTY LINE, OUTSIDE OF BUILDING WALLS AND TO BACK OF CURB.
- CONTRACTORS ARE RESPONSIBLE FOR OBTAINING ALL PERMITS AND LEASES.
- CONTRACTOR SHALL PROTECT ALL STRUCTURES AND UTILITIES AND VERIFY LOCATIONS. DAMAGE TO STRUCTURES AND UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER OF THE UTILITY.
- ALL CONSTRUCTION SHALL BE CONSTRUCTED ACCORDING TO 2024 SUDAS SPECIFICATIONS.
- PAVING SHALL BE A MINIMUM OF 7-INCH P.C.C. IN PUBLIC RIGHT-OF-WAY.
- PARKING SHALL BE A MIN. OF 6-INCH P.C.C.
- PRIVATE SIDEWALK PAVING SHALL BE A MIN. OF 4-INCH P.C.C.
- ALL CURBS TO BE 6-INCH.

PARKING

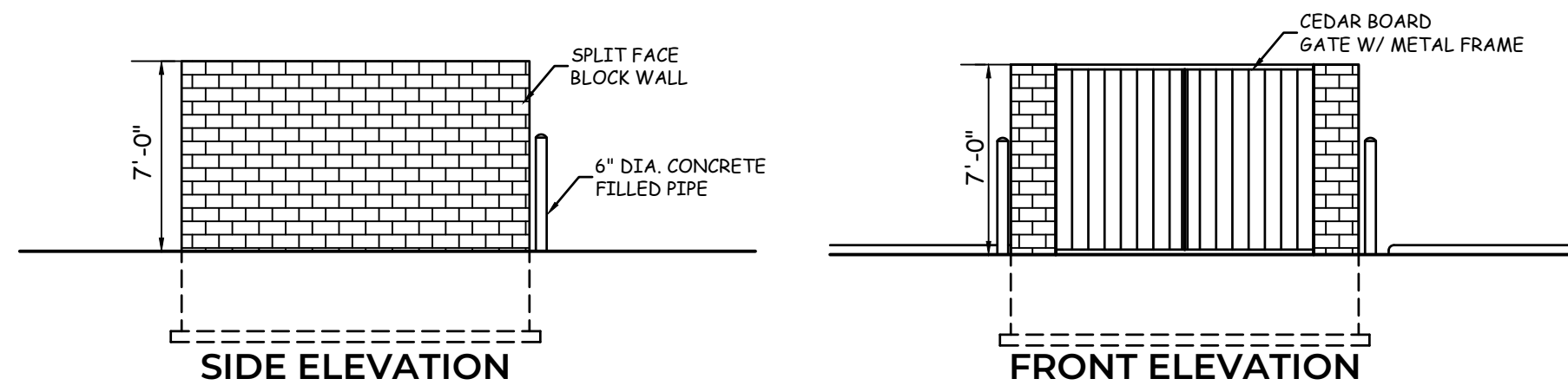
PROPOSED: 19 SPACES (INCLUDES 1 HANDICAP SPACE)



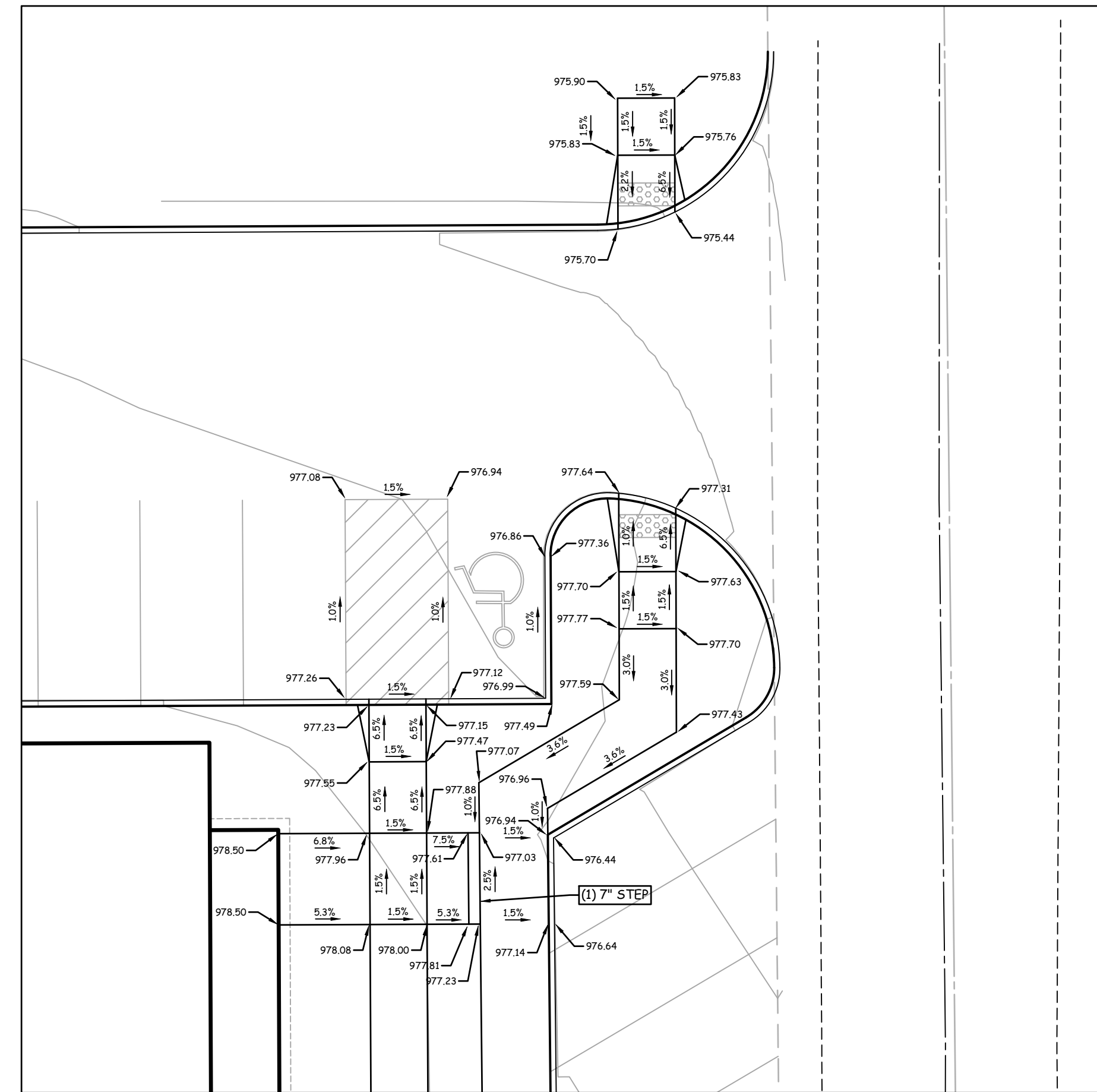
SITE PLAN

ROOSTERS COFFEE

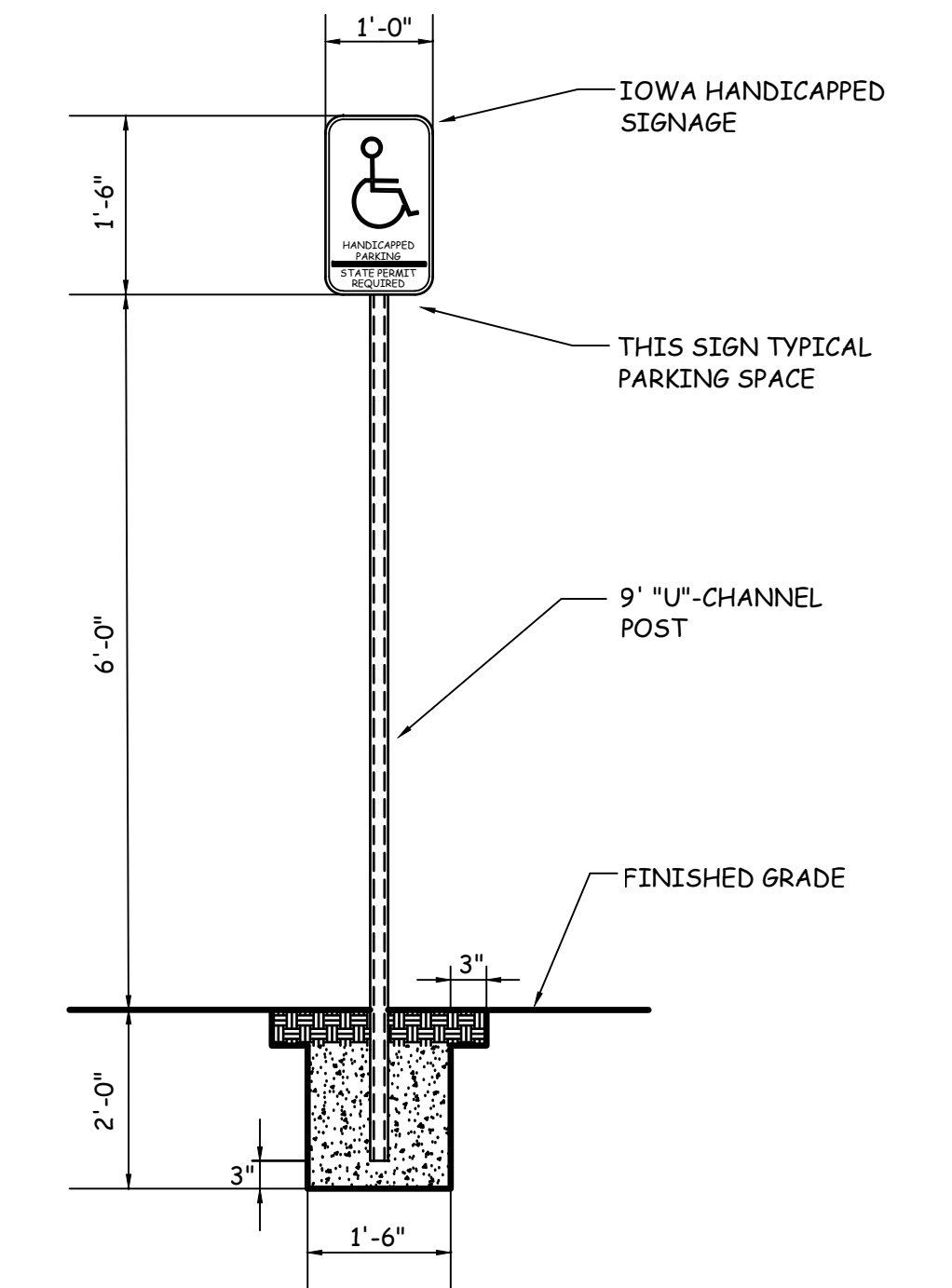
4301 Cumming Avenue



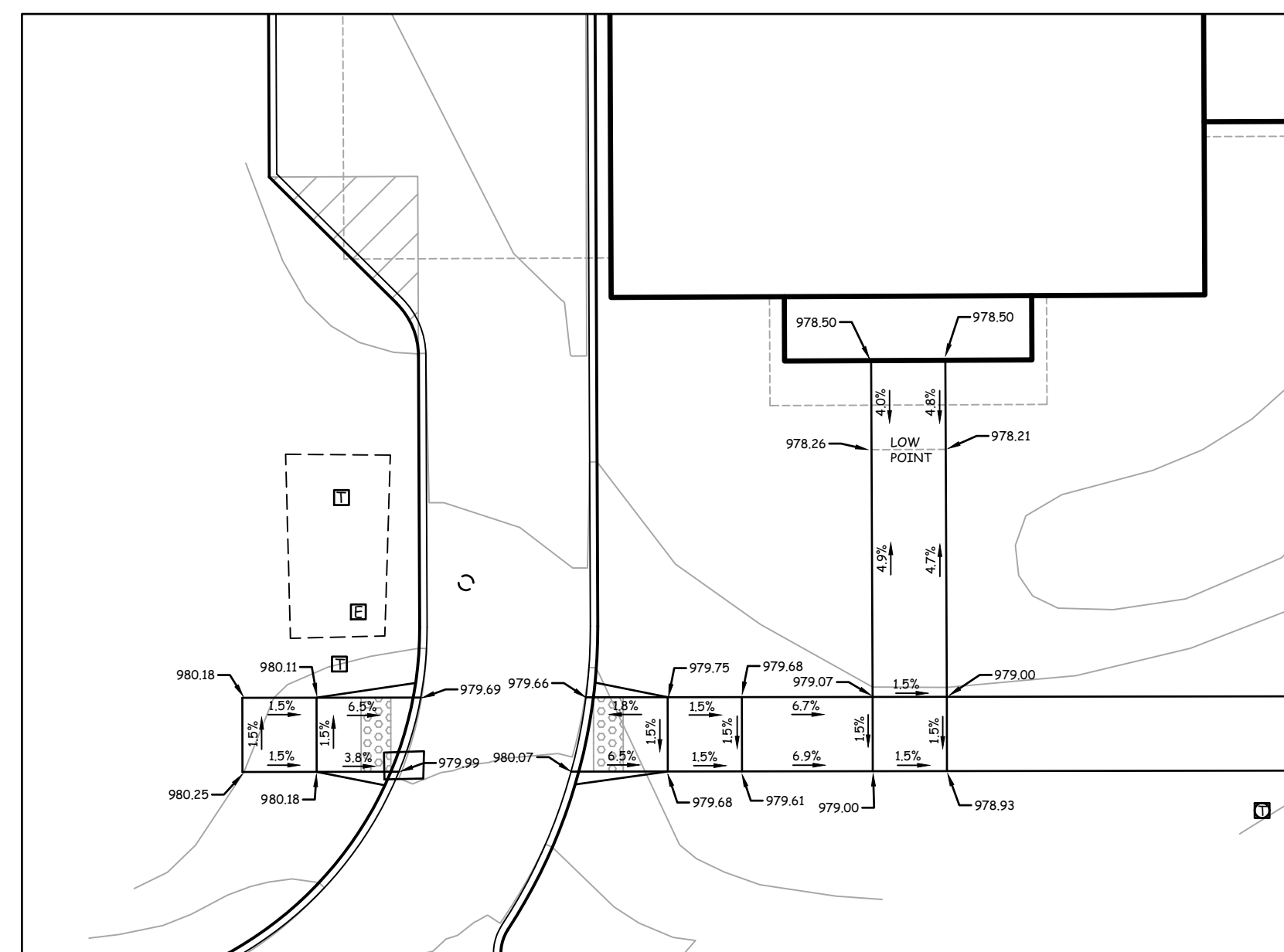
TRASH ENCLOSURE DETAIL
NO SCALE



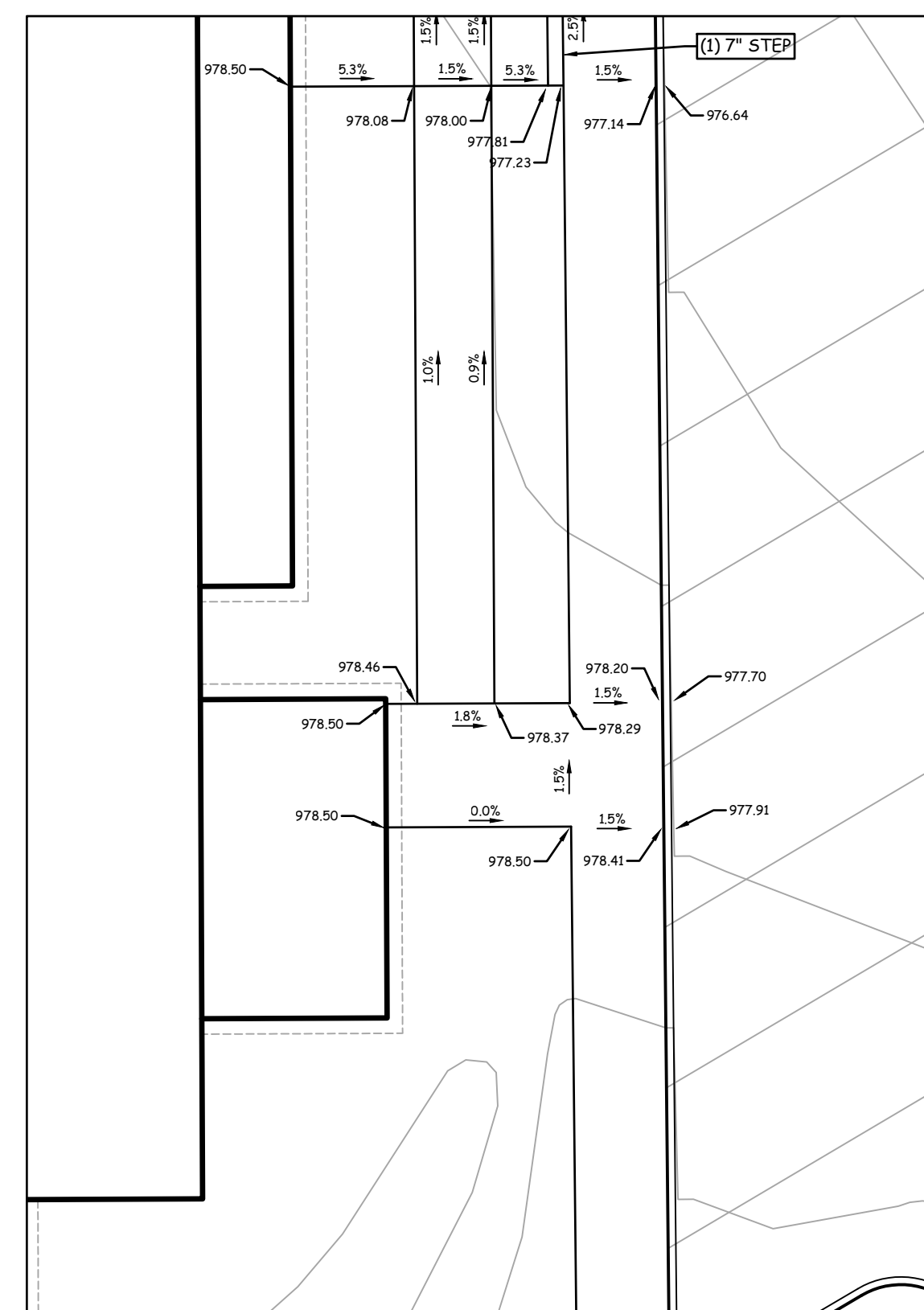
RAMP DETAIL
SCALE: 1"=10' (GRADES AT TOP OF SLAB)



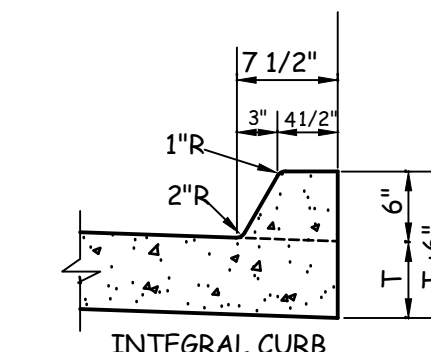
ACCESSIBLE PARKING SIGN DETAIL
NO SCALE (PER IOWA STATE D.O.T.)



RAMP DETAIL
SCALE: 1"=10' (GRADES AT TOP OF SLAB)



RAMP DETAIL
SCALE: 1"=10' (GRADES AT TOP OF SLAB)



CURB DETAIL
NO SCALE

- LEGEND**
- EXISTING/PROPOSED
- PLAT BOUNDARY
 - 8" WATER MAIN & SIZE
 - 8" SANITARY SEWER & SIZE
 - 8" STORM SEWER & SIZE
 - UGE UNDERGROUND ELECTRIC CABLE
 - UGT UNDERGROUND TELEPHONE CABLE
 - CTV UNDERGROUND CABLE TV
 - G 4 GAS MAIN & SIZE
 - MANHOLE
 - INTAKE
 - ▽ HYDRANT
 - P/P/L POWER POLE/LIGHT POLE
 - P/P/L UTILITY BOX/TELEPHONE RISER
 - - - EXISTING CONTOURS
 - - - PROPOSED CONTOURS
 - X X X SILT FENCE OR APPROVED FILTRATION SOCK
 - ☁ TREES

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Civil Engineers & Land Surveyors

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DATE: 12-5-2024
REVISIONS: X-X-XXXX

JOB NUMBER
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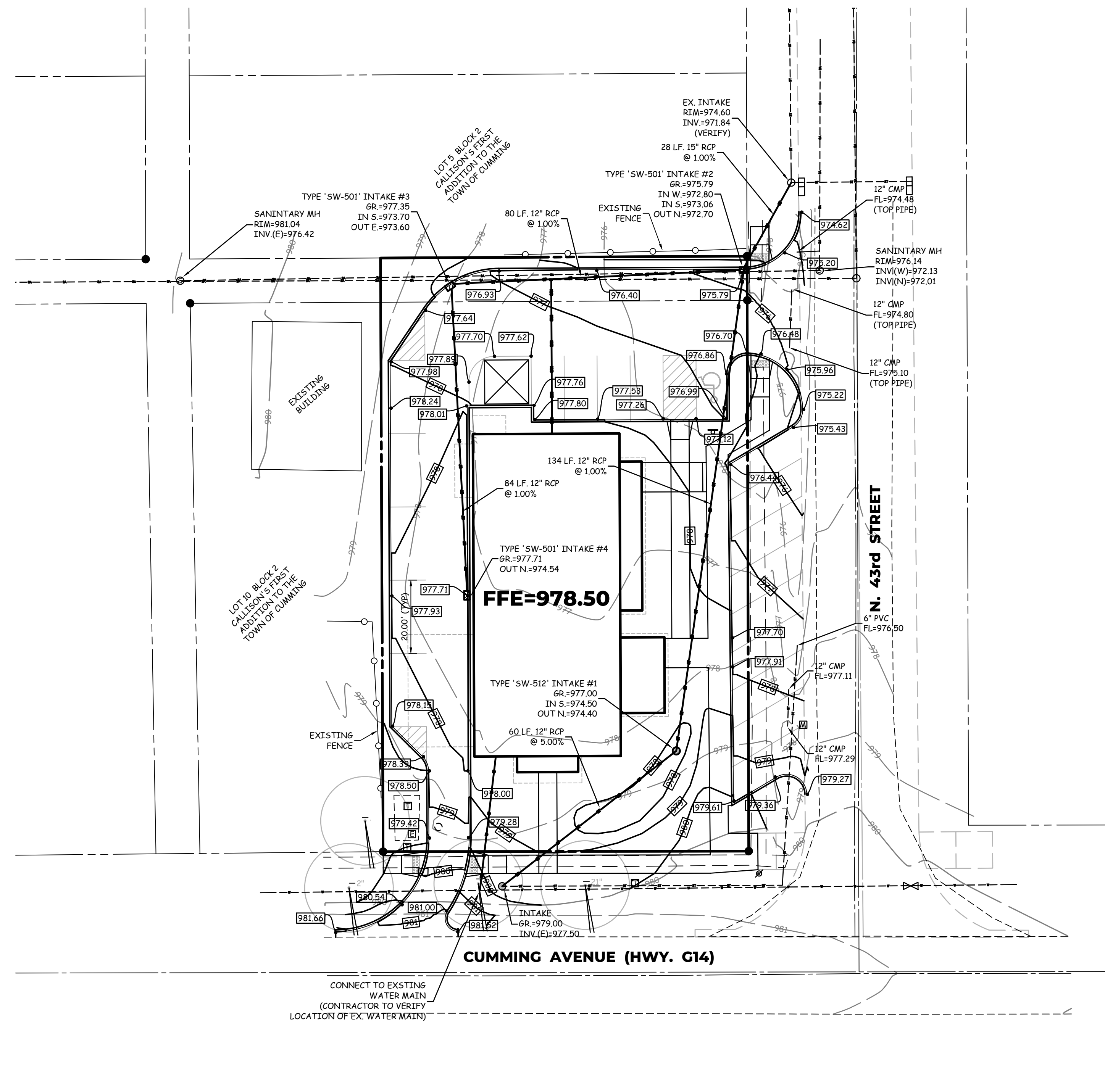
AS-BUILT: ---
**SITE PLAN
ROOSTERS COFFEE**

JOB NUMBER
CC 2957
SHEET 4 OF 4



SITE PLAN ROOSTERS COFFEE

4301 Cumming Avenue



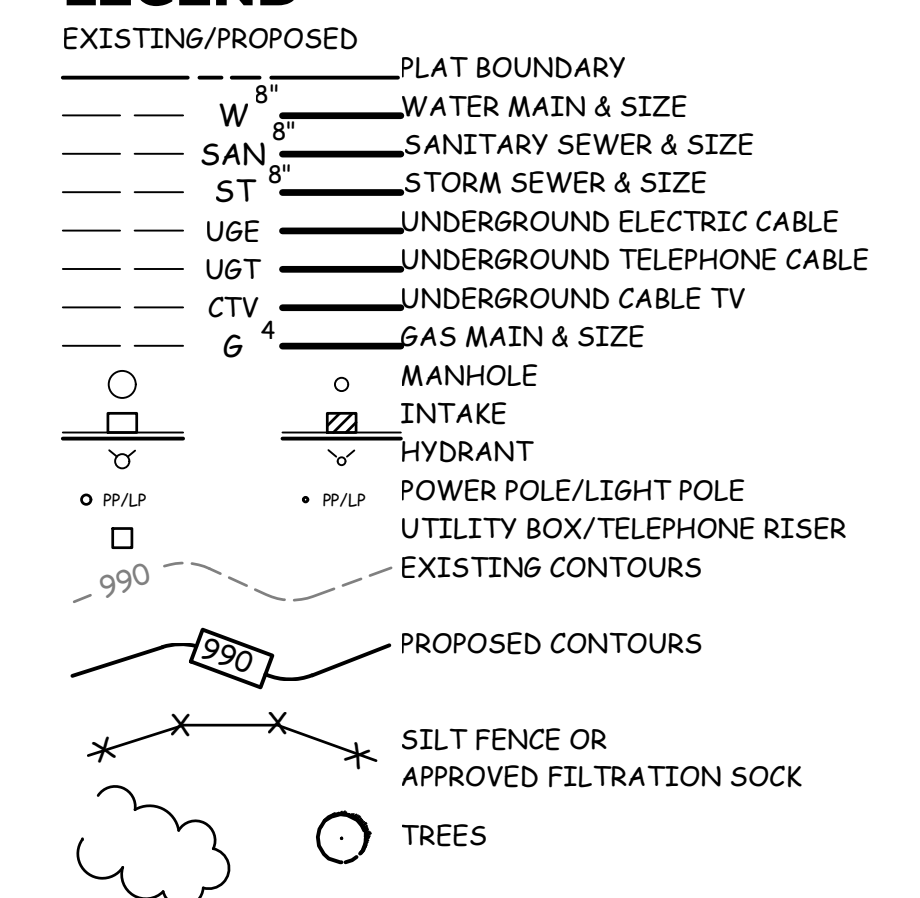
UTILITY NOTES

- ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDING TO 2024 SUDAS ADDITION.
- ALL WATER MAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. DAMAGE TO UTILITIES OR STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER.
- ALL WATER MAINS SHALL & SANITARY SEWER HAVE A MINIMUM BURY OF 5 1/2 FEET.
- SITE UTILITIES WITHIN PUBLIC STREET RIGHT-OF-WAYS ARE PUBLIC. ALL OTHER UTILITIES SHALL BE PRIVATE.
- BUILDER SHALL VERIFY ADEQUATE SANITARY SEWER SERVICE SLOPE PRIOR TO CONSTRUCTION OF THE UNITS.
- REQUIRED TO WITNESS VACUUM TESTING AND I&I BARRIER PLACEMENT.
- CURB STOP CAPS WILL END WITHIN THE SIDEWALK FOR EACH UNIT.
- THE SANITARY SEWER LINE WILL NEED TO BE TELEVISED ONCE THE SERVICE HAS BEEN INSTALLED.
- SANITARY SEWER SERVICE CONNECTION SHALL BE MADE WITH A WYE.
- ALL WATER DISTRIBUTION SYSTEM IMPROVEMENTS SHALL MEET SUDAS AND DMWW STANDARDS.

GRADING NOTES

- STRIP TOPSOIL (6") FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT FOR BORROW.
- ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED.
- PREPARE BOTTOM OF BENCH FOR FILL BY DISCING TO A DEPTH OF 4-INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ONSITE FILL MATERIALS.
- ALL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95%.
- ALL AREAS WHICH ARE IN CUT EXCAVATION AND WILL RECEIVE PAVING WILL BE CUT TO ROUGH GRADE AFTER WHICH THAT TOP 12-INCHES SHALL BE DISCED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
- GRADING CONTRACTOR SHALL LEAVE EXCESS TOP SOIL ALONG CURB LINES SUCH THAT PAVING CONTRACTOR CAN BACKFILL CURBS.
- FINISHED GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FEET OF PLAN GRADE. PARKING LOTS AND STREETS SHALL BE WITHIN 0.10 FEET.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND UTILITIES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
- MAXIMUM ALLOWANCE GRADE ON ALL PROPOSED SLOPES IS 3:1.
- TOPSOIL SHALL BE SPREAD TO A MINIMUM THICKNESS OF 6-INCHES ON ALL DISTURBED AREAS.
- BACKFILL TO TOP OF ALL CURBS.
- MOISTURE CONTENT SHALL NOT DEVIATE FROM OPTIMUM BY MORE THAN -1% TO +4% IN STRUCTURAL FILL.
- EROSION CONTROL BY USE OF SILT FENCES OR STRAW BALES SHALL BE MAINTAINED AROUND STORM INTAKES UNTIL PAVING AND SODDING ARE COMPLETED.
- MINIMUM FINISH GRADE ON ALL SLOPES IS 2%.
- EROSION CONTROL WILL MEET CITY AND STATE REQUIREMENTS, INCLUDING FILTER SOCKS ALONG THE PERIMETER OF THE SITE AND DISTURBED AREAS.

LEGEND



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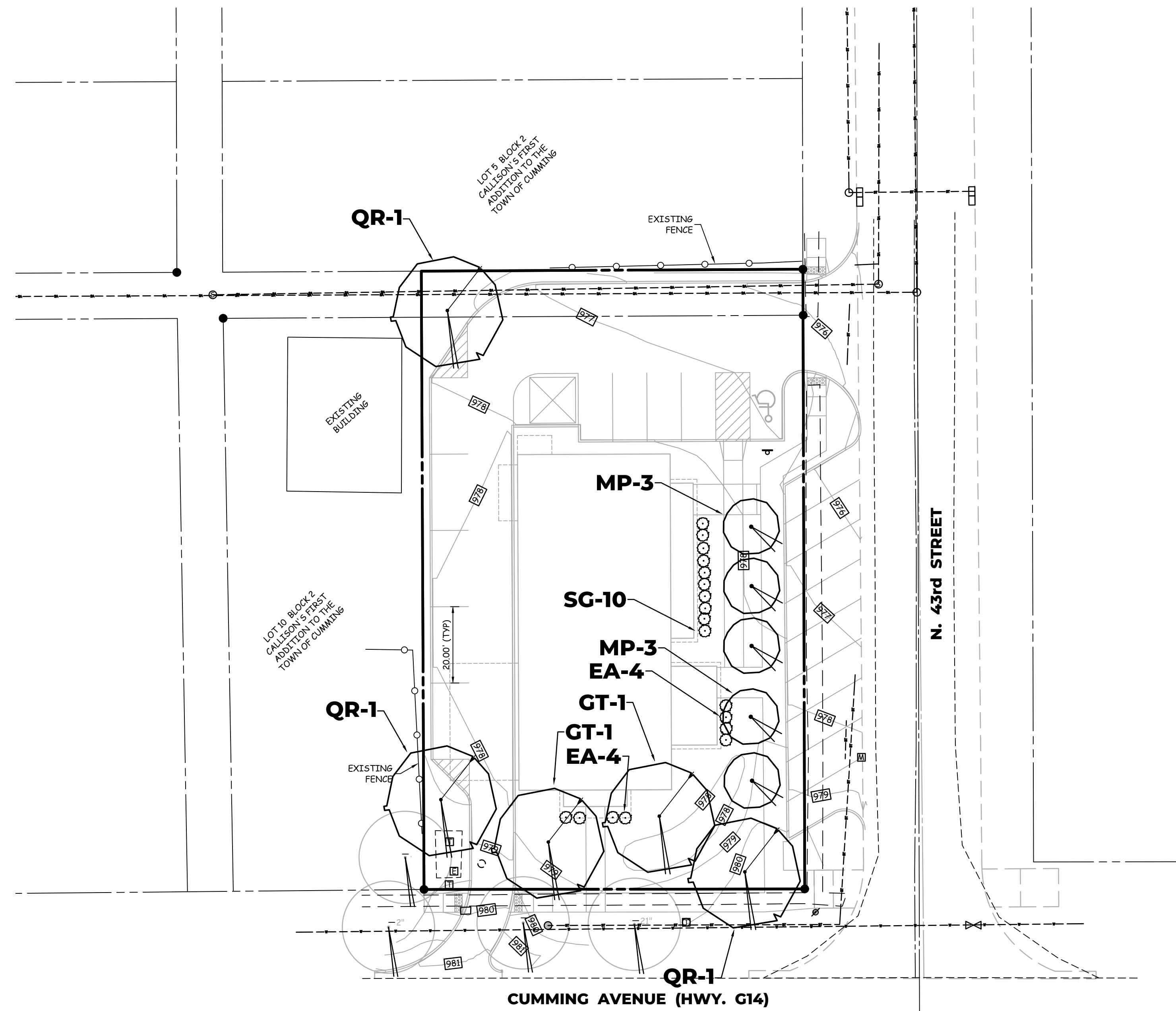
DATE: 12-5-2024 REVISIONS: X-X-XXXX JOB NUMBER
SCALE: 1"=20' AS-BUILT: ---
CC 2957
SHEET 2 OF 4



SITE PLAN

ROOSTERS COFFEE

4301 Cumming Avenue

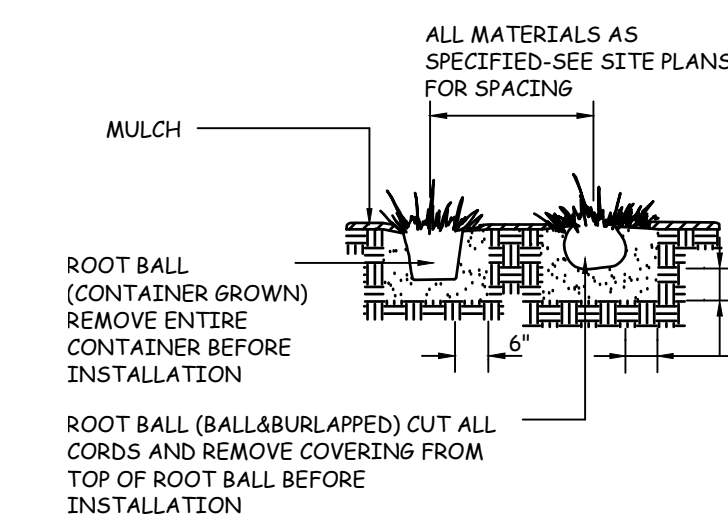


PLANTING SCHEDULE

COUNT	KEY	Botanical name/COMMON NAME	SIZE	CONDITION	REMARKS
2	GT	Gleditsia tricanthos SKYLINE HONEYLOCUST	2 1/2" cal.	TS / B&B	SEE PLAN
3	QR	Quercus rubra RED OAK	2 1/2" cal.	TS / B&B	SEE PLAN
6	MP	Molus species PRAIRIEFIRE CRABAPPLE	1" cal.	TS / B&B	SEE PLAN
8	EA	Euonymus alatus 'Compactus' DWARF BURNING BUSH	#1 cont.	CONT.	SEE PLAN
10	SG	Spirea japonica 'Goldmound' GOLDMOUND SPIREA	#1 cont.	CONT.	SEE PLAN

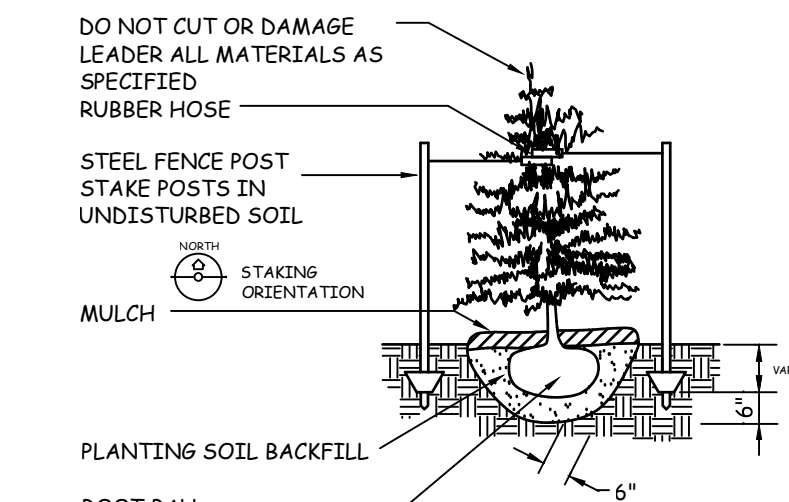
LANDSCAPE NOTES

- ALL SITEWORK, SODDING & LANDSCAPING SHALL BE IN ACCORDANCE WITH SUDAS 2024 ADDITION.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-1986).
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.
- ALL DECIDUOUS TREES WITH CALIPER OF 2 TO 3 INCHES SHALL BE STAKED; EVERGREEN TREES GREATER THAN 8 FEET IN HEIGHT SHALL BE GUYED; STAKING AT HEIGHTS LESS THAN 8 FEET IS NOT NECESSARY. REFER TO PLAN AND DETAILS FOR SPECIFIC PLANTING INSTRUCTIONS.
- ALL TREES, SHRUBS & GROUND COVERS SHALL BE MULCHED WITH AT LEAST 3" SHREDDED BARK MULCH.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. DRAWINGS SHALL PREVAIL WHERE CONFLICT OCCURS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- ONE WEEK PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT COOPER CRAWFORD & ASSOCIATES, LLC.
- SEED OR SOD ALL DISTURBED AREAS. SEE PLAN.
- DECIDUOUS TREES SHALL BE NO CLOSER THAN 5 FEET AND CONIFEROUS TREES NO CLOSER THAN 10 FEET TO STREETS OR SIDEWALKS.



SHRUB PLANTING DETAIL

NO SCALE



EVERGREEN TREE PLANTING & STAKING DETAIL

NO SCALE

TREE PLANTING STEPS:

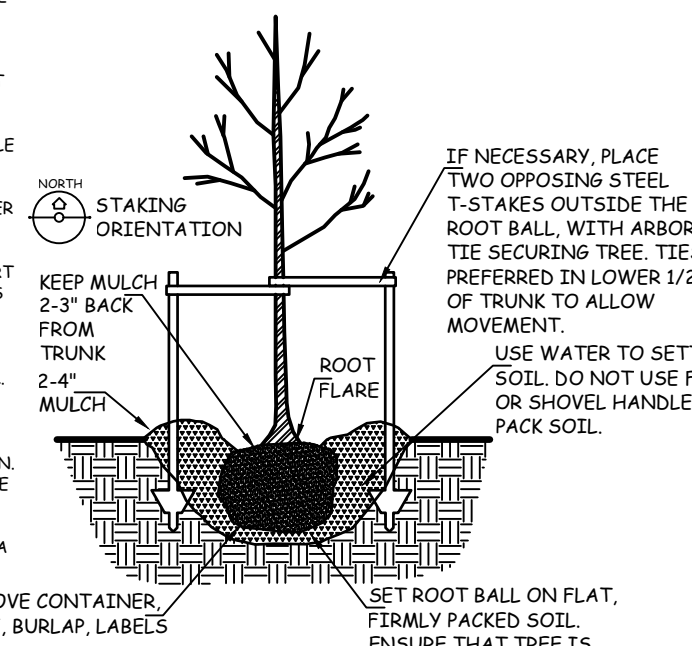
1. PREP: BACKFILL BURLAP/CAGE AND REMOVE SUFFICIENT SOIL TO EXPOSE ROOT FLARE.
2. MEASURE FROM ROOT FLARE TO BOTTOM OF ROOT BALL.
3. DIE HOLE TO DEPTH WHERE TOPMOST ROOTS ARE BURIED 1-2 INCHES AND THE ROOT FLARE SETS SLIGHTLY ABOVE THE GROUND LEVEL. DIG A HOLE 2-3 TIMES WIDER THAN THE DIAMETER OF THE ROOT BALL WITH SLOPING SIDES TO ALLOW FOR PROPER ROOT GROWTH.
4. REMOVE LOWER 1/3 OF WIRE CAGE.
5. SET TREE IN PLANTING HOLE. SUPPORT WITH SOME SOIL. ENSURE THAT IT IS STRAIGHT. THEN REMOVE ENTIRE BALANCE OF WIRE CAGE AND TOP 2/3 OF BURLAP.
6. BACKFILL 2/3 OF LOOSE NATIVE SOIL (UNLESS ITS ALL CLAY) AND USE WATER TO SETTLE. DO NOT TAMP OR STEP ON SOIL.
7. BACKFILL BALANCE AND WATER AGAIN. EXCESS SOIL MAY BE USED TO CREATE A BERM / SAUCER OUTSIDE OF ROOT BALL.
8. ADD 2-4" OF WOOD MULCH, LEAVING A 1-2 INCH CLEARANCE BETWEEN THE MULCH AND THE TRUNK.
9. WATER A FINAL TIME.

NOTE:

- DO NOT SET TOP OF ROOT BALL AT FINISHED GRADE. IT IS ESSENTIAL THAT THE ROOT FLARE BE EXPOSED BEFORE PLANTING. SO THE TREE CAN BE SET TO SHOW ROOT FLARE AT FINISHED GRADE.

DECIDUOUS TREE PLANTING & STAKING DETAIL

NO SCALE



LEGEND

EXISTING/PROPOSED	
---	PLAT BOUNDARY
W 8"	WATER MAIN & SIZE
SAN 8"	SANITARY SEWER & SIZE
ST 8"	STORM SEWER & SIZE
U6E	UNDERGROUND ELECTRIC CABLE
U6T	UNDERGROUND TELEPHONE CABLE
CTV	UNDERGROUND CABLE TV
G 4"	GAS MAIN & SIZE
○	MANHOLE
▽	INTAKE HYDRANT
○ 19/12	POWER POLE/LIGHT POLE
○ 19/12	UTILITY BOX/TELEPHONE RISER
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	SILT FENCE OR APPROVED FILTRATION SOCK
○	TREES

COOPER CRAWFORD & Associates
Civil Engineers & Land Surveyors

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 12-5-2024
REVISIONS: X-X-XXXX
JOB NUMBER
CC 2957

AS-BUILT: ---
SITE PLAN
ROOSTERS COFFEE
SHEET 3 OF 4

IOWA ONE CALL